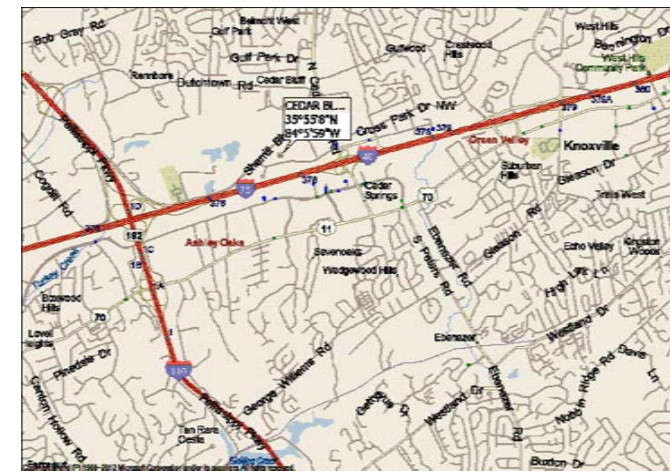
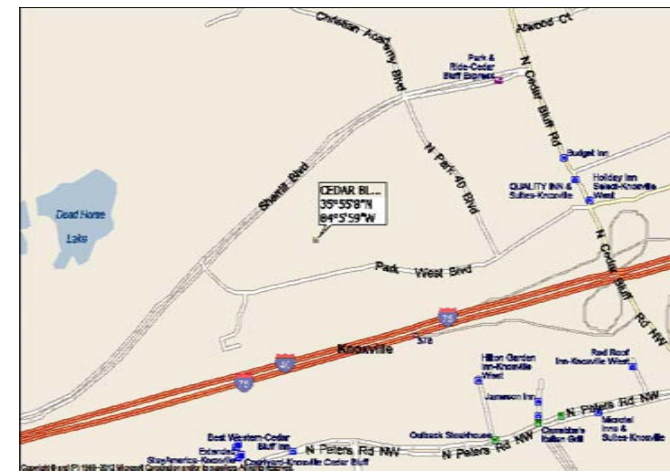


LOCATION MAP



VICINITY MAP



BUILDING CODES:

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES:

- 2012 IBC
- 2012 IFC
- 2012 UMC
- 2012 UPC
- 2012 NEC
- 2012 IECC
- TIA-222-G

• WIND LOAD DESIGN: 90 MPH
OCCUPANCY: U
ZONING: OB ZONING
CONSTRUCTION TYPE: I-A NON-COMBUSTIBLE (IBC)

ABBREVIATION KEY

Ø	DIAMETER	LLVD	LONG LEG VERTICAL DOWN
±	AND	LLVU	LONG LEG VERTICAL UP
BTM.	BOTTOM	MAX.	MAXIMUM
CL	CENTER LINE	MFR.	MANUFACTURER
CONC.	CONCRETE	MIN.	MINIMUM
CONT.	CONTINUOUS	MPH	MILES PER HOUR
C.J.	CONTROL JOINT	O.C.	ON CENTER
DIA.	DIAMETER	PL	PLATE
EL.	ELEVATION	REINF.	REINFORCE
E.S.	EACH SIDE	REQ'D	REQUIRED
E.W.	EACH WAY	SIM.	SIMILAR
FFI	FLANGE FACING INSIDE	STD.	STANDARD
FFO	FLANGE FACING OUTSIDE	STL.	STEEL
FT.	FEET	TYP.	TYPICAL
F.V.	FIELD VERIFY	U.N.O.	UNLESS NOTED OTHERWISE
GALV.	GALVANIZED	VERT.	VERTICAL
HORIZ.	HORIZONTAL	VLD	VERTICAL LEG DOWN
IN.	INCH	VLU	VERTICAL LEG UP
LFO	LEG FACING OUTSIDE	W	WITH

OWNER/APPLICANT:



SITE NUMBER:

830347

SITE NAME:

CEDAR BLUFF RELO

PROJECT DESCRIPTION:

PROPOSED 195 FT. MONOPOLE
TO REPLACE EXISTING 185' SELF-SUPPORT
TOWER ON SAME PARCEL

PREPARED BY:



P. MARSHALL &
ASSOCIATES

1000 HOLCOMB WOODS PKWY
SUITE 210
ROSWELL, GA 30076
678-280-2325

1-B-18-UR

Revised: 12/27/2017

PROJECT INFORMATION

SITE ADDRESS: 420 PARK 40 NORTH BLVD.
KNOXVILLE, TN 37932

EXISTING TOWER
LATITUDE: 35° 55' 8.29"
LONGITUDE: -84° 5' 59.69"

GROUND ELEV.: 1038.2 AMSL (NAVD 88)

PARCEL ID: 119 018.51

ZONING: OB
WATER SHED: TEN MILE
JURISDICTION: KNOX COUNTY

PROPERTY OWNER: PARKWEST MEDICAL CENTER
1420 CENTERPOINT BOULEVARD
KNOXVILLE, TN 37923

APPLICANT/OWNER: CROWN CASTLE
12725 MORRIS ROAD EXT. SUITE 400
ALPHARETTA, GA 30004
DEBBIE SAULS
678-366-1253

ENGINEER: P. MARSHALL & ASSOCIATES
1000 HOLCOMB WOODS PKWY, SUITE 210
ROSWELL, GA 30076
PATRICK W MARSHALL, P.E.
678-280-2325

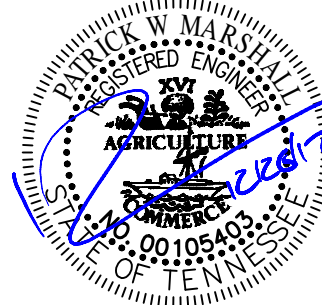
POWER: KNOXVILLE UTILITIES BOARD (KUB)
TELCO: AT&T

DRAWING INDEX

T-1 TITLE SHEET & PROJECT INFORMATION
- SURVEY
C-1 GENERAL NOTES
C-2 SITE PLAN
C-3 COMPOUND PLAN
C-4 CONSTRUCTION DETAILS
C-5 TOWER ELEVATION
C-6 LANDSCAPING PLAN
C-7 ACCESS/DRIVEWAY DESIGN
C-8 DRIVEWAY DETAILS
C-9 DRIVEWAY DESIGN
C-10 DRIVEWAY DESIGN



CALL BEFORE YOU DIG
TENNESSEE ONE-CALL
811



P. MARSHALL &
ASSOCIATES

CEDAR
BLUFF
RELO

420 PARK 40
NORTH BLVD.
KNOXVILLE, TN
37932

LOCATION CODE:

830347

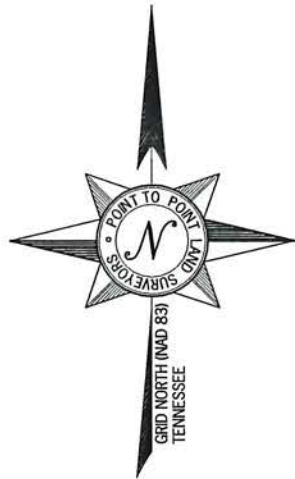
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1	12.26.17	ZD-COMMENTS

DESIGNED: JTM
DRAWN: JTM
CHECKED: JTM

JOB #:
-CC033-

TITLE SHEET &
PROJECT
INFORMATION

T-1



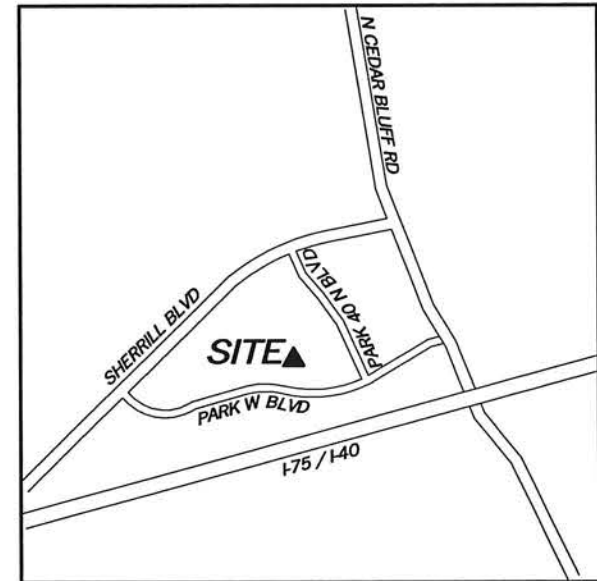
SUBJECT PROPERTY

OWNER: PARKWEST MEDICAL CENTER
SITE ADDRESS: 440 PARK 40 NORTH BLVD, KNOXVILLE, TN 37923
PARCEL ID: 119 01851
AREA: 29.83 ACRES (PER TAX ASSESSOR)
ZONED: OB
ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS
REFERENCE: INSTRUMENT NO. 20101001 - 0020404

GPS NOTES

THE FOLLOWING GPS STATISTICS UPON WHICH THIS SURVEY IS BASED HAVE BEEN PRODUCED AT THE 95% CONFIDENCE LEVEL:

POSITIONAL ACCURACY: 0.04 FEET
TYPE OF GPS FIELD PROCEDURE: REAL-TIME KINEMATIC NETWORKS
DATES OF SURVEY: 11-02-17
DATUM / EPOCH: NAD_83(2011)(EPOCH:2010.0000)
PUBLISHED / FIXED CONTROL USE: N/A
GEOID MODEL: 12B
COMBINED GRID FACTOR(S): 0.99990449



VICINITY MAP

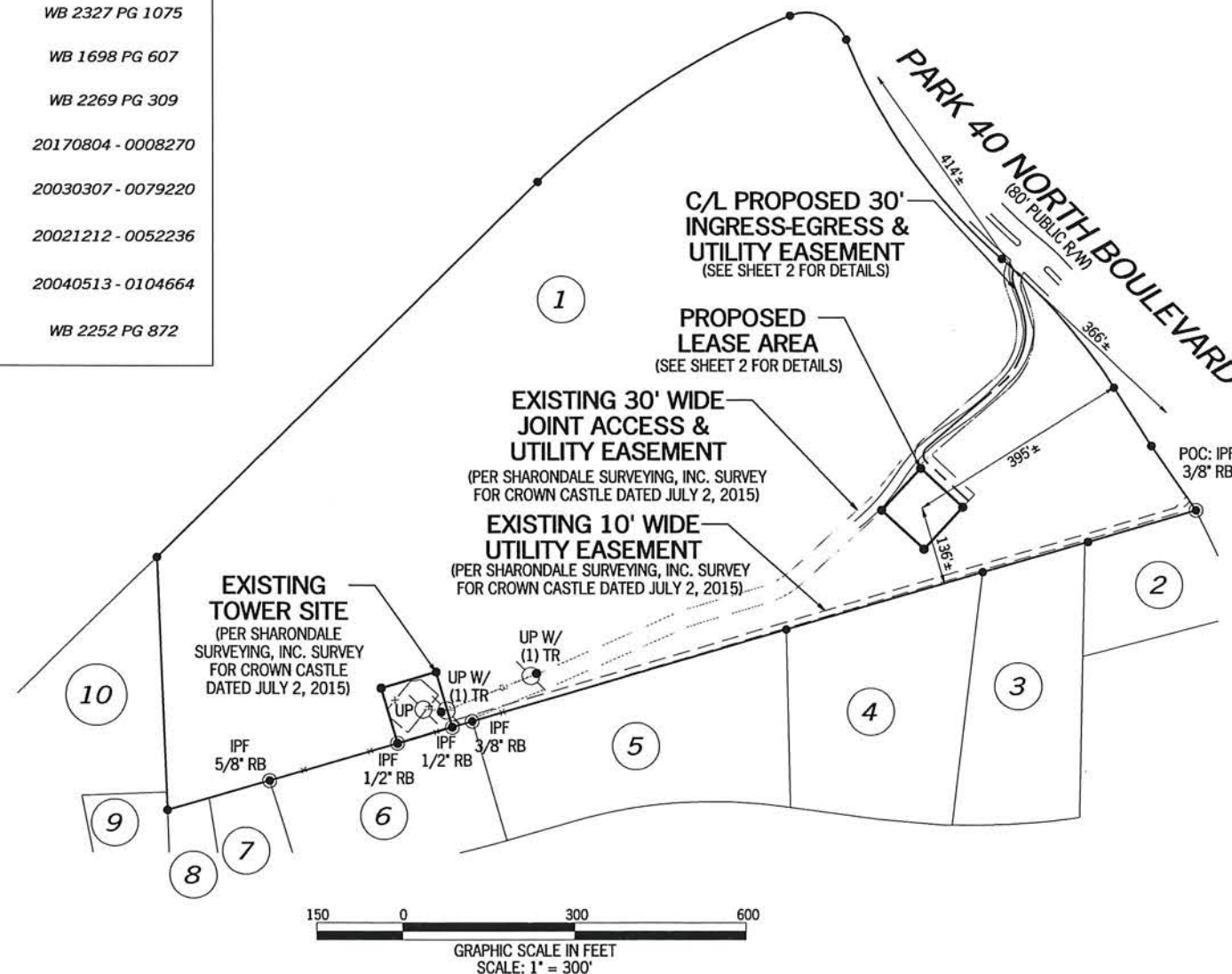
NOT TO SCALE

ADJOINER INFORMATION

N/F	PARCEL #	ZONED	REF.
1	PARKWEST MEDICAL CENTER	OB	20101001 - 0020404
2	KKC PROPERTIES LLC.	PC	20121227 - 0042056
3	K & O DEVELOPMENT CO.	PC	WB 2327 PG 1075
4	PAUL S AMBROSE & ROBERT E HALL	PC	WB 1698 PG 607
5	CEDAR BLUFF MEDICAL ARTS BUILDING	PC	WB 2269 PG 309
6	PARKWEST MEDICAL CENTER	PC	20170804 - 0008270
7	FORT SANDERS-PARKWEST MEDICAL CENTER	PC	20030307 - 0079220
8	COVENANT HEALTH	PC	20021212 - 0052236
9	FORT SANDERS-PARKWEST CENTER	PC	20040513 - 0104664
10	FORT SANDERS-PARK WEST MEDICAL CENTER	PC-1	WB 2252 PG 872

LEGEND

POB POINT OF BEGINNING
POC POINT OF COMMENCEMENT
IPS IRON PIN SET
IPF IRON PIN FOUND
CMF CONCRETE MONUMENT FOUND
UP UTILITY POLE
LP LIGHT POLE
FP FLAG POLE
SSMH SANITARY SEWER MANHOLE
SDMH STORM DRAIN MANHOLE
INV INVERT
FH FIRE HYDRANT
EP EDGE OF PAVEMENT
TC TOP OF CURB
BC BACK OF CURB
TW TOP OF WALL
BW BOTTOM OF WALL
OU OVERHEAD UTILITY
UE UNDERGROUND UTILITY
CMP CORRUGATED METAL PIPE
RCP REINFORCED CONCRETE PIPE
PVC POLYVINYL CHLORIDE PIPE
GW GUY WIRE ANCHOR
TR TRANSFORMER
JB JUNCTION BOX
SWCB SINGLE WING CATCH BASIN
DWCB DOUBLE WING CATCH BASIN
CLF CHAIN LINK FENCE
WV WATER VALVE
WM WATER METER
CO SEWER CLEAN-OUT
GV GAS VALVE
N/F NOW OR FORMERLY
IB ICE BRIDGE
IBP ICE BRIDGE POLE



GENERAL NOTES

THIS EXHIBIT SURVEY IS FOR THE LEASED PREMISES AND EASEMENTS ONLY. THIS EXHIBIT SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF CROWN CASTLE INTERNATIONAL AND EXCLUSIVELY FOR THE TRANSFERRAL OF THE PROPOSED LEASED PREMISES AND THE RIGHTS OF EASEMENT SHOWN HEREON AND SHALL NOT BE USED AS AN EXHIBIT OR EVIDENCE IN THE FEE SIMPLE TRANSFERRAL OF THE PARENT PARCEL NOR ANY PORTION OR PORTIONS THEREOF. BOUNDARY INFORMATION SHOWN HEREON HAS BEEN COMPILED FROM TAX MAPS AND DEED DESCRIPTIONS ONLY. NO BOUNDARY SURVEY OF THE PARENT PARCEL WAS PERFORMED.

THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY.

THIS EXHIBIT SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT WHICH MAY REVEAL ADDITIONAL CONVEYANCES, EASEMENTS, OR RIGHTS-OF-WAY NOT SHOWN HEREON.

THE FIELD DATA UPON WHICH THIS EXHIBIT SURVEY IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 20,000+ FEET AND AN ANGULAR ERROR OF 5.0" PER ANGLE POINT AND WAS ADJUSTED USING LEAST SQUARES.

EQUIPMENT USED FOR ANGULAR & LINEAR MEASUREMENTS: LEICA TPS 1200 ROBOTIC & GEOMAX ZENITH 35. (DATE OF LAST FIELD VISIT: 11-02-17)

THE 1' CONTOURS AND SPOT ELEVATIONS SHOWN ON THIS EXHIBIT SURVEY ARE ADJUSTED TO NAVD 88 DATUM (COMPUTED USING GEOID 12B) AND HAVE A VERTICAL ACCURACY OF ± .5'. CONTOURS OUTSIDE THE IMMEDIATE SITE AREA ARE APPROXIMATE.

BEARINGS SHOWN ON THIS EXHIBIT SURVEY ARE BASED ON GRID NORTH (NAD 83) TENNESSEE.

NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA AS PER F.I.R.M. COMMUNITY PANEL NO. 47093C0261F.

NO WETLAND AREAS HAVE BEEN INVESTIGATED BY THIS EXHIBIT SURVEY.

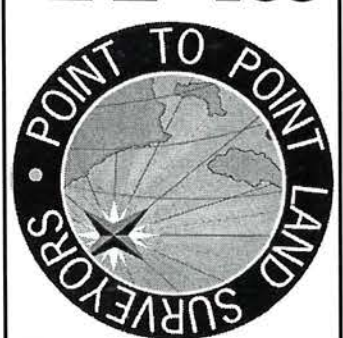
ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS.

ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEES THAT ANY UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT ANY UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ANY UNDERGROUND UTILITIES.



NO.	DATE	REVISION

* SPECIFIC PURPOSE SURVEY PREPARED BY:
POINT TO POINT LAND SURVEYORS
1010 Pennsylvania Avenue
McDonough, GA 30253
(p) 678.565.4440 (f) 678.565.4497
(w) pointtopointsurvey.com



SPECIFIC PURPOSE SURVEY PREPARED FOR:



"CEDAR BLUFF"

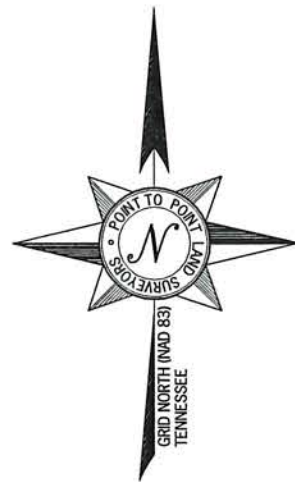
6TH CIVIL DISTRICT,
KNOX COUNTY,
TENNESSEE

DRAWN BY: JSD
CHECKED BY: JKL
APPROVED: C. INER
DATE: NOVEMBER 10, 2017
P2P JOB #: G170718

SHEET:
1
OF 2

(SURVEY NOT VALID WITHOUT SHEETS 2 AND 3)

E:\topobox (Point To Point)\2017 Current Jobs\2017 G170718 Cedar Bluff\G170718.pro



SITE INFORMATION

PROPOSED LEASE AREA = 10,000 SQUARE FEET (0.2296 ACRES)

LATITUDE = 35°55'11.49" (NAD 83)
LONGITUDE = -84°05'48.65" (NAD 83)
AT CENTER PROPOSED LEASE AREA

ELEVATION AT CENTER OF PROPOSED LEASE AREA = 1041.9' A.M.S.L.

EXISTING SITE INFORMATION

LEASE AREA = 10,000 SQUARE FEET (0.2296 ACRES)
(PER SHARONDALE SURVEYING, INC. SURVEY
FOR CROWN CASTLE DATED JULY 2, 2015)

LATITUDE = 35°55'08.41" (NAD 83)
LONGITUDE = -84°05'59.48" (NAD 83)
AT CENTER OF EXISTING TOWER

ELEVATION AT CENTER OF EXISTING TOWER = 1038.2' A.M.S.L.

PROPOSED 30' INGRESS-EGRESS & UTILITY EASEMENT

TOGETHER WITH A PROPOSED 30-FOOT WIDE INGRESS-EGRESS AND UTILITY EASEMENT (15 FEET EACH SIDE OF CENTERLINE) LYING AND BEING IN THE SIXTH CIVIL DISTRICT OF KNOX COUNTY, TENNESSEE, AND BEING A PART OF THE LANDS OWNED BY PARKWEST MEDICAL CENTER AS RECORDED IN INSTRUMENT NUMBER 20101001-0020404, KNOX COUNTY RECORDS AND BEING MORE PARTICULARLY DESCRIBED BY THE FOLLOWING CENTERLINE DATA:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 3/8-INCH REBAR FOUND ON THE WESTERLY RIGHT-OF-WAY LINE OF PARK 40 NORTH BOULEVARD, SAID REBAR MARKING THE SOUTHEAST CORNER OF SAID LANDS; THENCE RUNNING ALONG SAID RIGHT-OF-WAY LINE, NORTH 34°32'46" WEST, 137.43 FEET TO A POINT; THENCE, NORTH 32°20'18" WEST, 121.27 FEET TO A POINT; THENCE, 271.07 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 1049.61 FEET AND BEING SCRIBED BY A CHORD BEARING, NORTH 39°44'33" WEST, 270.32 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENCE LEAVING SAID RIGHT-OF-WAY LINE AND RUNNING, 28.24 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 46.10 FEET AND BEING SCRIBED BY A CHORD BEARING, SOUTH 01°07'12" EAST, 27.80 FEET TO A POINT; THENCE, SOUTH 18°40'18" EAST, 41.47 FEET TO A POINT; THENCE, 148.56 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 125.00 FEET AND BEING SCRIBED BY A CHORD BEARING, SOUTH 15°22'33" WEST, 139.97 FEET TO A POINT; THENCE, SOUTH 49°25'24" WEST, 170.47 FEET TO A POINT; THENCE, 28.74 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 17.00 FEET AND BEING SCRIBED BY A CHORD BEARING, SOUTH 00°59'28" WEST, 25.44 FEET TO A POINT; THENCE, SOUTH 47°09'53" EAST, 100.00 FEET TO THE ENDING AT A POINT.

PROPOSED LEASE AREA

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN THE SIXTH CIVIL DISTRICT OF KNOX COUNTY, TENNESSEE, AND BEING A PART OF THE LANDS OWNED BY PARKWEST MEDICAL CENTER AS RECORDED IN INSTRUMENT NUMBER 20101001-0020404, KNOX COUNTY RECORDS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 3/8-INCH REBAR FOUND ON THE WESTERLY RIGHT-OF-WAY LINE OF PARK 40 NORTH BOULEVARD, SAID REBAR MARKING THE SOUTHEAST CORNER OF SAID LANDS; THENCE RUNNING ALONG SAID RIGHT-OF-WAY LINE, NORTH 34°32'46" WEST, 137.43 FEET TO A POINT; THENCE, NORTH 32°20'18" WEST, 121.27 FEET TO A POINT; THENCE, 271.07 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 1049.61 FEET AND BEING SCRIBED BY A CHORD BEARING, NORTH 39°44'33" WEST, 270.32 FEET TO A POINT; THENCE LEAVING SAID RIGHT-OF-WAY LINE AND RUNNING, 28.24 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 46.10 FEET AND BEING SCRIBED BY A CHORD BEARING, SOUTH 01°07'12" EAST, 27.80 FEET TO A POINT; THENCE, SOUTH 18°40'18" EAST, 41.47 FEET TO A POINT; THENCE, 148.56 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 125.00 FEET AND BEING SCRIBED BY A CHORD BEARING, SOUTH 15°22'33" WEST, 139.97 FEET TO A POINT; THENCE, SOUTH 49°25'24" WEST, 170.47 FEET TO A POINT; THENCE, 28.74 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 17.00 FEET AND BEING SCRIBED BY A CHORD BEARING, SOUTH 00°59'28" WEST, 25.44 FEET TO A POINT; THENCE, SOUTH 47°09'53" EAST, 100.00 FEET TO A POINT; THENCE, SOUTH 42°50'07" WEST, 15.00 FEET TO A POINT ALONG THE PROPOSED LEASE AREA LINE AND THE TRUE POINT OF BEGINNING; THENCE, SOUTH 42°50'07" WEST, 100.00 FEET TO A POINT; THENCE, NORTH 47°09'53" WEST, 100.00 FEET TO A POINT; THENCE, SOUTH 47°09'53" EAST, 100.00 FEET TO A POINT AND THE POINT OF BEGINNING.

SAID TRACT CONTAINS 0.2296 ACRES (10,000 SQUARE FEET), MORE OR LESS.



NO.	DATE	REVISION

POINT TO POINT
LAND SURVEYORS

1010 Pennsylvania Avenue
McDonough, GA 30253
(p) 678.565.4440 (f) 678.565.4497
(w) pointtopointsurvey.com



SPECIFIC PURPOSE SURVEY PREPARED FOR:

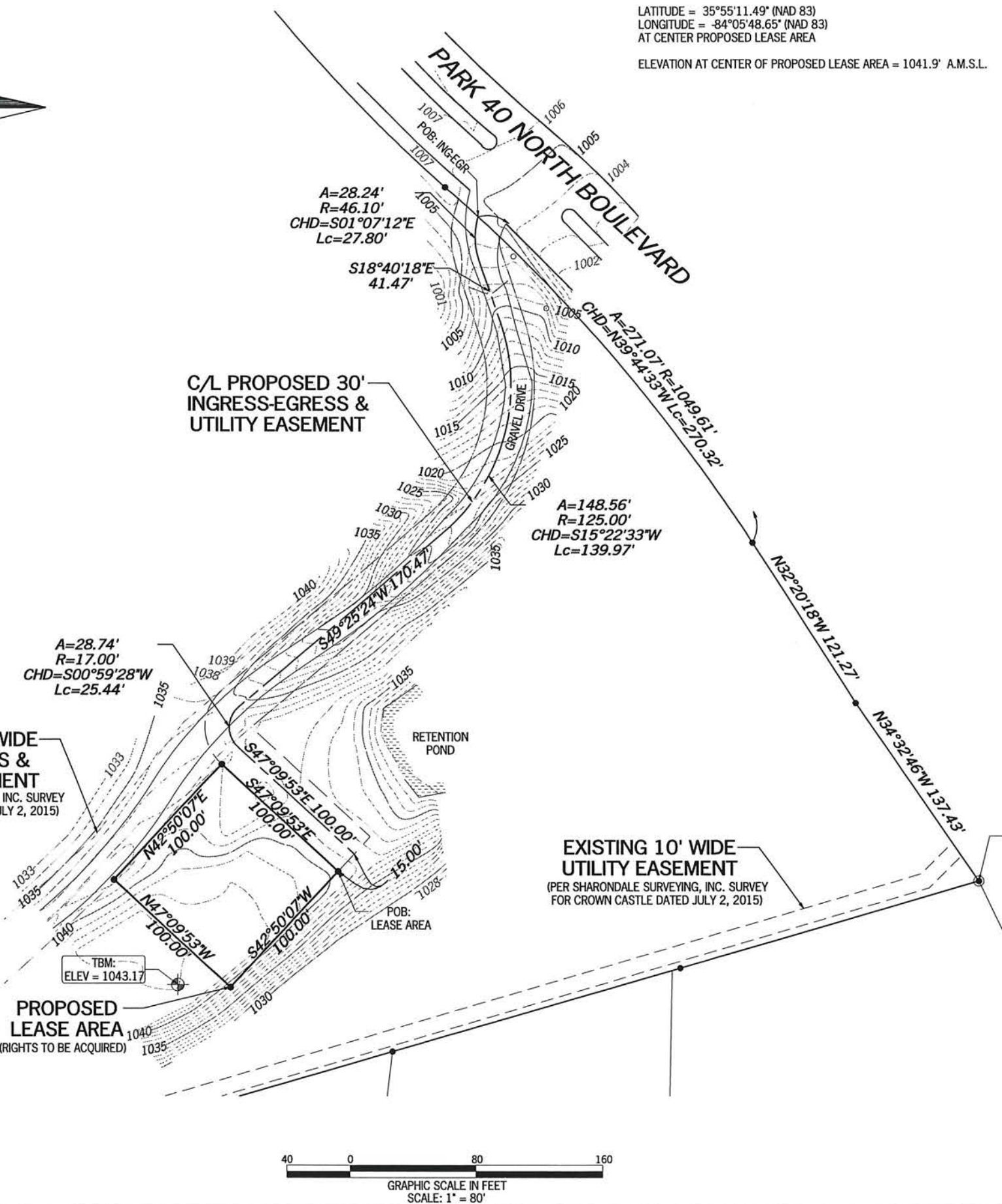


"CEDAR BLUFF"

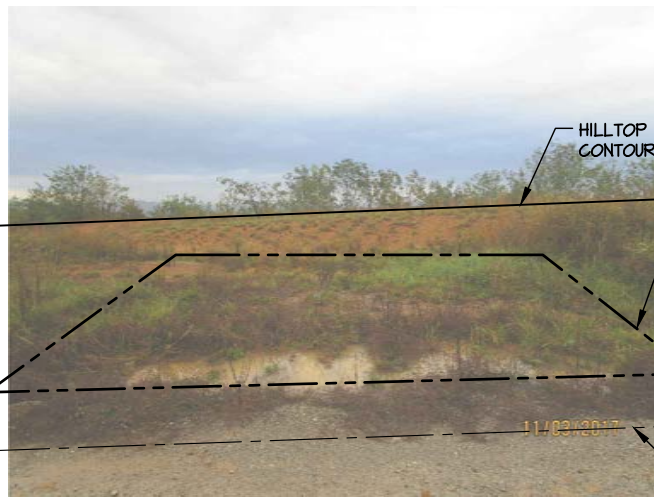
6TH CIVIL DISTRICT,
KNOX COUNTY,
TENNESSEE

DRAWN BY: JSD	SHEET:
CHECKED BY: JKL	2
APPROVED: C. INER	OF 3
DATE: NOVEMBER 10, 2017	
P2P JOB #: G170718	

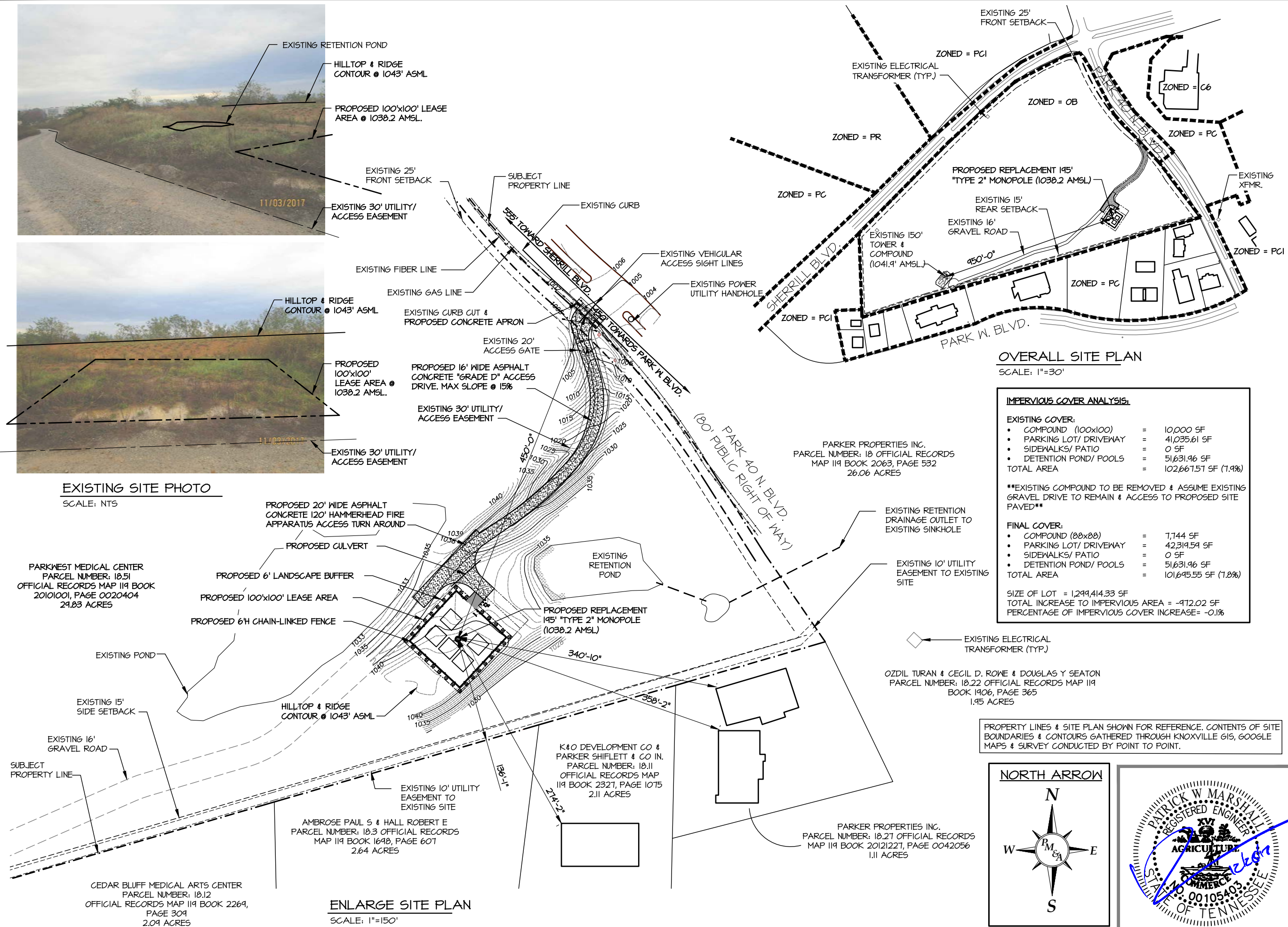
(SURVEY NOT VALID WITHOUT SHEETS 1 AND 3)



- LEGEND
- POB POINT OF BEGINNING
 - POC POINT OF COMMENCEMENT
 - IPS IRON PIN SET
 - IPF IRON PIN FOUND
 - CMF CONCRETE MONUMENT FOUND
 - UP UTILITY POLE
 - LP LIGHT POLE
 - FP FLAG POLE
 - SSMH SANITARY SEWER MANHOLE
 - SDMH STORM DRAIN MANHOLE
 - INV INVERT
 - FH FIRE HYDRANT
 - EP EDGE OF PAVEMENT
 - TC TOP OF CURB
 - BC BACK OF CURB
 - TW TOP OF WALL
 - BW BOTTOM OF WALL
 - OU OVERHEAD UTILITY
 - UE UNDERGROUND UTILITY
 - CMP CORRUGATED METAL PIPE
 - RCP REINFORCED CONCRETE PIPE
 - PVC POLYVINYL CHLORIDE PIPE
 - GW GUY WIRE ANCHOR
 - TR TRANSFORMER
 - JB JUNCTION BOX
 - SWCB SINGLE WING CATCH BASIN
 - DWCB DOUBLE WING CATCH BASIN
 - CLF CHAIN LINK FENCE
 - WV WATER VALVE
 - WM WATER METER
 - CO SEWER CLEAN-OUT
 - GV GAS VALVE
 - N/F NOW OR FORMERLY
 - IB ICE BRIDGE
 - IBP ICE BRIDGE POLE



EXISTING SITE PHOTO
SCALE: NTS



P. MARSHALL &
ASSOCIATES

CEDAR
BLUFF
RELO

420 PARK 40
NORTH BLVD.
KNOXVILLE, TN
37932

LOCATION CODE:

830347

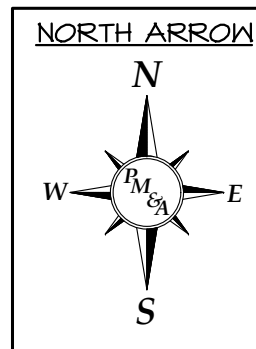
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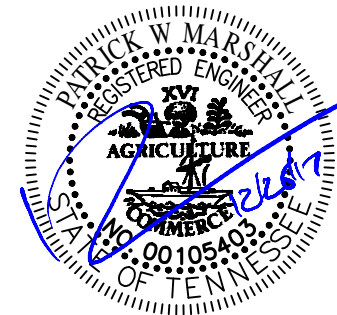
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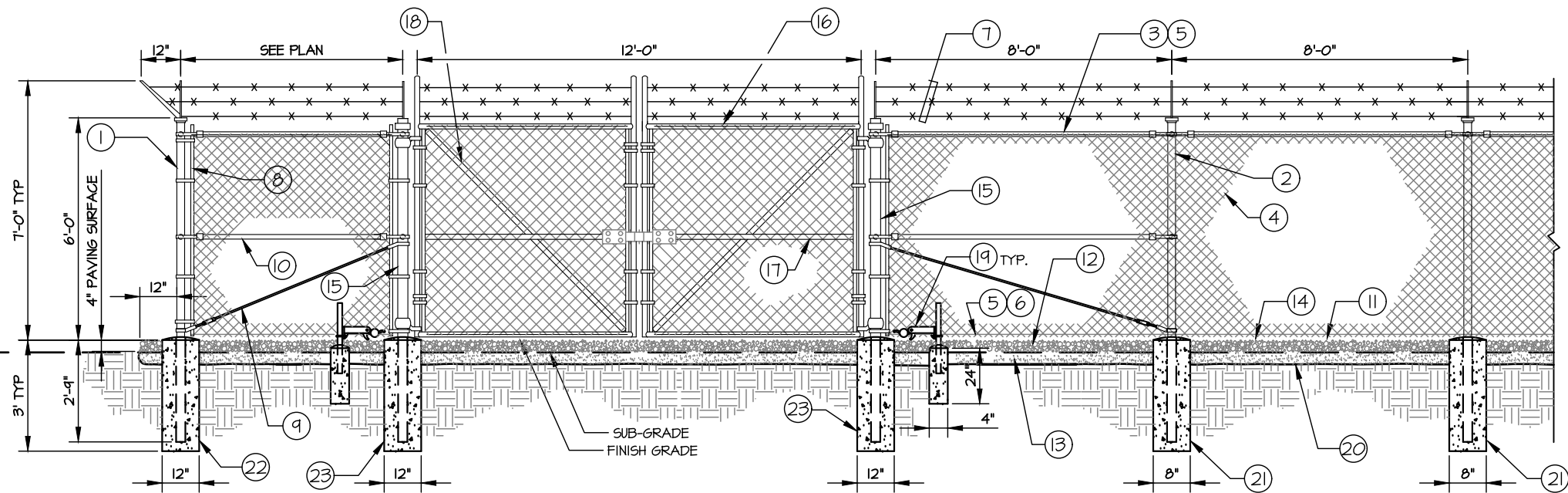
JOB #:
-CC033-

SITE PLAN

C-2







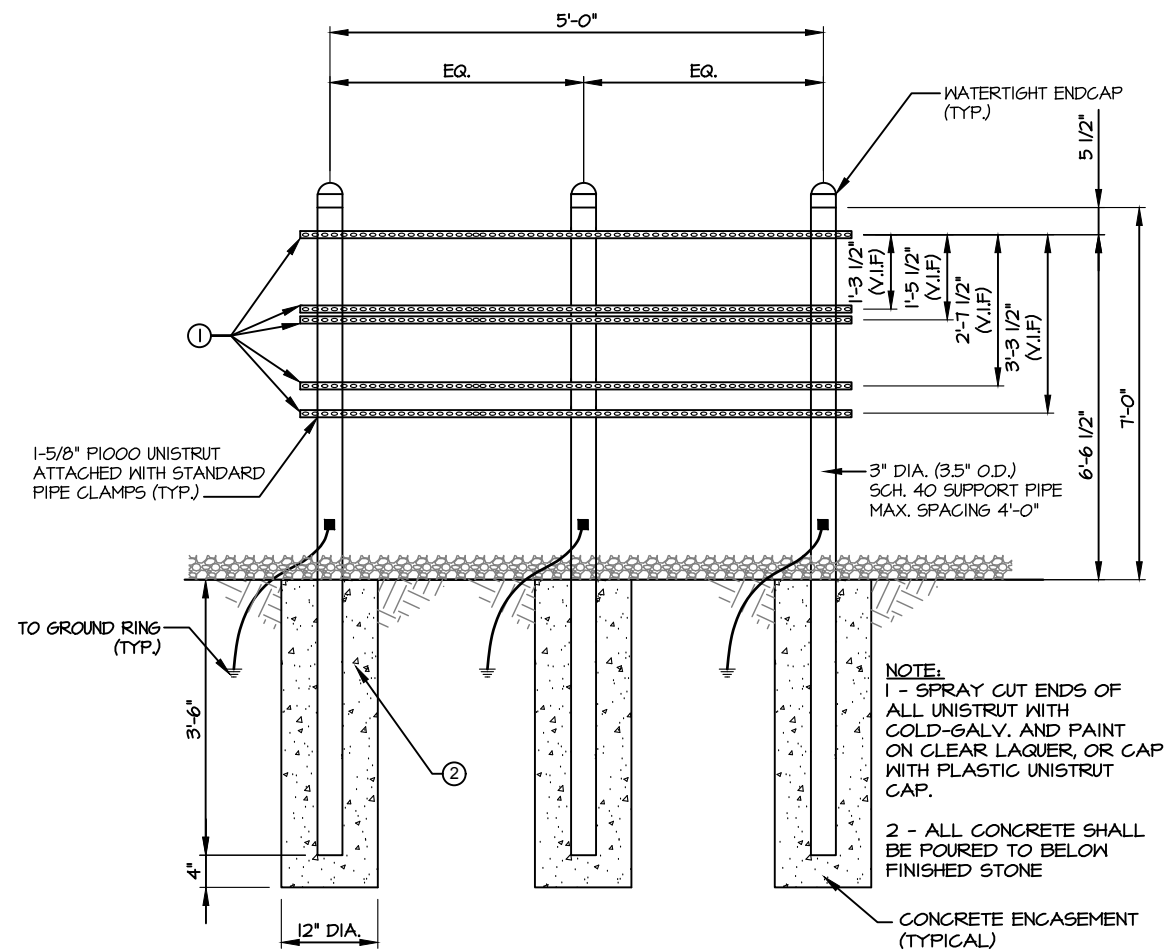
STANDARD FENCE ELEVATION DETAILS
NOT TO SCALE



SITE SIGNAGE NOTE
INSTALL (1) ON ALL SIDES OF SITE FENCE

RED/ WHITE BACKGROUND WITH CONTRASTING LETTERING.

STE SIGNAGE
NOT TO SCALE



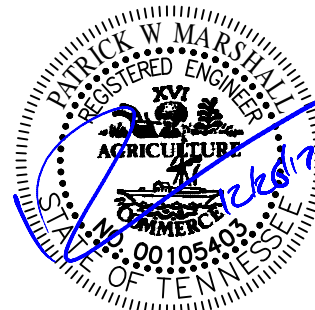
H-FRAME ELEVATION
NOT TO SCALE

KEY NOTES: (X)

1. CORNER, END OR PULL POST 3" NOMINAL SCHEDULE 40 PIPE.
2. LINE POST: 2-1/2" SCHEDULE 40 PIPE, PER ASTM-F1083. LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 8'-0" O.C.
3. TOP RAIL & BRACE RAIL: 1-1/2" PIPE PER ASTM-F1083.
4. FABRIC: 1 GA CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392. ALL PIES TO BE GALVANIZED.
5. TIE WIRE: MINIMUM 11 GA. GALVANIZED STEEL AT POSTS AND RAILS A SINGLE WRAP OF FABRIC TIE AND AT TENSION WIRE BY HOG RINGS SPACED MAXIMUM 24" INTERVALS.
6. TENSION WIRE: 1 GA. GALVANIZED STEEL
7. BARBED WIRE: DOUBLE STRAND 12-1/2" O.D. TWISTED WIRE TO MATCH WITH FABRIC 14 GA., 4 PT. BARBS SPACED ON APPROXIMATELY 5" CENTERS.
8. STRETCHER BAR
9. 3/8" DIAGONAL ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD.
10. FENCE CORNER POST BRACE: 1-5/8" DIAMETER EACH CORNER EACH WAY.
11. 1-1/2" MAXIMUM CLEARANCE FROM GRADE.
12. FINISHED GRADE
13. MATERIAL SUB-GRADE
14. FINISHED GRADE SHALL BE UNIFORM AND LEVEL.
15. GATE POST 4" SCHEDULE 40 PIPE (FOR GATE WIDTHS UP THRU 7' OR 14' FOR DOUBLE SWING GATES) PER ASTM-F1083.
16. GATE FRAME: 1-1/2" PIPE, PER ASTM-F1083.
17. GATE FRAME: 1-5/8" DIAMETER PIPE, PER ASTM-F1083.
18. GATE DIAGONAL GALVANIZED STEEL 1-1/2" PIPE.
19. DUCK BILL OPEN GATE HOLDER. VERIFY LOCATION IN FIELD PRIOR TO INSTALLATION.
20. GEOTEXTILE FABRIC
21. LINE POST: CONCRETE FOUNDATION (2000 PSI)
22. CORNER POST: CONCRETE FOUNDATION (2000 PSI)
23. GATE POST: CONCRETE FOUNDATION (2000 PSI)

GENERAL NOTES:

- A. INSTALL FENCE PER ASTM F-567
- B. INSTALL SWING GATE PER ASTM F-900
- C. LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLIED IF REQUIRED.
- D. POST & GATE PIPE SIZES ARE INDUSTRY STANDARDS.
 - D.A. ALL PIPES TO BE 1-1/2" GALVANIZED (HOT DIP, ASTM A120 GRADE "A" STEEL).
 - D.B. ALL GATE FRAMES SHALL BE WELDED.
 - D.C. ALL WELDING SHALL BE COATED WITH (3) COATS OF COLD GALVANIZED STEEL (OR EQUAL).
- E. ALL OPEN POSTS SHALL HAVE END-CAPS
- F. USE GALVANIZED HOG-RING WIRE TO MOUNT ALL SIGNS.
- G. ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC.
- H. CONTRACTOR SHALL PROVIDE AND INSTALL STYMIE-LOCK LOCKING MECHANISM ON 12'-0" GATE. COORDINATE W/ PM FOR FINAL COMBINATION CODE



P. MARSHALL &
ASSOCIATES

CEDAR
BLUFF
RELO

420 PARK 40
NORTH BLVD.
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37932

LOCATION CODE:

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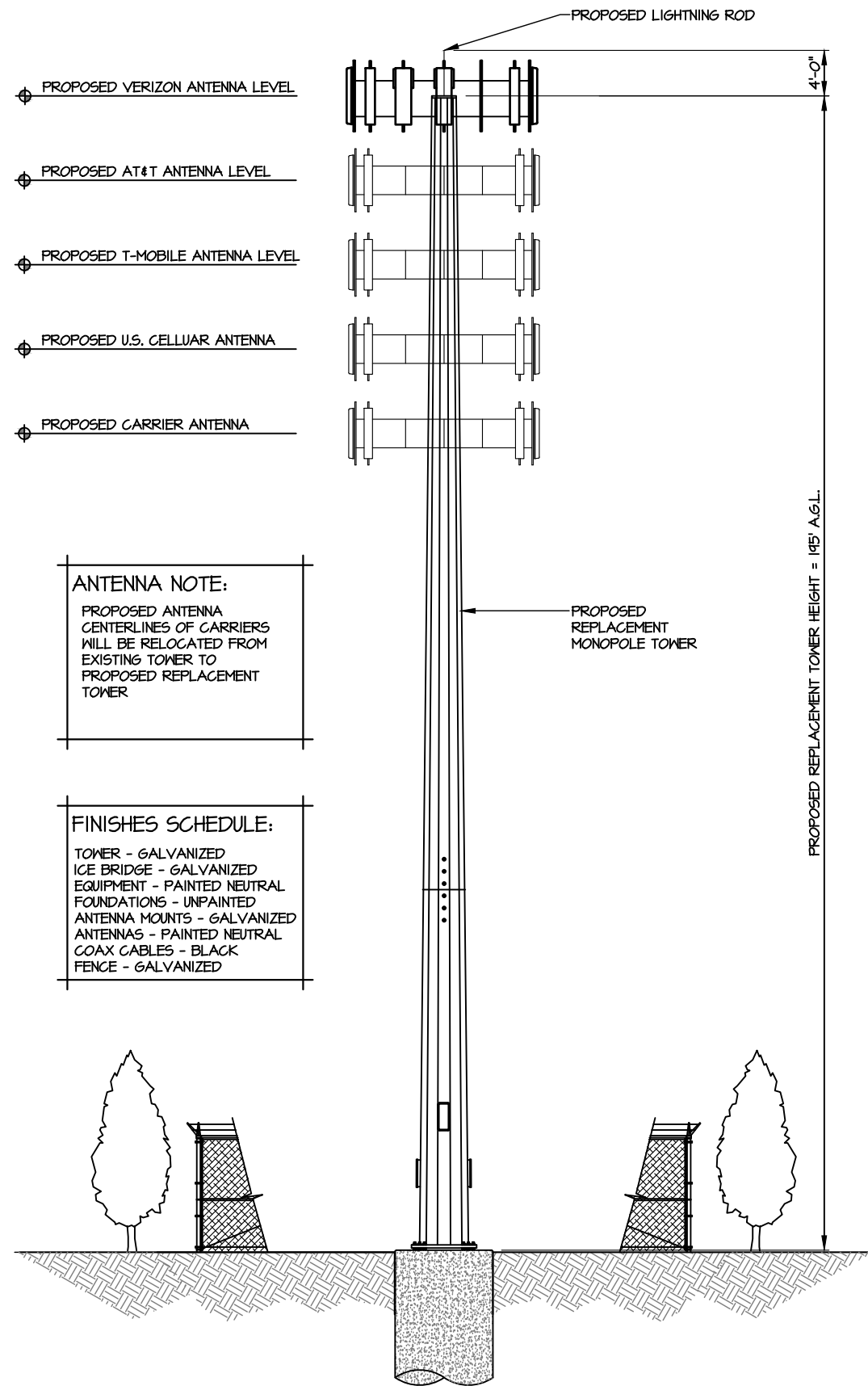
NO.	DATE	DESCRIPTION
0	11.15.17	ZONING
1	12.26.17	ZD-COMMENTS

DESIGNED: JTM
DRAWN: JTM
CHECKED: JTM

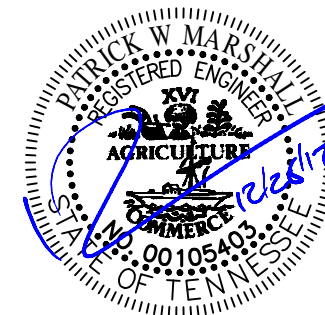
JOB #:
-CC033-

COMPOUND
DETAILS

C-4



TOWER ELEVATION
SCALE: NTS



P. MARSHALL &
ASSOCIATES

CEDAR
BLUFF
RELO

420 PARK 40
NORTH BLVD.
KNOXVILLE, TN
37932

LOCATION CODE:

830347

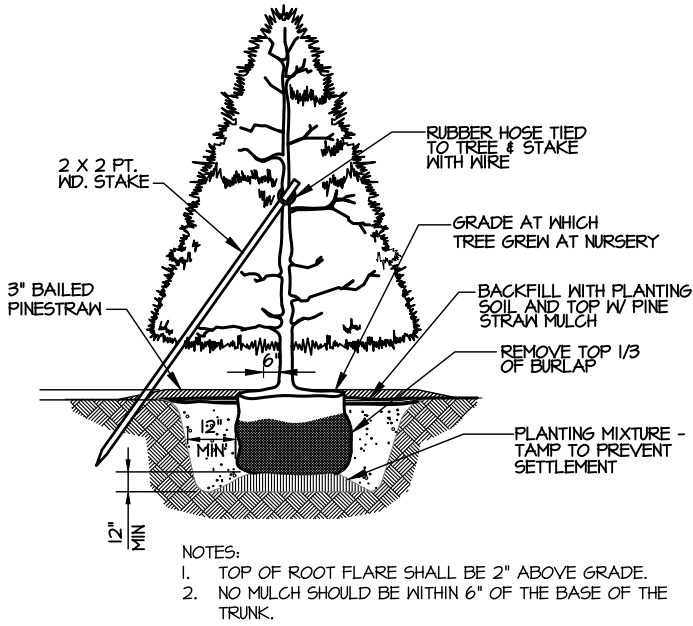
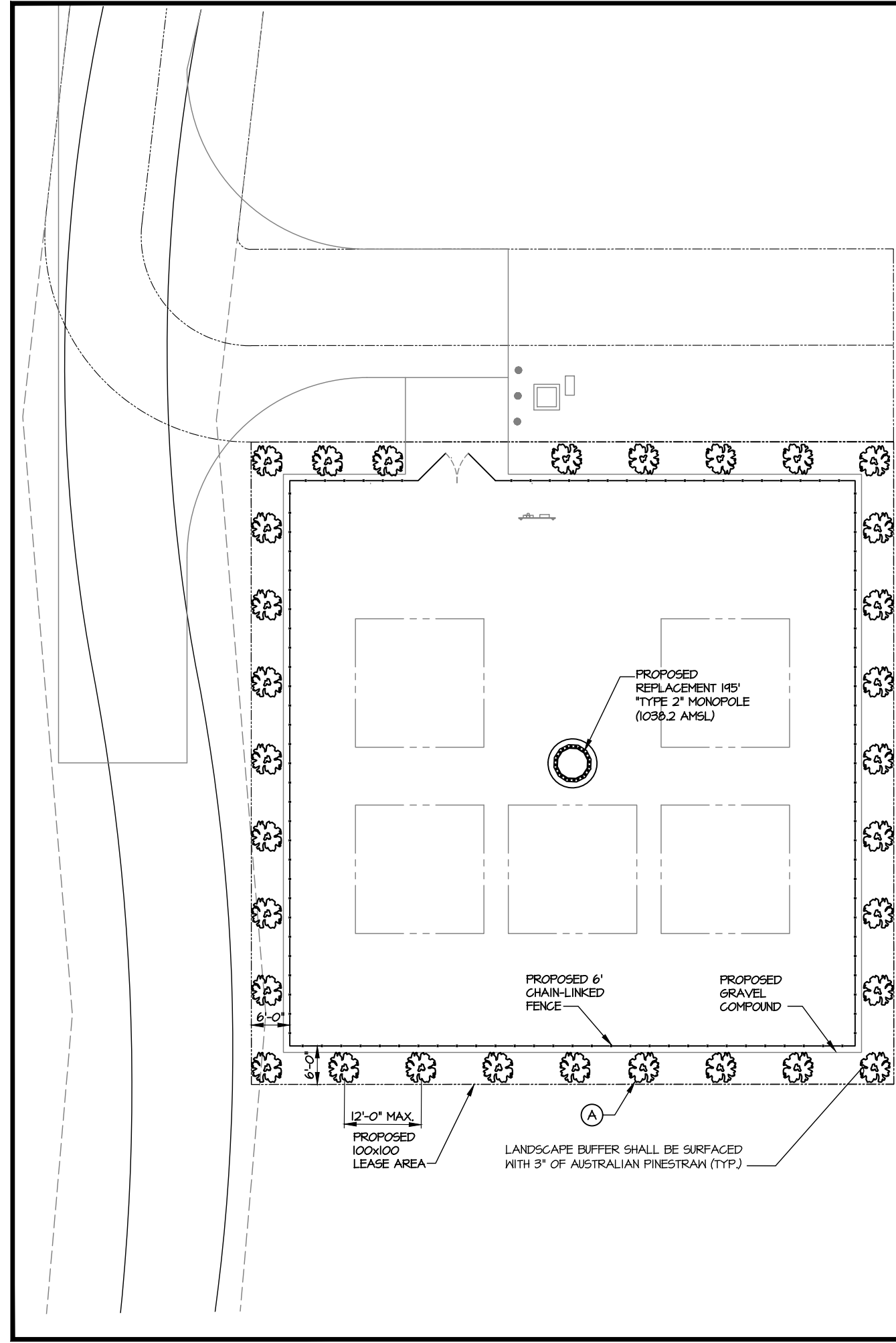
NO.	DATE	DESCRIPTION
0	11.15.17	ZONING
1	12.26.17	ZD-COMMENTS

DESIGNED: JTM
DRAWN: JTM
CHECKED: JTM

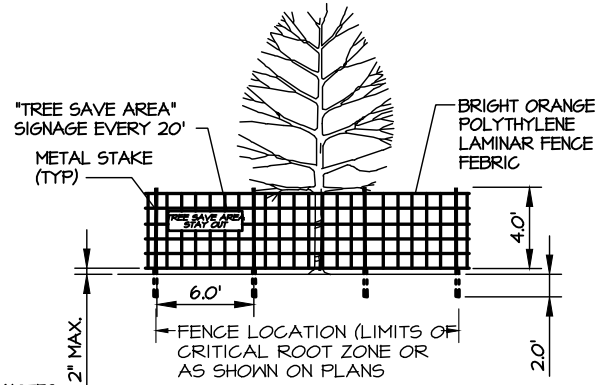
JOB #:
-CC033-

TOWER
ELEVATION

C-5



TREE PLANTING DETAIL
NOT TO SCALE



TREE PROTECTION DETAIL
NOT TO SCALE

- ARBORIST NOTES:
1. NO SPECIMEN TREES EXISTING ON THE SITE.
 2. NO PLANTING MATERIAL WILL BE STORED ON SITE.
 3. PLANTS AND ALL SUBSTITUTION MUST BE SELECTED FROM APPROVED LIST BY METROPOLITAN PLANNING COMMISSION GUIDELINES, TREE CONSERVATION & PLANTING PLAN
 4. AS PER SECTION 4.92 OF THE KNOX COUNTY, TN CODE AN AVERAGE OF FOR ALL TOWERS, AT LEAST ONE (1) ROW OF EVERGREEN TREES OR SHRUBS CAPABLE OF FORMING A CONTINUOUS HEDGE AT LEAST FIVE (5) FEET IN HEIGHT AND SCREENING THE BASE OF THE TOWER FROM PUBLIC VIEW WITHIN TWO (2) YEARS OF PLANTING SHALL BE PLANTED AND MAINTAINED IN HEALTHY CONDITION. A BREAK IN THE HEDGE, NOT TO EXCEED TWELVE (12) FEET IN WIDTH, SHALL BE ALLOWED FOR ACCESS FOR MAINTENANCE PERSONNEL AND VEHICLES.

PLANT LIST:

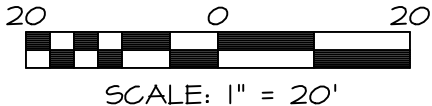
MARK	QTY.	COMMON NAME	BOTANICAL NAME	SIZE/REMARKS
(A)	31	LEYLAND CYPRESS	CUPRESSUS LEYLANDII	5' TALL AT PLANTING

TOTAL AREA OF LANDSCAPE BUFFER: 4224 SF - 0.097 ACRES

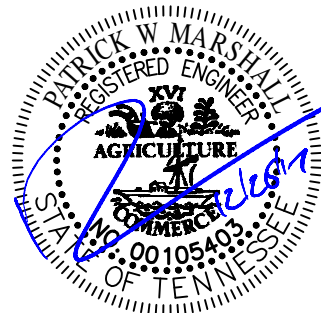
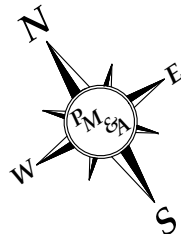
GENERAL NOTES:

1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
2. ALL PLANTS MUST BE CONTAINER-GROWN OR BALLED AND BURLAPPED AS SPECIFIED.
3. ALL TREES MUST BE STRAIGHT TRUNKED, FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
4. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE ENGINEER'S REPRESENTATIVE BEFORE, DURING, AND AFTER INSTALLATION.
5. ALL TREES MUST BE GUYED OR STAKED AS SHOWN.
6. ALL PLANTS AND PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
9. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING, BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZATION, ETC.) OF PLANTING AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE ENGINEER'S REPRESENTATIVE.
10. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT YEAR BEGINNING AT THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
11. THE ENGINEER'S REPRESENTATIVE WILL APPROVE THE STAKED LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION.
12. AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
13. ANY PLANT MATERIAL THAT DIES, TURNS BROWN OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL SPECIFICATIONS.
14. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK", LATEST EDITION, REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.

GRAPHIC SCALES



NORTH ARROW



P. MARSHALL & ASSOCIATES

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LANDSCAPING PLAN

C-6

PARK 40 N. BLVD.
(80' PUBLIC RIGHT OF WAY)

SUBJECT PROPERTY
LINE

555' TOWARD SHERRILL BLVD.

450' TOWARDS PARK N. BLVD.

PROPOSED CONCRETE ACCESS
DRIVEWAY. SEE CITY STANDARD
DETAIL ON SHEET C-8

28'-0"

EXISTING CURB

EXISTING GAS LINE

EXISTING FIBER LINE

EXISTING 25' FRONT
SETBACK

EXISTING 20'
CHAINLINK GATE

EXISTING 30'
ACCESS/ UTILITY
EASEMENT

PROPOSED ASPHALT
ACCESS DRIVE

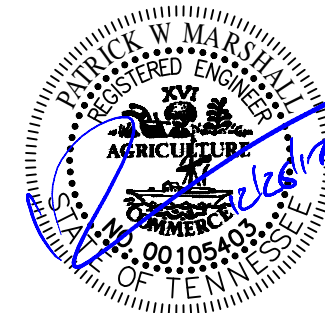
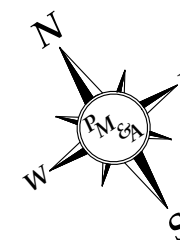
DRIVE WAY PLAN
SCALE: 1'-0" = 20'-0"

GRAPHIC SCALES



SCALE: 1" = 20'

NORTH ARROW



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ACCESS RD.
DESIGN

C-9

