

A SHELL BUILDING AT OSPREY POINT

909 OSPREY POINT LANE
KNOXVILLE, TN 37922

PLANS REVIEW DATA

CITY OF KNOXVILLE GOVERNING CODES & GUIDELINES

2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL FUEL GAS CODE
2018 INTERNATIONAL FIRE CODE
2017 NATIONAL ELECTRICAL CODE
2009 ICC / ANSI A117.1

STATEMENT OF INTENT

GEORGE ARMOUR EWART, ARCHITECT HAS, TO THE BEST OF ITS PROFESSIONAL EFFORTS, DESIGNED AND PRODUCED THESE DRAWINGS TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL CODES APPLICABLE TO THIS PROJECT ON THE DAY OF ISSUANCE, WITHOUT BEING SUBJECT TO JUDICIAL INTERPRETATION AND TO BEST OF OUR KNOWLEDGE, THESE DRAWINGS ARE ALSO IN COMPLIANCE WITH THE 2010 AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN.

OWNER

JOHN C. DAVENPORT

PROJECT ADDRESS

909 OSPREY POINT LANE
KNOXVILLE, TN 37922

OCCUPANCY CLASSIFICATION

IBC: GROUP B, BUSINESS (DENTAL OFFICE, BEAUTY SALON, MEDICAL OFFICE)
OCCUPANT LOAD = 9,247 S.F. / 150 = (62) OCCUPANTS

BUILDING CLASSIFICATION

TYPE V-B, UNPROTECTED, NON-SPRINKLERED, ONE-STORY

STRUCTURAL FRAME

0

BEARING WALLS

EXTERIOR: 0
INTERIOR: 0

NON-BEARING WALLS & PARTITIONS

EXTERIOR: 0
INTERIOR: 0

FLOOR CONSTRUCTION

0

ROOF CONSTRUCTION

0

FLOOR AREA

NUMBER OF STORIES: 1
MAX AREA ALLOWED: 9,000 S.F. + 75% IBC 506.3.3 FRONTAGE INCREASE = 15,750 S.F.
ACTUAL BUILDING AREA: 9,247 S.F.

ENERGY CONSERVATION:

- THIS BUILDING HAS BEEN DESIGNED TO BE COMPLIANT WITH THE REQUIREMENTS OF CHAPTER 4 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE (CLIMATE ZONE 4)
- ROOFS, WITH INSULATION ENTIRELY ABOVE DECK, ARE DESIGNED TO EXCEED R-30ci
- ROOFS, WITH INSULATION IN ATTIC, ARE DESIGNED TO EXCEED R-38
- METAL BUILDING ROOFS, ARE DESIGNED TO EXCEED R-19 + R-11 LS
- MASS WALLS, ABOVE GRADE, ARE DESIGNED TO EXCEED R-9.5ci
- METAL FRAMED WALLS, ABOVE GRADE, ARE DESIGNED TO EXCEED R-13 + R-7.5ci
- METAL BUILDING WALLS, ABOVE GRADE, ARE DESIGNED TO EXCEED R-13 + R-13ci
- WALLS, BELOW GRADE, ARE DESIGNED TO EXCEED R-7.5ci
- THERE ARE NO FLOORS ABOVE OUTDOOR OR UNCONDITIONED SPACES.
- SLAB-ON-GRADE UNHEATED FLOORS ARE DESIGNED TO EXCEED R-10 FOR 24" BELOW.
- SWINGING DOORS ARE DESIGNED TO BE LESS THAN U - 0.61
- VERTICAL FENESTRATION:
FIXED FENESTRATION SHALL HAVE A U-FACTOR LESS THAN U - 0.38
OPERABLE FENESTRATION SHALL HAVE A U-FACTOR LESS THAN U - 0.45
ENTRANCE DOORS SHALL HAVE A U-FACTOR LESS THAN U - 0.77. SHGC SHALL BE:
SEW (PF<0.2=0.36max) (0.2≤PF<0.5=0.43max) (PF≥0.5=0.58max)
N (PF<0.2=0.48max) (0.2≤PF<0.5=0.53max) (PF≥0.5=0.58max)
- SKYLIGHTS SHALL HAVE A U-FACTOR OF LESS THAN 0.50 AND A SHGC OF LESS THAN 0.40

ABBREVIATIONS

ACT	ACOUSTICAL TILE
AFF	ABOVE FINISH FLOOR
ALT	ALTERNATE
ALUM	ALUMINUM
BLKG	BLOCKING
BLDG.	BUILDING
CAB	CABINET
CT	CERAMIC TILE
C/C	CENTER TO CENTER
CCT	CUBICLE CURTAIN TRACK
CL or CL	CENTER LINE
CG	CORNER GUARD
CLR	CLEAR
CMP	CORRUGATED METAL PIPE
CMU	CONCRETE BLOCK MASONRY UNIT
COL.	COLUMN
CONC.	CONCRETE
CPT	CARPET
DBL.	DOUBLE
DF	DRINKING FOUNTAIN
DFG	DOOR FRAME GUARD
DS	DOWNSPOUT
DT	DRAPERY TRACK
ECG	EXISTING CORNER GUARD
ELEV.	ELEVATION
EP	ELECTRICAL PANEL
EW	ELECTRIC WATER COOLER
EXP. JT. or EJ	EXPANSION JOINT
EXIST or EX	EXISTING
FF	FINISH FLOOR
FCU	FAN COIL UNIT
FIN	FINISH
FOB	FACE OF BRICK
FOM	FACE OF MASONRY
FOS	FACE OF STUD
F/F	FACE TO FACE
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FHC	FIRE HOSE CABINET
GALV.	GALVANIZED
GB	GRAB BAR
GC or GEN. CON	GENERAL CONTRACTOR
GFI	GROUND FAULT INTERRUPT
GP	GUARD POST
GYP. BD.	GYP. BOARD
HC	HANDICAP
HPDL	HIGH PRESSURE DECORATIVE LAMINATE
INSUL.	INSULATION
INV.	INVERT (ELEVATION)
JT.	JOINT
MBL	MARBLE
MTL.	METAL
N/A	NOT APPLICABLE
NC	NONE COMBUSTIBLE
NIC	NOT IN CONTRACT
NOM	NOMINAL
OC	ON CENTER
OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
OH or OPP HD	OPPOSITE HAND
OS/OS	OUTSIDE TO OUTSIDE
P. LAM or PL	PLASTIC LAMINATE
PART	PARTIAL
PLAST	PLASTER
PT	PAINT
PTD	PAPER TOWEL DISPENSER
PTME	PATCH TO MATCH EXISTING
PTN	PARTITION
REF.	REFRIGERATOR
REV	REVISION
SD	SOAP DISPENSER
SF or SQ. FT	SQUARE FEET
SQ. IN	SQUARE INCHES
SHV	SHEET VINYL
T&G	TONGUE AND GROOVE
TOS	TOP OF STEEL
TME	TO MATCH EXISTING
TWL	TOWEL BAR
TCKBD	TACK BOARD
TPH	TOILET PAPER HOLDER
UNO	UNLESS NOTED OTHERWISE
V	VINYL
VCT	VINYL COMPOSITION TILE
VIF	VERIFY IN FIELD
WC	WALL COVERING OR WATER CLOSET
WD	WOOD
WG	WALL GUARD

DRAFTING CONVENTIONS

	CONCRETE MASONRY (PLAN)
	CONCRETE MASONRY (SECTION)
	BRICK
	CONCRETE
	PRECAST CONCRETE
	STONE
	STEEL
	CLEAR
	CORRUGATED METAL PIPE
	CONCRETE BLOCK MASONRY UNIT
	COLUMN
	CONCRETE
	CARPET
	DOUBLE
	DRINKING FOUNTAIN
	DOOR FRAME GUARD
	DOWNSPOUT
	DRAPERY TRACK
	EXISTING CORNER GUARD
	ELEVATION
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	ELECTRIC WATER COOLER
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	NOMINAL
	ON CENTER
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	OPPOSITE HAND
	OUTSIDE TO OUTSIDE
	PLASTIC LAMINATE
	PARTIAL
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	VINYL COMPOSITION TILE
	VERIFY IN FIELD
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	WALL GUARD

GRAPHICS SYMBOLS

	DOOR NO. DESIGNATION
	REVISION MARKER
	WINDOW DESIGNATION
	DETAIL OR SECTION NO. SHEET DRAWN ON
	INTERIOR ELEVATION NO. SHEET DRAWN ON
	SECTION NO. SHEET DRAWN ON
	EXTERIOR ELEVATION SHEET DRAWN ON
	ENLARGED AREA SHEET DRAWN ON
	INTERIOR PARTITION TYPE

GENERAL NOTES:

- CONTRACTOR SHALL VERIFY ALL ON-SITE DIMENSIONS. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL OBTAIN WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
- DIMENSIONS ARE REFERENCED TO FACE OF NEW INTERIOR STUD WALLS, COLUMN CENTERLINES & TO THE FACE OF EXTERIOR WALLS UNLESS OTHERWISE INDICATED.
- PROVIDE PRESSURE TREATED WOOD FOR CONCEALED MEMBERS IN CONTACT WITH MASONRY OR CONCRETE.
- PROVIDE FIRE-RETARDANT TREATED WOOD BLOCKING IN WALLS TO SUPPORT EQUIPMENT, RAILINGS, ACCESSORIES, DRAPERY TRACKS, RECESSED ITEMS, ETC. AS REQD. HANDRAILS, GRAB BARS AND WALL MOUNTED TOILET FIXTURES SHALL BE INSTALLED TO WITHSTAND A MIN. VERT. OR HORIZ. FORCE OF 250 LBS.
- MAINTAIN THE INTEGRITY OF RATED WALLS AT ELECTRICAL PANELS, FIRE EXTINGUISHER CABINETS & ALL RECESSED EQUIPMENT. FOR ALL RATED PARTITIONS, THE SURFACE AREA OF INDIVIDUAL METALLIC OUTLET OR SWITCH BOXES SHALL NOT EXCEED 16 SQUARE INCHES. THE AGGREGATE SURFACE AREA OF THE BOXES SHALL NOT EXCEED 100 SQUARE INCHES PER 100 SQUARE FEET. BOXES LOCATED ON OPPOSITE SIDES OF WALLS OR PARTITIONS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 24 INCHES MINIMUM.
- ALL RATED PARTITIONS SHALL BE TIGHTLY SEALED TO THE UNDERSIDE OF DECK. INTEGRITY OF RATED PARTITIONS SHALL BE MAINTAINED AT CORNERS AND INTERSECTIONS OF OTHER PARTITION TYPES
- EACH PENETRATION IN RATED PARTITIONS FOR CONDUIT, PIPING OR OTHER ITEMS SHALL BE PROTECTED BY AN APPROVED UL-LISTED ASSEMBLY TO PROHIBIT THE PASSAGE OF FIRE AND SMOKE.
- CONTRACTOR SHALL VERIFY AND COORDINATE ROUTING, PLACEMENT, SPACE & CLEARANCE REQUIREMENTS FOR MECHANICAL, ELECTRICAL, & OTHER TRADES - REFERENCE PLUMBING, MECHANICAL & ELECTRICAL DRAWINGS.
- ALL PIPING ABOVE GRADE AND INSIDE THE BUILDING SHALL BE CONCEALED, EXCEPT MECHANICAL EQUIPMENT ROOMS. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES TO PROVIDE FURRING FOR PIPING INSTALLED IN FINISHED AREAS.
- THE CONTRACTOR SHALL FURNISH ACCESS PANELS IN WALLS AND NON-ACCESSIBLE TYPE CEILINGS WHERE SERVICE AND ADJUSTMENT TO MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS MAY BE REQUIRED. ACCESS PANELS SHALL HAVE A FIRE RATING EQUAL TO THAT OF THE SURFACE IN WHICH THEY OCCUR. LOCATION OF ACCESS PANELS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO THE APPLICATION OF GYPSUM BOARD.
- ALL CASEWORK DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO UNIT FABRICATION.
- SEAL ALL PENETRATIONS IN THE EXTERIOR ENVELOPE AIR TIGHT AT BOTH THE INTERIOR (VAPOR RETARDER AND GYPSUM BOARD) AND EXTERIOR (SHEATHING AND AIR BARRIER) FACES.
- UNLESS THIS PROJECT IS BEING BID, THE INTENT OF THESE DRAWINGS IS TO BE PART OF A "DESIGN BUILD" PROJECT. ALTHOUGH THE ARCHITECT HAS ATTEMPTED TO SHOW ALL CONSTRUCTION, THE ARCHITECT AND CONTRACTOR ARE TO COORDINATE ANY AREAS NOT NOTED ON THESE DRAWINGS. ANY ADDITIONAL INFORMATION REQUIRED WILL BE PROVIDED DURING CONSTRUCTION.

PROJECT NO.: 21048

DRAWING LOG

ISSUE DATE: 27 MAY 2022
REVISION #1: 03 AUG 2022

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CONSULTANTS

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OAK RIDGE, TN 37830
865-386-4200

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KNOXVILLE, TN 37917
(865) 441-4428

STRUCTURAL ENGINEER

BENDER & ASSOCIATES
110 FOREST CT.
KNOXVILLE, TN 37919
(865) 584-6532

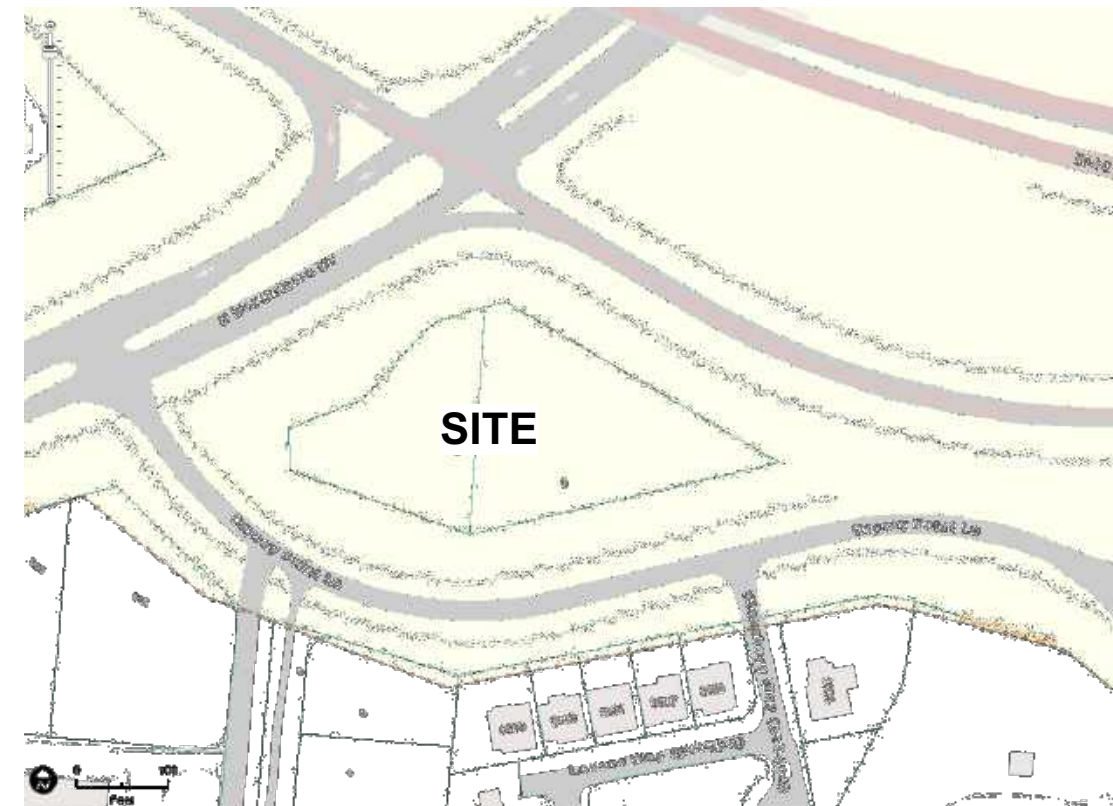
MECHANICAL ENGINEER

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5641 MERCHANTS CENTER BLVD., SUITE A104
KNOXVILLE, TN 37912
(865) 637-8339

ELECTRICAL ENGINEER

VREELAND ENGINEERS
3107 SUTHERLAND AVE.
KNOXVILLE, TN 37919
(865) 637-4451

LOCATION MAP



1-B-24-SU
11/13/2023

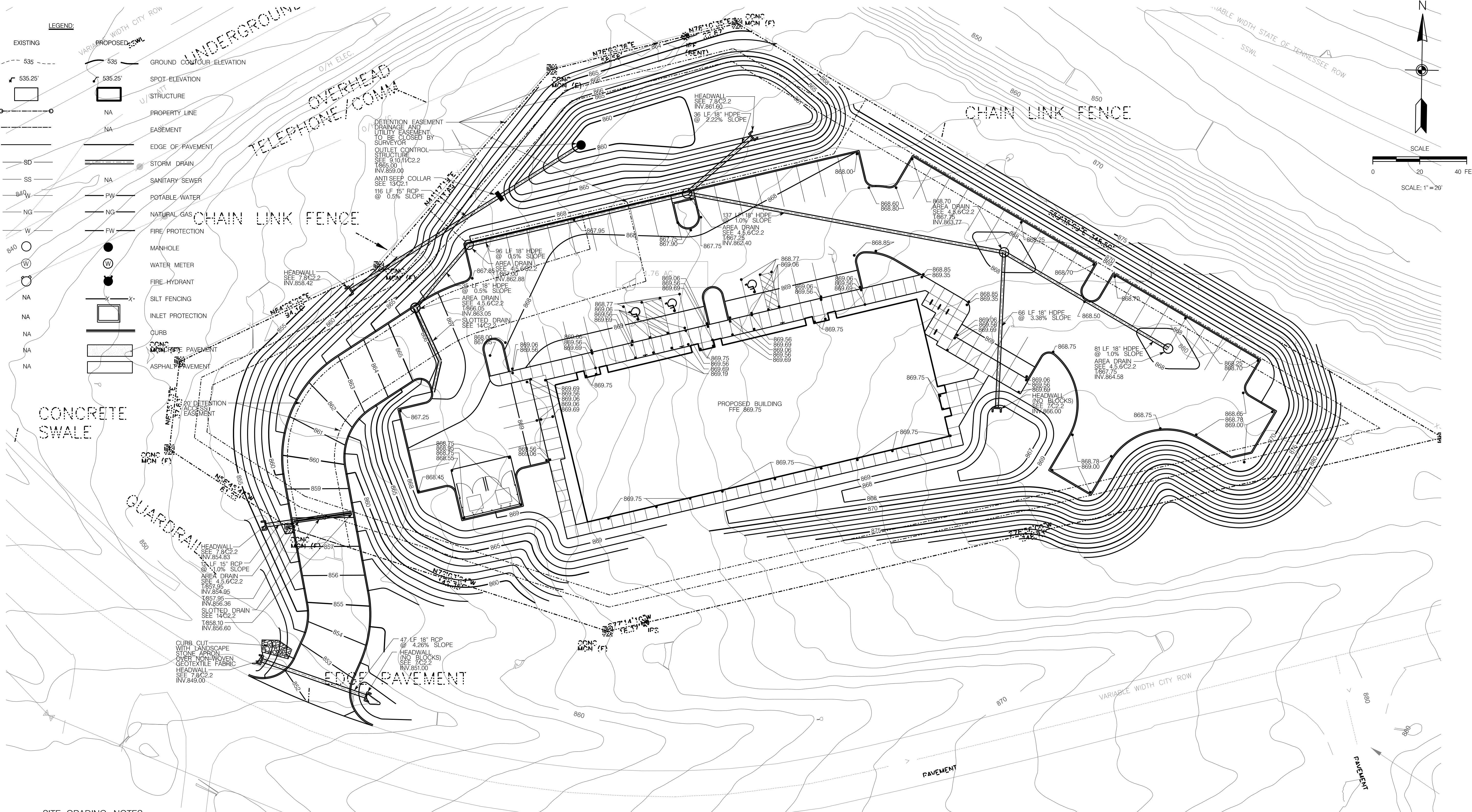
PROJECT NO.: 21048
ISSUE DATE: 27 MAY 2022
SET #:



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SITE GRADING NOTES

1. SITE BENCHMARK: CONTACT SURVEYOR FOR LOCATION AND ELEVATION OF SITE BENCHMARK BASIS NGVD88.
2. SITE BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON A SURVEY BY SCOTT WILLIAMS DATED 01/2017. THE GRADING CONTRACTOR SHALL VERIFY CONDITIONS AND INFORM THE ENGINEER OF ANY DISCREPANCIES. THE ARCHITECT AND THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS.
3. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES INCLUDING SILT FENCE, RIP RAP, AND EROSION CONTROL MAT AS SOON AS PRACTICAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE STRUCTURES UNTIL THE SITE HAS BEEN SUFFICIENTLY STABILIZED.
4. THE CONTRACTOR SHALL EMPLOY SOILS CONSULTANTS FOR THE TESTING OF SOIL COMPACTION IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. SOIL SHALL BE COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD. SOIL MOISTURE CONTENT SHALL BE MAINTAINED WITHIN +/- 3% OF OPTIMUM.
5. THIS PROJECT MAY INVOLVE IMPORT OR WASTE OF FILL MATERIAL. THE CONTRACTOR SHALL REVIEW THIS PLAN, THE SITE SURVEY, AND INSPECT THE SITE ITSELF. THE CONTRACTOR SHALL THEN FORMULATE HIS OWN OPINION AS TO THE APPLICABILITY OF THIS PLAN TO THE GOAL OF AN ECONOMICALLY OPTIMAL SITE. CONTACT THE ENGINEER IF CHANGES TO THIS GRADING PLAN ARE REQUIRED TO MEET THIS GOAL.
6. ALL SLOPES GREATER THAN 3:1 SHALL BE SPREAD WITH NORTH AMERICAN GREEN S-71 EROSION CONTROL FABRIC. INSTALL FABRIC PER MANUFACTURERS RECOMMENDATIONS.
7. NO SLOPES SHALL BE GREATER THAN 2 HORIZONTAL : 1 VERTICAL.
8. APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND FINAL GRADING OR EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
9. APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.
10. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL FOLLOW THE APPROVED PLAN DETAILS. IF DETAILS ARE NOT SHOWN, REFERENCE THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
11. SLOPES SHALL HAVE EROSION CONTROL MAT INSTALLED IMMEDIATELY AFTER SLOPE GRADING IS COMPLETED AND TOPSOIL HAS BEEN INSTALLED TO ENCOURAGE 'LOCK IN' OF EROSION MAT.
12. DETENTION POND WILL BE THE FIRST ORDER OF CONSTRUCTION IN ORDER TO ACT AS A SEDIMENT BASIN. IF THE POND CANNOT BE CONSTRUCTED FIRST, A SEDIMENT BASIN WILL HAVE TO BE CONSTRUCTED FIRST AT A DIFFERENT LOCATION UNTIL THE DETENTION POND CAN BE CONSTRUCTED.
13. ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
14. CONTRACTOR SHALL STORE CHEMICALS AND SOLUBLE MATERIALS IN AN ENCLOSED, WATERPROOF LOCATION OR PROVIDED WITH SECONDARY CONTAINMENT CAPABLE OF STORING THE CONTENTS OF THE TOTAL AMOUNT OF CHEMICALS STORED. SPILL CLEANUP MATERIALS MUST BE LOCATED WITHIN THE IMMEDIATE PROXIMITY OF THE MATERIALS AS WELL.
15. PLACEMENT OF PORTA-POTTIES ON THE PROJECT WILL NOT BE LOCATED CLOSE TO STREAMS, WETLANDS, OR STORM DRAINS.
16. NO VEHICLE MAINTENANCE OF CONSTRUCTION VEHICLES WILL OCCUR ONSITE.
17. CONSTRUCTION MATERIALS WILL BE STAGED IN THE PARKING AREA BETWEEN THE BUILDING AND MIDDLEBROOK PIKE. FOR TRASH ON THE PROJECT, PROVIDE A TRASH RECEPTACLE WITH A LID. MAINTAIN THE MATERIAL STAGING AREA IN A NEAT AND ORDERLY MANNER.
18. CONTRACTOR SHALL INSTALL 4" THICK LAYER OF QUALITY TOPSOIL ON ALL DISTURBED AREAS AND ESTABLISH A THICK STAND OF GRASS ACCEPTABLE TO THE CITY OF KNOXVILLE.
19. LANDSCAPING WILL COMPLY WITH ALL ASPECTS OF THE CITY OF KNOXVILLE TREE PROTECTION ORDINANCE.

1-B-24-SU
11/13/2023

A NEW FACILITY FOR

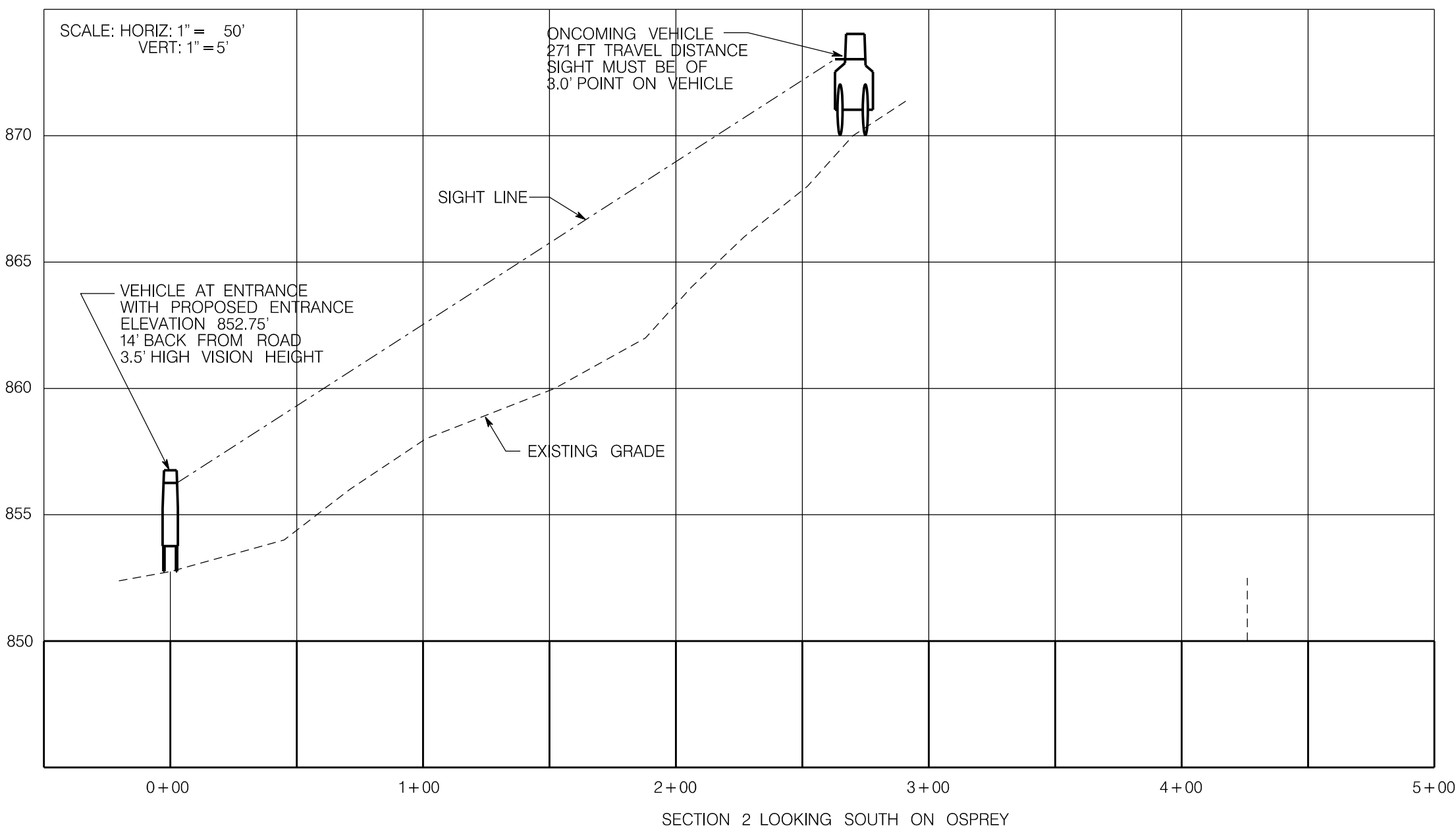
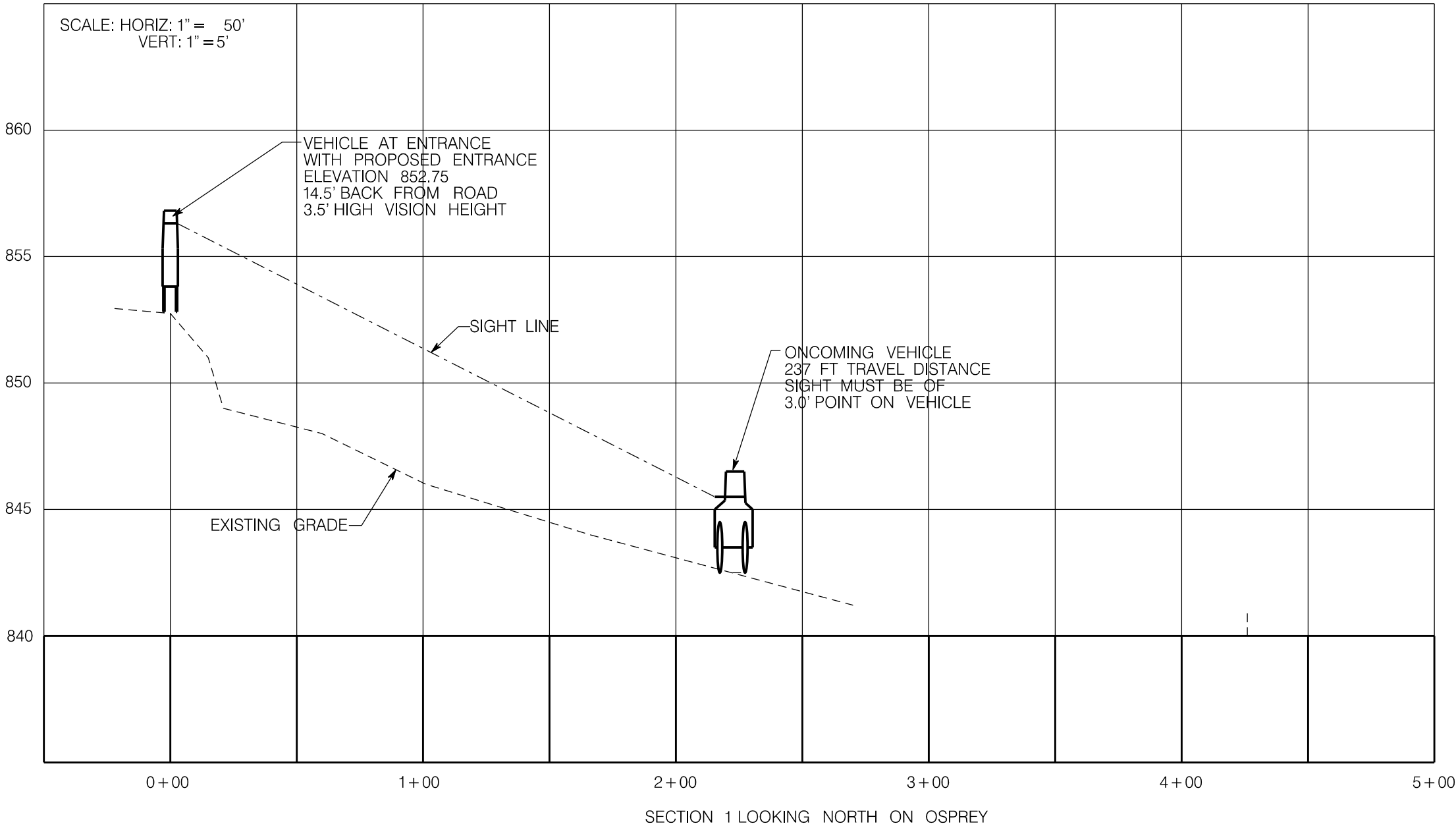
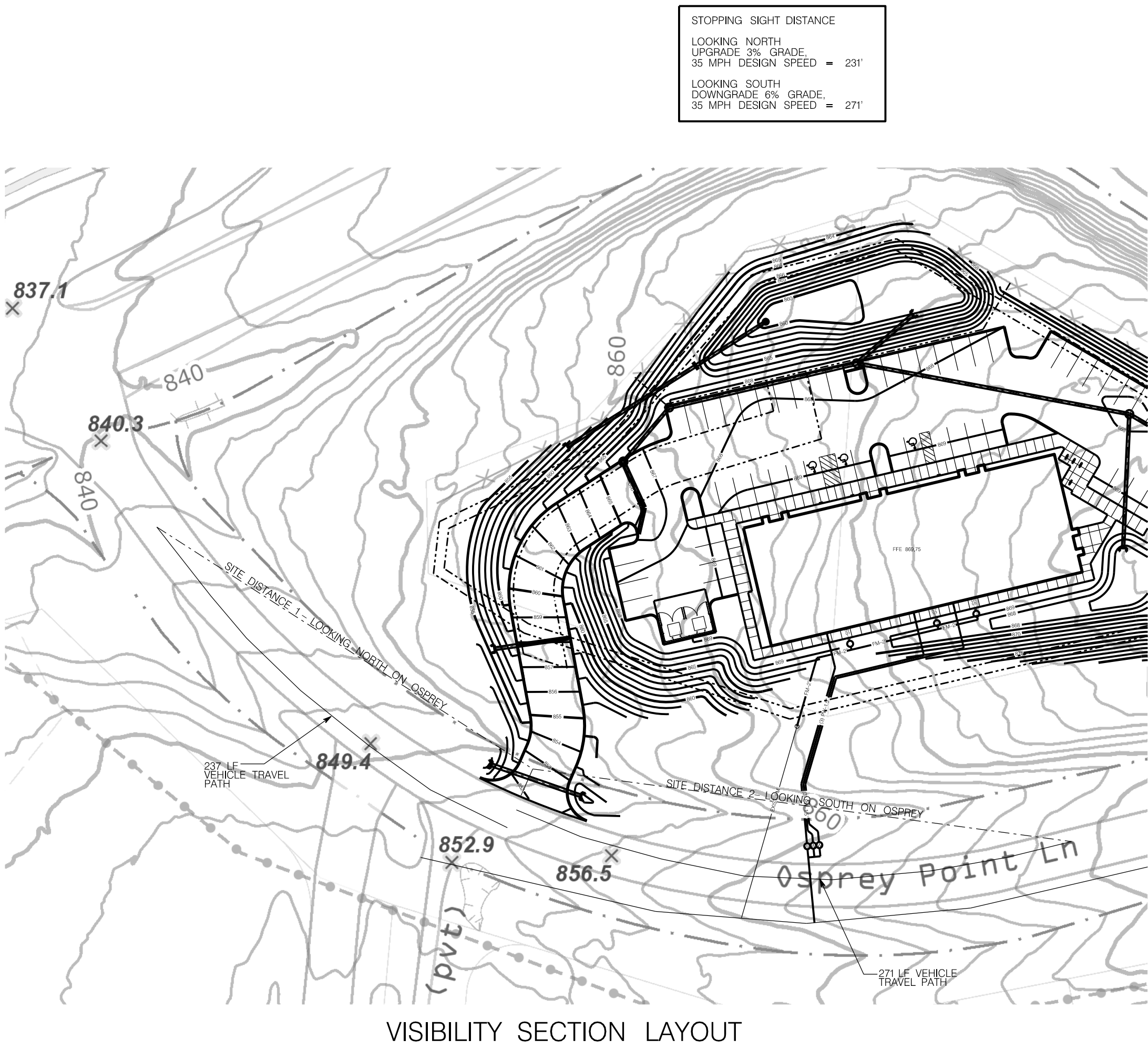
OSPREY POINT

OSPREY POINT LANE
KNOXVILLE, TN

SITE GRADING PLAN

DATE: 01 JUNE 2022
PROJECT NO.: *****
PROJ. MGR.: STUART

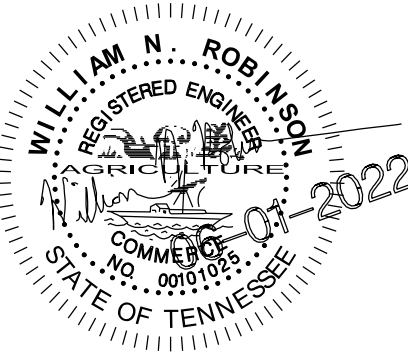
C1.4



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A NEW FACILITY FOR
OSPREY POINT
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KNOXVILLE, TN

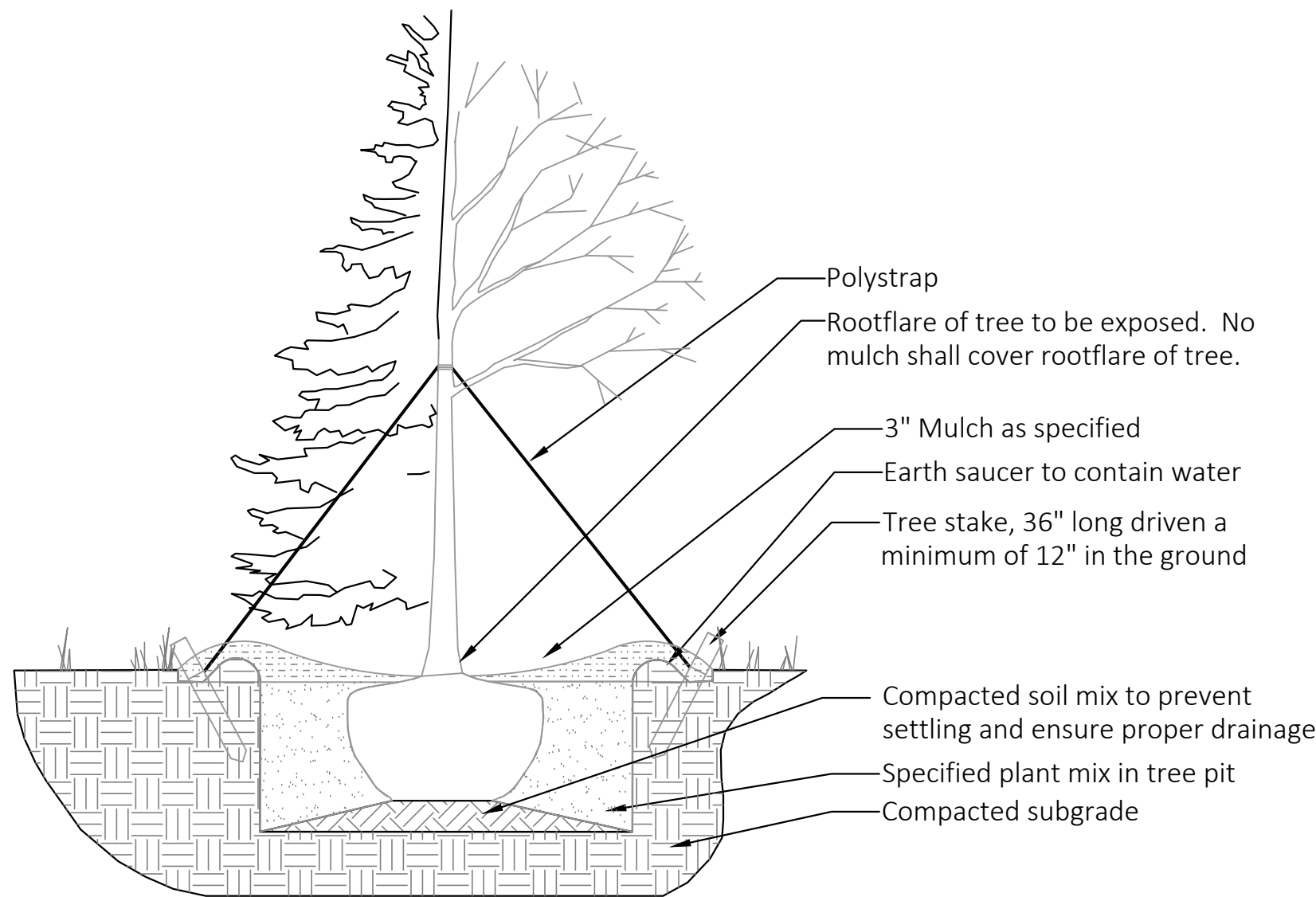


SITE DISTANCE STUDY

1-B-24-SU
11/13/2023

DATE: 01 JUNE 2022
PROJECT NO.: *****
PROJ. MGR.: STUART

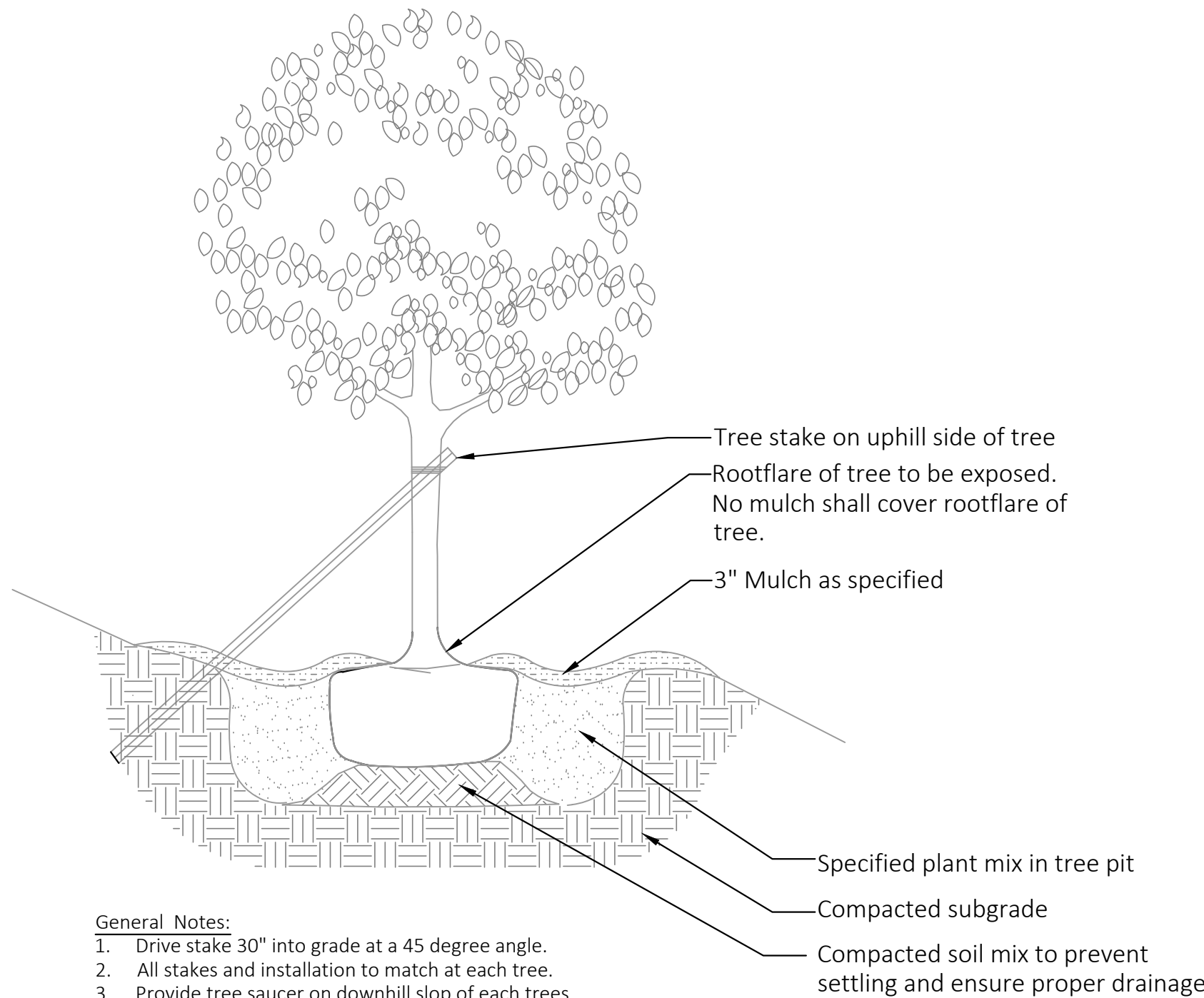
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- General Notes:
1. Excavate tree pit to a depth equal to depth of rootball plus 24", and a width equal to two times the diameter of the rootball.
 2. Fill tree pit with water and confirm percolation rate. (Notify landscape architect if poor drainage conditions exist.)
 3. Install tree 2-3" above finished grade. Avoid any damage to rootball or trunk of tree.
 4. Add specified plant mix and soil ammedments.
 5. Remove burlap on top 2/3 of tree rootball.
 6. Immediately soak tree pit with water and remove any air pockets that may have occurred during backfilling.
 7. Stake and guy tree with specified materials.

1 General Tree Planting

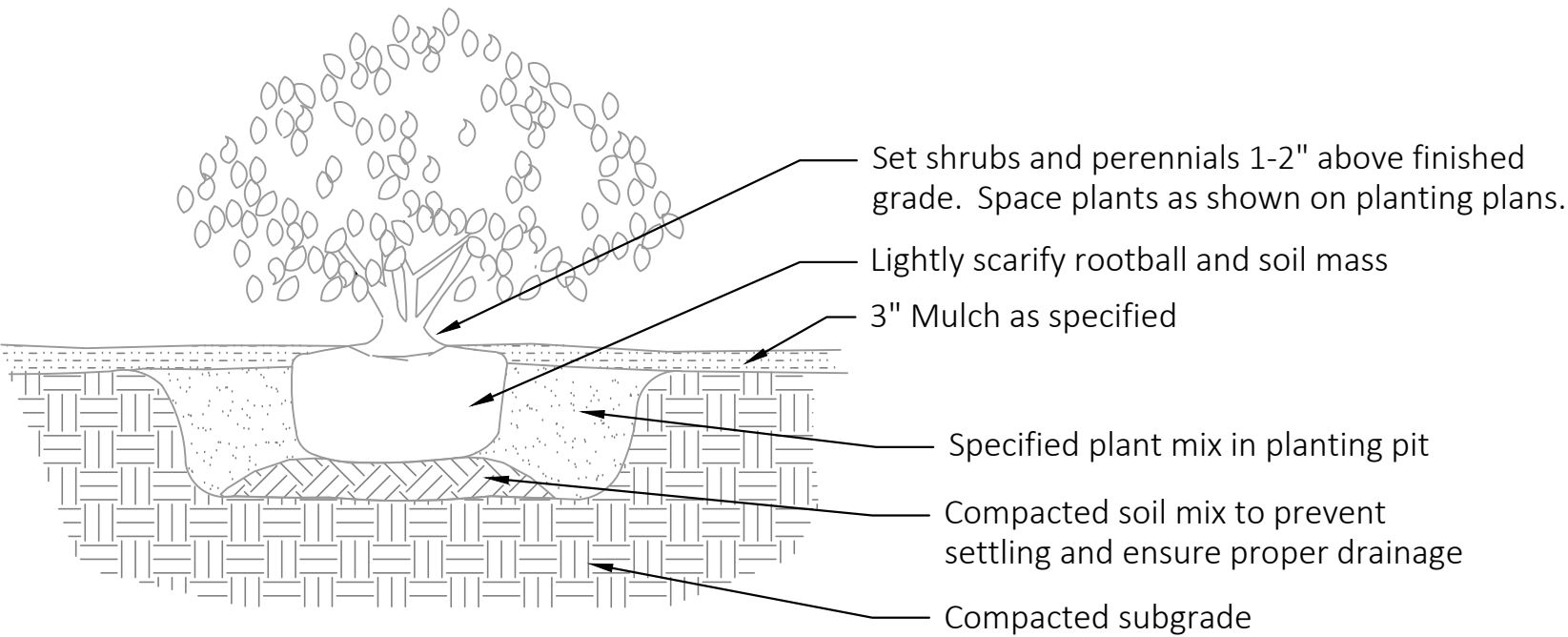
Scale: NTS



- General Notes:
1. Drive stake 30" into grade at a 45 degree angle.
 2. All stakes and installation to match at each tree.
 3. Provide tree saucer on downhill slop of each trees.
 4. Secure stake to tree with polystraps.
 5. Minimum one stake per tree under 2" caliper. Stake to be 2"x2" pine.
 6. If rootball is wrapped in non-biodegradable burlap, remove entire wrap after placed in pit.

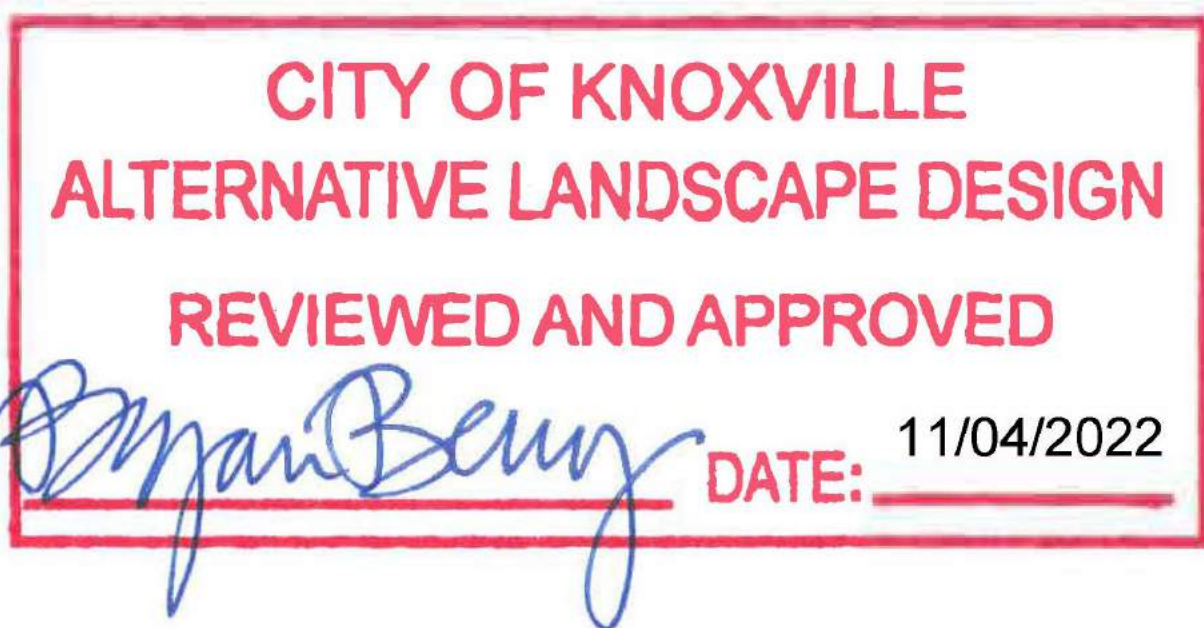
2 Tree Planting on a Slope

Scale: NTS



3 Shrub & Perennial Planting

Scale: NTS



Planting Notes:

1. Contractor's base bid to include all materials, labor, permits, equipment, tools, insurance, etc. to perform the work as described in the contract documents.
2. Contractor to provide allowance for soil ammedments, percolation tests, soil tests, mulch and irrigation.
3. Contractor to complete work within schedule established by owner.
4. Contractor to provide one year warranty for all plant material from date of substantial completion.
5. Contractor to provide interim maintenance (watering, pruning, fertilizing, guying, mowing, trimming, adequate drainage of ponding areas, edging, weeding, mulching, application of insecticides/herbicides, and general landscape clean-up) until substantial completion notice is provided by the owner or landscape architect.
6. The contractor shall locate and verify all existing utilities prior to planting and report any conflicts to the landscape architect. Perform work in compliance with all applicable laws, codes, and regulations required by authorities having jurisdiction over such work and provide for permits required by local authorities.
7. All plant material to be specimen quality as established by the American Association of Nurserymen, horticultural standards, latest edition. quality of the plant material to be judged by the landscape architect. Inferior plant material to be rejected.
8. Plant material to be free of disease, weeds and insect pests. Damaged plant material shall be rejected.
9. No planting shall take place until rough grade has been reviewed and approved by the landscape architect.
10. Planting plans may need to be adjusted in the field. Contractor to coordinate layout of plant material with landscape architect for on site approval prior to installation.
11. Test plant beds and plant pits for adequate drainage. Hardpan or moisture barriers shall be broken, or drain pipes to be installed to provide proper drainage of plant areas. Plant pits shall be excavated to the bottom of the pit. Fill each plant pit with water and observe the pit for 2 hours. If the water has not dissipated by 50% within 2 hours, notify landscape architect of such in writing before installing plants in the questionable area. Otherwise contractor shall be held liable for plants.
12. Trees shall be installed 3" above finish grade in hardpan areas to provide good drainage unless otherwise directed.
13. Groundcover and shrub mass beds shall be cultivated to a depth of 12 inches below grade to break through compacted or hardpan soil. Remove all stones, roots, and weeds. Add specified soil ammedments and fertilizer. Install plants, edge bed area, mulch and water thoroughly.
14. Set all plants plumb and turned so that the most attractive side is viewed.
15. Plants shall be measured to their main structure, not tip to tip of branches.
16. Tree pit and shrub pit to be twice the size of the root mass. Fill with plant mix.
17. Broken root balls for trees shall be rejected. Contractor to check root balls and expose rootflares to check for root girdling. Do not assume the rootflare is exposed upon purchase from the nursery.
18. Any plant materials shipped to site in uncovered vehicles/ trailer shall be rejected regardless of season.
19. All tree scars over 1 -1/2" shall be rejected and tree to be replaced.
20. All shrubs to be dense and full. All trees to have a symmetrical growth habit (360 degrees) unless uncharacteristic to plant type or otherwise noted on plans.
21. Remove all excess growth of trees and shrubs as directed by landscape architect. Do not cut central leader.
22. If rootball is wrapped in non-biodegradeable burlap, remove entire wrap after placed in pit.

Irrigation Notes:

1. All irrigation to be drip irrigation unless otherwise noted on plans and to be Rainbird, Hunter or Toro product or approved equal.
2. Drip tubes to be staked a minimum of 18-24" on center to prevent exposure under mulch.
3. Irrigation around trees to be zone separately from shrubs and groundcover so the tree zones can eventually be phased out as they mature and become established.
4. Irrigation lids in mulch areas to be black and green in lawn areas unless otherwise noted.
5. Irrigation system to include a rain sensor.
6. Contractor to record as-built conditions of irrigation and provide owner with operation manual, location of zones and control box location.

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A SHELL BUILDING AT
OSPREY POINT
909 OSPREY POINT LANE
KNOXVILLE, TN 37922



Landscape Details and Notes

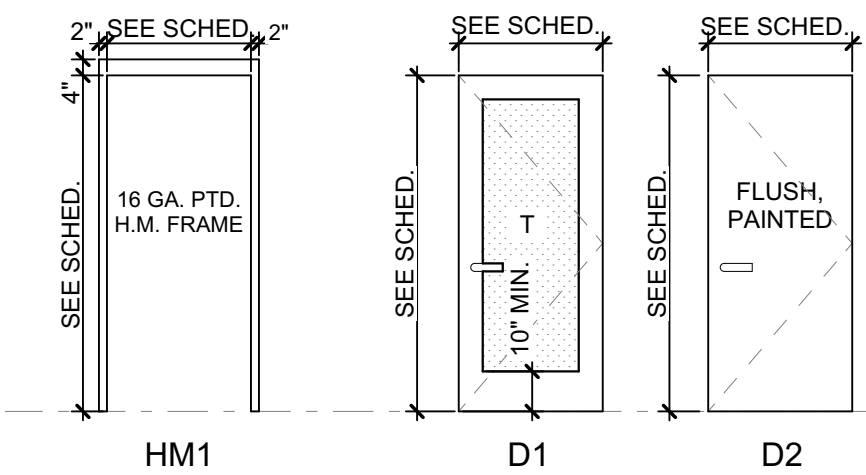
DATE: 16 May 2022
PROJECT NO.:
PROJECT MGR.:

L101

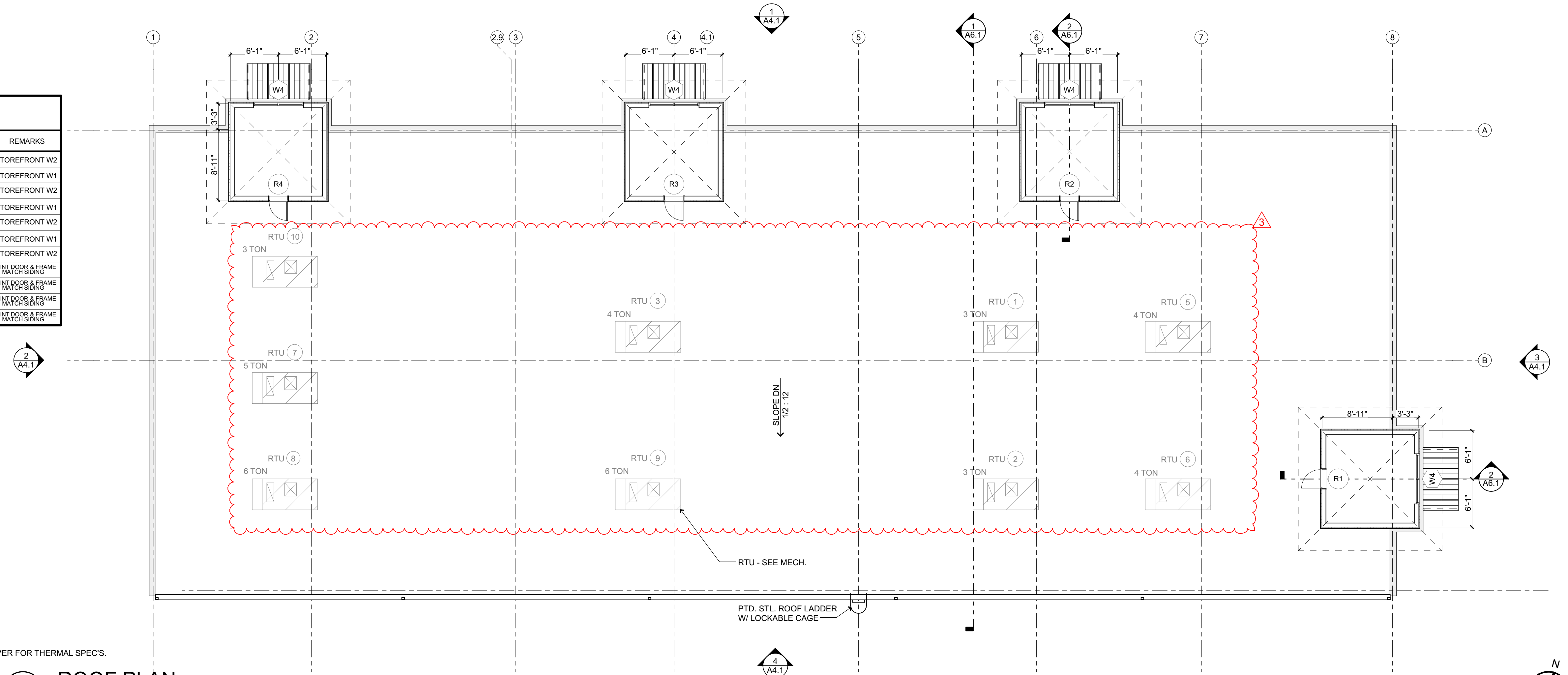
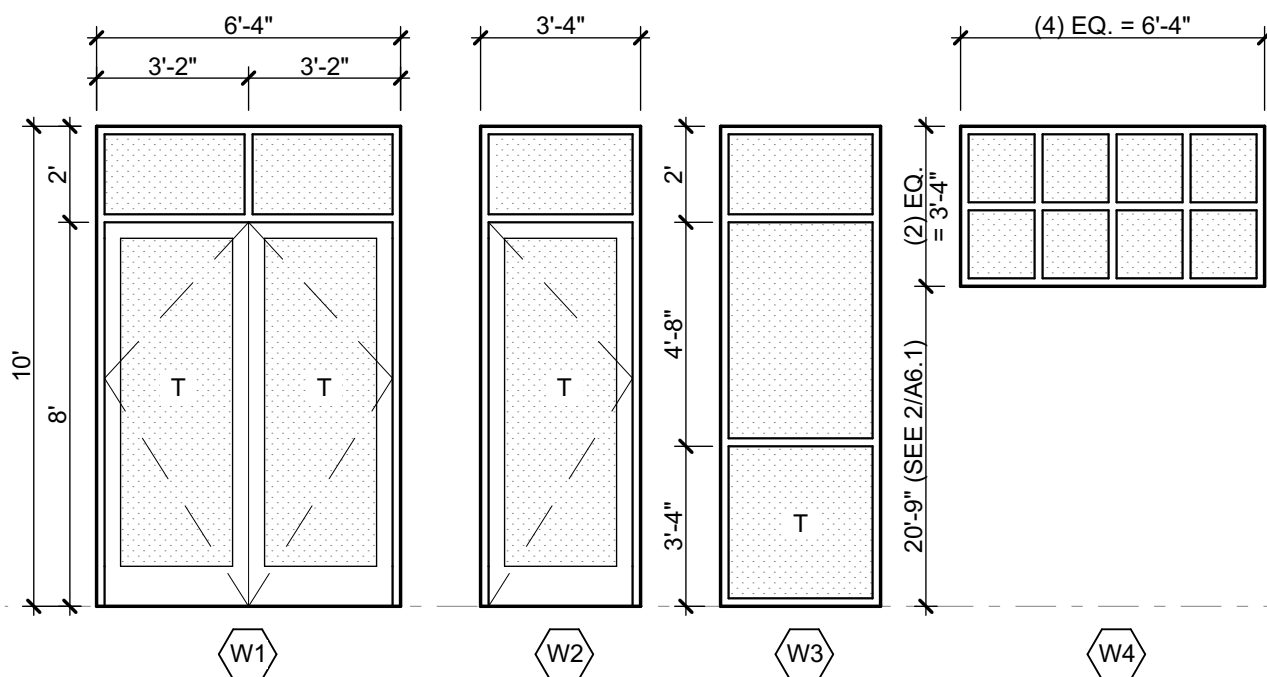
DOOR SCHEDULE											
MARK	SIZE			LABEL	MAT'L	TYPE	FRAME			HWDR SET	REMARKS
	W	H	T				MAT'L	HEAD	JAMB		
101A	3'-0"	8'-0"	1'-3/4"	-	ALUM	D1	*ALUM	-	-	ENTRY	*STOREFRONT W2
101B	(2) 3'-0"	8'-0"	1'-3/4"	-	ALUM	D1	*ALUM	-	-	ENTRY	*STOREFRONT W1
101C	3'-0"	8'-0"	1'-3/4"	-	ALUM	D1	*ALUM	-	-	ENTRY	*STOREFRONT W2
201A	(2) 3'-0"	8'-0"	1'-3/4"	-	ALUM	D1	*ALUM	-	-	ENTRY	*STOREFRONT W1
201B	3'-0"	8'-0"	1'-3/4"	-	ALUM	D1	*ALUM	-	-	ENTRY	*STOREFRONT W2
301A	(2) 3'-0"	8'-0"	1'-3/4"	-	ALUM	D1	*ALUM	-	-	ENTRY	*STOREFRONT W1
301B	3'-0"	8'-0"	1'-3/4"	-	ALUM	D1	*ALUM	-	-	ENTRY	*STOREFRONT W2
R1	2'-4"	3'-6"	1'-3/4"	-	H.M.	D2	H.M.	-	-	LOCKSET	PAINT DOOR & FRAME TO MATCH SIDING
R2	2'-4"	3'-6"	1'-3/4"	-	H.M.	D2	H.M.	-	-	LOCKSET	PAINT DOOR & FRAME TO MATCH SIDING
R3	2'-4"	3'-6"	1'-3/4"	-	H.M.	D2	H.M.	-	-	LOCKSET	PAINT DOOR & FRAME TO MATCH SIDING
R4	2'-4"	3'-6"	1'-3/4"	-	H.M.	D2	H.M.	-	-	LOCKSET	PAINT DOOR & FRAME TO MATCH SIDING

DOOR NOTES:
1. CAULK BOTH SIDES OF ALL DOOR FRAMES.
2. PROVIDE DBL. STUDS AND BASE ANCHORS AT ALL JAMBS, TYP.
3. HARDWARE ON DOORS SHALL BE LEVER TYPE FOR HANDICAP ACCESSIBILITY
4. CONTRACTOR SHALL VERIFY ALL HARDWARE SETS W/ OWNER PRIOR TO INSTALLATION.
5. THRESHOLDS AT ALL EXT. DOORS SHALL BE MAX. 1/2" HIGH
6. REFER TO SHEET AS FOR OTHER REQUIREMENTS AND SPECIFICATIONS.

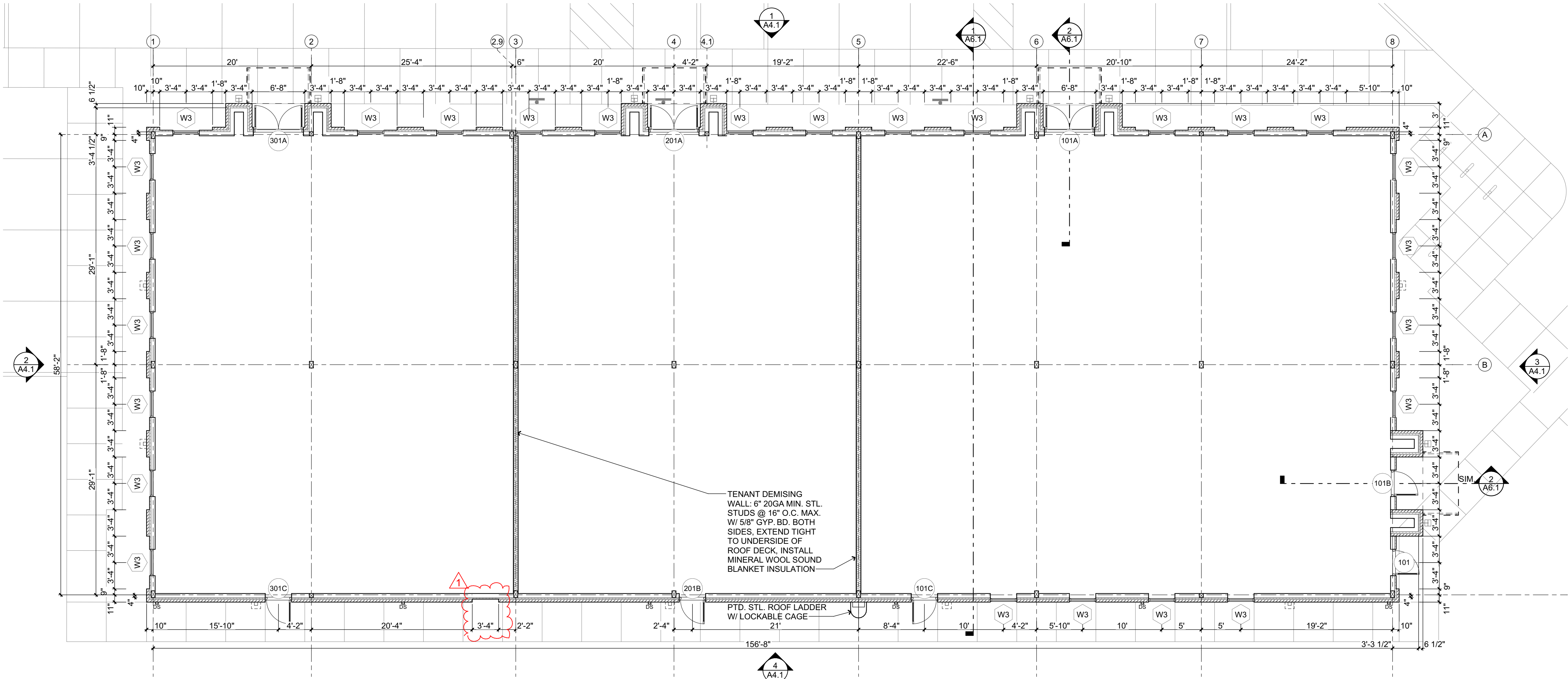
H.M. DOOR FRAME DOOR TYPES
T* = TEMPERED GLASS



ALUM. STOREFRONT:
1. ALL ALUMINUM STOREFRONT FRAMES TO BE 2"x4 1/2" COLOR- DARK BRONZE
2. ALL EXTERIOR GLAZING TO BE 1" INSUL. PPG SOLARBAN70 (OR OWNER-APPROVED EQUAL). SEE COVER FOR THERMAL SPEC'S.
3. T* = TEMPERED WHERE NOTED



2 ROOF PLAN
SCALE: 1/8" = 1'-0"



1 FLOOR PLAN
SCALE: 1/8" = 1'-0"

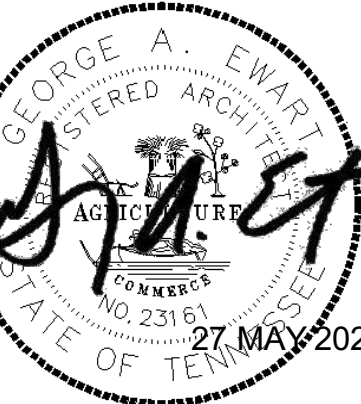
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A SHELL BUILDING AT
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KNOXVILLE, TN 37922



FLOOR AND ROOF PLANS

DATE: 27 MAY 2022
PROJECT NO.: 21048
PROJECT MGR.: STUART
REVISION #3: 10 NOV 2022

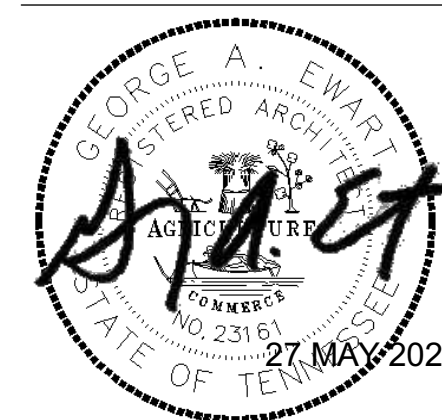
A1.1



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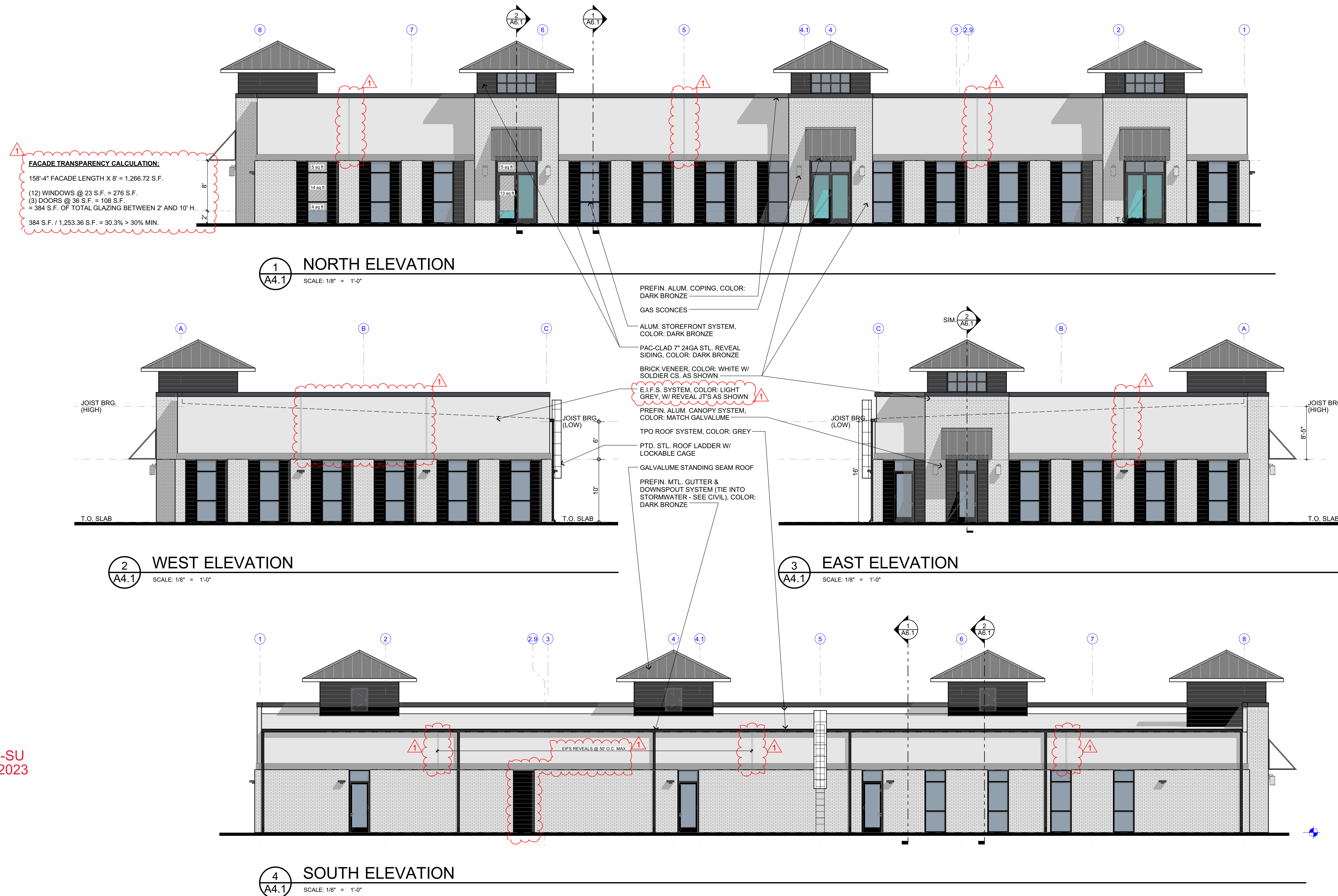


EXTERIOR ELEVATIONS

DATE: 27 MAY 2022
PROJECT NO.: 21048
PROJECT MGR.: STUART

REVISION #1: 03 AUG 2022

A4.1



1-B-24-SU
11/13/2023



1
A4.2
NW VIEW
SCALE: 1:139.25



2
A4.2
NE VIEW
SCALE: 1:139.25



3
A4.2
SW VIEW
SCALE: 1:139.25



4
A4.2
SE VIEW
SCALE: 1:139.25



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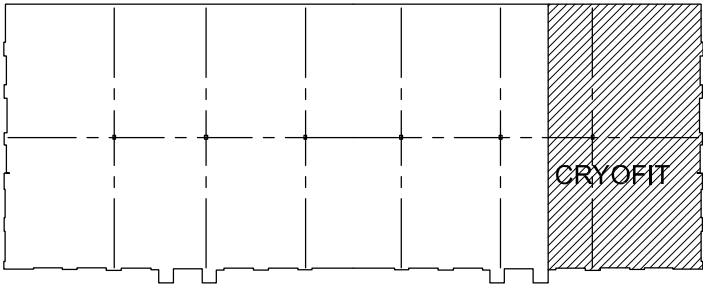
PERSPECTIVE VIEWS

DATE: 27 MAY 2022
PROJECT NO.: 21048
PROJECT MGR.: STUART

1-B-24-SU
11/13/2023

A4.2

2018 IBC & IEBC CODE INFORMATION			
PROJECT DESCRIPTION: NEW TENANT IMPROVEMENTS IN EXISTING BUILDING SHELL IN A ONE-STORY, MULTI-TENANT, MIXED OCCUPANCY BUILDING. THE BUILDING IS NOT SPRINKLERED. THE NEW TENANT, CRYOFIT, IS A BUSINESS OCCUPANCY TYPE. THERE WAS NO PREVIOUS TENANT.			
CHAPTER/SECTION	IBC REFERENCE	REQ'MNT.	THIS PROJECT
304	USE & OCCUPANCY CLASSIFICATION	--	BUSINESS-GROUP B
TABLE 504.3	ALLOWABLE BLDG.HEIGHT IN FT. ABOVE GRADE PLANE- V(B)	40'	20'
TABLE 504.4	ALLOWABLE STORIES ABOVE GRADE PLANE - V(B)	2	1
TABLE 506.2	ALLOWABLE AREA IN SQUARE FEET - NOT SPRINKLERED	9,000	SEE LIFE SAFETY PLAN
TABLE 508.4	REQ'D. SEPARATION OF OCCUPANCIES: B/M/B	N (NONE)	N (NONE)
TABLE 601	FIRE RATING-BUILDING ELEMENTS (IN HOURS)		
		PRIMARY STRUCTURAL FRAME	0 (EXISTING) 0
		EXTERIOR BEARING WALLS	0 (EXISTING) 0
		INTERIOR BEARING WALLS	0 (EXISTING) 0
		INTERIOR NONBEARING WALLS	0 (EXISTING) 0
		FLOOR & SECONDARY MEMBERS	0 (EXISTING) 0
		ROOF & SECONDARY MEMBERS	0 (EXISTING) 0
602.3	BUILDING CONSTRUCTION CLASSIFICATION	--	TYPE V (B)
TABLE 602	FIRE RATING-EXTERIOR WALLS-FIRE SEPARATION DISTANCE B, TYPE V(B) X >30 = 0	0 HR.	0 HR.
TABLE 705.8	MAX. AREA EXT. WALL O'GS.-FIRE SEPARATION DIST.: > 30'	NL	NL
TABLE 706.4	FIRE WALL FIRE RESISTANCE RATING	3 HR.	N/A
TBL 707.3.10	FIRE BARRIERS BETWEEN FIRE AREAS	2 HR.	N/A
TBL 716.1(2)	OPENING FIRE PROTECTION ASSEMBLIES	N/A	N/A
TABLE 803	INTERIOR WALLS & CEILINGS FINISH:		OCCUPANCY GROUP B NOT SPRINKLERED
	Interior Exit Stairs, Ramps & Exit Passageways	A	N/A
	Corridors, Enclosure for Exist Access Stairs/Ramps	B	N/A
	Rooms & Enclosed Spaces	C	C
CHAPTER 9	FIRE PROTECTION & LIFE SAFETY SYSTEMS	N/A	N/A
CHAPTER 10	MEANS OF EGRESS		
TBL 1004.5	MAX. FLOOR AREA ALLOW. PER OCCUPANT LOAD FACTOR: SEE LIFE SAFETY PLAN	SEE LIFE SAFETY PLAN	SEE LIFE SAFETY PLAN
SECT 1005	OCCUPANTS FOR EGRESS CALCULATION =		
	SEE LIFE SAFETY PLAN	SEE LIFE SAFETY PLAN	SEE LIFE SAFETY PLAN
SECT 1005	MEANS OF EGRESS SIZING	Width/Occ.	
SECT 1005.3.1	STAIRWAYS	N/A	N/A
SECT 1005.3.2	OTHER EGRESS COMPONENTS	0.2"	SEE LIFE SAFETY PLAN
SECT 1005.3.2	EXCEPTIONS	N/A	N/A
TBL 1006.2.1	ONE EXIT OR EXIT ACCESS DOOR WAY-Common Path of Travel	SEE LIFE SAFETY PLAN	SEE LIFE SAFETY PLAN
TBL 1006.3.3	SINGLE EXIT	SEE LIFE SAFETY PLAN	SEE LIFE SAFETY PLAN
SECT 1007.1.1	2 EXITS: MIN. SEPARATION DIST. DIAGONAL OF SPACE @	SEE LIFE SAFETY PLAN	SEE LIFE SAFETY PLAN
TBL 1017.2	EXIT ACCESS TRAVEL DISTANCE: MAXIMUM		
	MAIN FLOOR	200'	SEE LIFE SAFETY PLAN
TBL 1020.1	CORRIDOR FIRE-RESISTANCE RATING:	SEE LIFE SAFETY PLAN	SEE LIFE SAFETY PLAN
TBL 1020.1	MINIMUM CORRIDOR WIDTH: See Life Safety Plan	SEE LIFE SAFETY PLAN	SEE LIFE SAFETY PLAN



1
A100

909 OSPREY POINT
KEY FLOOR PLAN

SCALE : N.T.S.

APPLIED CODES & ORDINANCES		
2018	IBC	INTERNATIONAL BUILDING CODE and Appendices A and B
2018	IPMC	INTERNATIONAL PROPERTY MAINTENANCE CODE
2018	IECC	INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2018	IPC	INTERNATIONAL PLUMBING CODE (IPC)
2018	IMC	INTERNATIONAL MECHANICAL CODE (IMC)
2018	IFGC	INTERNATIONAL FUEL GAS CODE (IFGC)
2018	ICCPC	INTERNATIONAL CODE COUNCIL PERFORMANCE CODE FOR BUILDINGS & FACILITIES
2018	1EC	INTERNATIONAL ELECTRICAL CODE
2017	1FC	INTERNATIONAL FIRE CODE (IFC)
2009	ICC/ANSI A117-1	AMERICAN NATIONAL STANDARD ACCESSIBLE AND USABLE BUILDINGS & FACILITIES
2010	ADA	AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES
2020	--	CITY OF KNOXVILLE CODE OF ORDINANCES
2020	--	ZONING ORDINANCE FOR KNOXVILLE, TENNESSE

GRAPHIC & MATERIALS SYMBOLS	
ROOM LOCATION DOOR OPENING MARK	SPOT ELEVATION (PLAN)
DOOR MARK	HIDDEN, FUTURE OR EXISTING CONSTRUCTION TO BE REMOVED
WALL TYPE IDENTIFIER	CENTERLINES, LEVEL LINES
WINDOW IDENTIFIER	TO BREAK PARTS OF DRAWING
WINDOW MARK	ROUGH FRAMING
DETAIL MARK	WOOD BLOCKING OR SHIM
ROOM NAME	PLYWOOD OR O.S.B. PANEL
ROOM MARK	BATT/LOOSE FILL INSULATION
SECTION NUMBER SECTION DRAWN ON	RIGID INSULATION
BUILDING SECTION MARK	GYPSUM BOARD/CONCRETE (ELEV.)
SECTION NUMBER SECTION DRAWN ON	EARTH/COMPACTED FILL
WALL SECTION MARK	CONCRETE MASONRY UNIT
ELEVATION NUMBER ELEVATION DRAWN ON	CONCRETE (IN SECTION)
ELEVATION MARK	BRICK
NEW CONTOURS ELEV. NOTED ON HIGH SIDE	STEEL
EXISTING CONTOURS ELEV. NOTED ON HIGH SIDE	

- GENERAL NOTES
- Contractor shall verify all on-site dimensions. Do not scale drawings. The Contractor shall obtain written clarification from the Architect for any questionable dimensions before beginning or continuing with construction.
 - Dimensions are referenced to the finish face of existing interior and exterior wall construction unless otherwise indicated. Dimensions are referenced to the face of stud for new interior wall construction unless otherwise indicated.
 - Where new walls are an extension of existing walls, the finished face of new wall construction shall align with the finished face of the existing wall construction.
 - Provide wood blocking in walls to support equipment, railings, accessories, drapery tracks, recessed items and any other items as required by building codes, by manufacturer's instructions/specifications or otherwise required. Handrails, guardrails, grab bars and wall mounted toilet fixtures shall be installed to withstand a minimum of 250 lbs. vertical or horizontal force.
 - Maintain the integrity of rated walls including, but not limited to, electrical panels, fire extinguisher cabinets and all recessed equipment.
 - All rated partitions shall be tightly sealed to the underside of the deck above.
 - Penetrations in fire rated assemblies shall be protected by an approved UL-listed or other approved listing method to prevent the passage of fire and smoke.
 - The Contractor shall verify and coordinate routing, placement, space and clearance requirements for mechanical, electrical and other trades.
 - All piping above grade and inside the building shall be concealed except for mechanical equipment rooms. the Contractor shall provide furring for piping installed in finished areas.
 - The Contractor shall furnish access panels in walls and non-accessible type ceilings where where service and adjustment to mechanical, plumbing and electrical items may be required. Access panels shall have a fire rating equal to that of the surface in which they occur.
 - All casework dimensions shall be verified by the Contractor/subcontractor prior to unit fabrication.
 - Seal all penetrations in the exterior envelope air tight on both the interior and exterior.
 - The intent of these drawings is to be a part of a Design-Build project. The Contractor/Builder shall promptly notify and coordinate with the Architect for any additional information required for construction.

INTERIOR TENANT FINISH

CRYOFIT

909 OSPREY POINT LANE * #101 * KNOXVILLE, TN 37922

PARCEL ID: 154LA012

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gary@kelso-regen.com

VICINITY PLAN

INDEX OF DRAWINGS

ARCHITECTURAL

SHT.	TITLE
A100	COVER SHEET
A101	EXIST-DEMO-CONSTRUCTION PLANS
A102	REFLECTED CLG PLAN & FIXTURE PLAN
A201	SCHEDULES & DETAILS
A202	INTERIOR DETAILS
LS101	LIFE SAFETY PLAN

MECHANICAL-PLUMBING

SHT.	TITLE
M001	MECHANICAL PLANS HVAC
P000	PLUMBING WASTE VENT & SERVICES
P001	PLUMBING WASTE VENT & SERVICES

ELECTRICAL

SHT.	TITLE
E1	FLOOR PLAN LIGHTING
E2	FLOOR PLAN COMMUNICATIONS
E3	LEGENDS AND SCHEDULES

ABBREVIATIONS

AFF ALT ALUM BLKG BLDG. CAB CT C/C CCT CL or CL CS CLR CMP CMU COL CONC. CPT DBL DF DFG DT EGG ELEV. EP EWC EXP. JT. or EJ EXIST or EX FF FCU FIN FOB FOM FOS FF FD FE FEC FHC GALV. GB GC or GEN. CON GFI	ABOVE FINISH FLOOR ALTERNATE ALUMINUM BLOCKING BUILDING CABINET CERAMIC TILE CENTER TO CENTER CUBICLE CURTAIN TRACK CENTER LINE CORNER GUARD CLEAR CORRUGATED METAL PIPE CONCRETE BLOCK MASONRY UNIT COLUMN CONCRETE CARPET DOUBLE DRINKING FOUNTAIN DOOR FRAME GUARD DOWNSPOUT DRAPERY TRACK EXISTING CORNER GUARD ELEVATION ELECTRICAL PANEL ELECTRIC WATER COOLER EXPANSION JOINT EXISTING FINISH FLOOR FAN COIL UNIT FINISH FACE OF BRICK FACE OF MASONRY FACE OF STUD FACE TO FACE FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FIRE HOSE CABINET GALVANIZED GRAB BAR GENERAL CONTRACTOR GROUND FAULT INTERRUPT	GYP. BD. HC HPDL INSUL. INV. JT. MBL MTL N/A NC NIC NOM OC OFCL OH or OPP HD OS/OS P. LAM or PL PART PLAST PT PTD PTME PTN REF. REV SD SF or SQ. FT SQ. IN T&G TOS TME TWL TKBD TPH UNO V VCT VIF WC WD WG	GYPSUM BOARD HANDICAP HIGH PRESSURE DECORATIVE LAMINATE INSULATION INVERT (ELEVATION) JOINT MARBLE METAL NOT APPLICABLE NONE COMBUSTIBLE NOT IN CONTRACT NOMINAL ON CENTER OWNER FURNISHED, CONTRACTOR INSTALLED PATCH TO MATCH EXISTING PARTITION REFRIGERATOR REVISION SOAP DISPENSER SQUARE FEET SQUARE INCHES SHEET VINYL TONGUE AND GROOVE TOP OF STEEL TO MATCH EXISTING TOWEL BAR TACK BOARD TOILET PAPER HOLDER UNLESS NOTED OTHERWISE VINYL VINYL COMPOSITION TILE VERIFY IN FIELD WALL COVERING OR WATER CLOSET WOOD WALL GUARD
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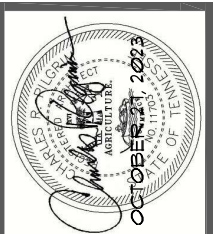
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INTERIOR TENANT FINISH

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COVER SHEET

REVISIONS

A100

OCT 27, 2023

C.N. 2023.12

