

1-C-22-SU  
11/22/2021

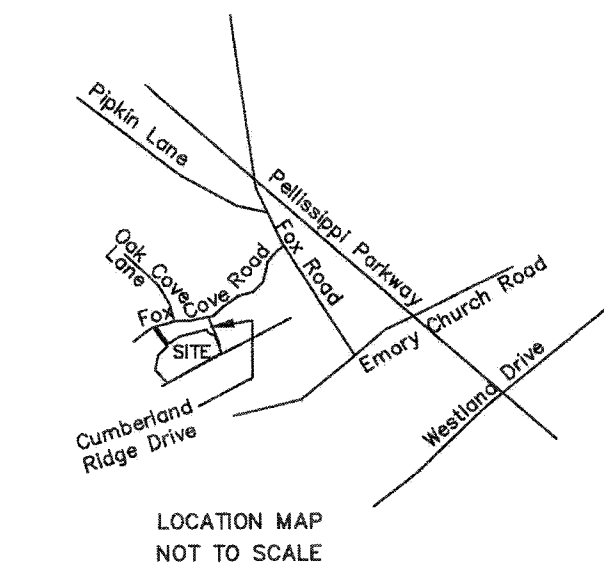
CITY OF KNOXVILLE  
DEPARTMENT OF ENGINEERING  
APPROVED

Linda Pierucci  
10/15/2021

Adequate erosion and sediment controls must be used and maintained by the contractor during construction until final site stabilization has been achieved. Additional measures may be required by the Field Inspector. Refer to the City of Knoxville BMP Manual and the Tennessee Erosion and Sediment Control Handbook as needed for additional information regarding controls and maintenance.



46349-M2



## Addressing Department Certification

I, the undersigned, hereby certify that the subdivision name and all street names conform to the Knoxville/Knox County Street Naming and Addressing Ordinance, the Administrative Rules of the Planning Commission, and these regulations.

Signed Donna HillDate 9-15-2021

## Certificate of Ownership and General Dedication

(I, we, the undersigned owner(s) of the property shown herein, hereby adopt this as (my, our) plan of subdivision and dedicate the streets as shown to the public use forever and hereby certify that (I am, we are) the owner(s) in fee simple of the property, and as property owner(s) have an unrestricted right to dedicate right-of-way and/or grant easement as shown on this plat.

Owner(s) Printed Name: John Thomas Signature(s): [Signature]Date: 9/15/21

State of Tennessee, County of Knox

on this 15 day Sept, 2021

before me personally appeared John Thomas to me known to be the person described in, and who executed, the foregoing instrument, and acknowledged that he executed the same as his free act and deed.

Witness my hand and notarial seal, this day and year above.

Witness Donna Hill NotaryMy Commission expires 4-6-24 Seal

State of Tennessee, County of Knox

on this 15 day Sept, 2021

before me personally appeared Barbara S. Thomas to me known to be the person described in, and who executed, the foregoing instrument, and acknowledged that he executed the same as his free act and deed.

Witness my hand and notarial seal, this day and year above.

Witness Donna Hill NotaryMy Commission expires 4-6-24 Seal

State of Tennessee, County of Knox

on this 15 day Sept, 2021

before me personally appeared Scott Smith to me known to be the person described in, and who executed, the foregoing instrument, and acknowledged that he executed the same as his free act and deed.

Witness my hand and notarial seal, this day and year above.

Witness Donna Hill NotaryMy Commission expires 4-6-24 Seal

## Certificate of Category and Accuracy of Survey

I hereby certify that this survey was prepared in compliance with the current edition of the Rules of Tennessee State Board of Examiners for Land Surveyors—Standards of Practice.

Registered Land Surveyor Jim SullivanTennessee Certificate No. 1306Date: 9/03/21

## Certificate of Final Plat — All Indicated Markers, Monuments and Benchmarks Set

I hereby certify that I am a registered land surveyor, licensed to practice surveying under the laws of the State of Tennessee. I further certify that this plat and accompanying drawings, documents, and statements conform, to the best of my knowledge, to all applicable provisions of the Knoxville/Knox County Subdivision Regulations except as has been itemized, described and justified in a report filed with the Planning Commission, or for variances which have been approved as identified on the final plat. All indicated markers and monuments, benchmarks and property monuments were in place on the 15 day of Sept, 2021.

Registered Land Surveyor Jim SullivanTennessee Certificate No. 1306Date: 9/03/21

## NOTES:

- CLT MAP 143-D, GROUP E, PARCELS 069.01 & PART OF 082. THE REMAINDER OF PARCEL 143DE082 EXCEEDS FIVE (5) ACRES AND IS EXEMPT FROM SURVEY.
- NO. OF LOTS — 2 (1 LOT & 1 COMMON AREA LOT).
- AREA SUBDIVIDED — 2.596 AC. (113,083 SQ. FT.)
- IRON PINS AT ALL CORNERS; ALL PINS ARE FOUND UNLESS NOTED SET ("S").
- THE REQUIRED UTILITY & DRAINAGE EASEMENT SHALL BE TEN (10') IN WIDTH INSIDE ALL EXTERIOR LOT LINES ADJOINING STREETS AND PRIVATE RIGHTS-OF-WAY (INCLUDING JOINT PERMANENT EASEMENTS). EASEMENTS OF FIVE (5) FEET IN WIDTH SHALL BE PROVIDED ALONG BOTH SIDES OF ALL INTERIOR LOT LINES AND ON THE INSIDE OF ALL OTHER EXTERIOR LOT LINES. THESE EASEMENTS ARE NOT REQUIRED ALONG SPECIFIC LOT LINES FOR PROPERTY THAT IS ZONED TO ALLOW LESS THAN A FIVE (5) FOOT BUILDING SETBACK AND SHALL BE CLEARLY NOTED ON THE FINAL PLAT.
- THIS PROPERTY IS ZONED RN-1.
- 7.5' UTILITY EASEMENT EACH SIDE OF WATER AND SANITARY SEWER LINES AS INSTALLED.
- BUILDING SETBACKS: FRONT — 25'  
SIDE — 5'  
REAR — 15'  
PERIPHERAL — 25'
- PROPERTY RECORDING DATA — Instr. No. 20070709 0002500 (DEED)  
Instr. No. 20140613 0070508 (DEED)  
Instr. No. 20040105-0066713 (DEED)  
Instr. No. 20060111-0059119 (ORIGINAL PLAT)  
Instr. No. 20141231-0035701 (PLAT CREATING)
- BEARINGS ARE BASED ON NAD83(2011). GRID NORTH IS BASED ON A BEARING OF N 54°19'27" W FROM CITY CONTROL PT. #0070 TO #0071. DISTANCES HAVE NOT BEEN REDUCED TO GRID.
- THE PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING THE STORMWATER FACILITIES AS REQUIRED PER THE STORM WATER MAINTENANCE AGREEMENT RECORDED IN KNOX COUNTY REGISTER OF DEEDS OFFICE AS INSTRUMENT #20040212 0076987.
- FOR APPROVED SUBDIVISION VARIANCES AND CONDITIONS OF APPROVAL OF THE CONCEPT PLAN AND USE-ON-REVIEW, REFER TO THE METROPOLITAN PLANNING COMMISSION'S FILES 7-SH-03-C, 9-SC-03-C & 10-SE-05-C & 7-K-03-UR & 9-F-03-UR.
- COVENANTS RECORDED IN KNOX COUNTY REGISTER OF DEEDS OFFICE AS INSTRUMENT #20060117-0060494.

## Taxes and Assessments

This is to certify that all property taxes and assessments due on this property have been paid.

City Tax Clerk: Signed Donna Dyer Date 09/13/21Knox County Trustee: Signed Scott Smith Date 09/14/2021

## City — Release of Easements

Except as noted or shown on this plat, the following parties hereby consent to the release of all rights that may have accrued for their use and benefit in the utility and drainage easements along all boundary/lot lines eliminated by this plat.

The following parties do not release any rights that may have accrued for their use and benefit where there are existing facilities within the previously established easement, whether or not shown on this plat. Any relocation of existing facilities will be made at the property owner's expense. If the facilities are relocated, the easement rights will be released.

## City of Knoxville (Department of Engineering)

Signed W. Harold Cannon, Jr. Date 9/15/2021

Water (First Utility District)

Signed Edwin Deyton Date 09/10/21

Sewer (First Utility District)

Signed Edwin Deyton Date 09/10/21

Gas (Knoxville Utilities Board)

Signed [Signature] Date 09/08/2021

Electric (Utility) LCUB

Signed Andrew McDaniel Date 9/13/2021

Telephone (AT&amp;T)

Signed James Atkins - AT&T TN Date 9/07/2021

Cable Television (Comcast)

Signed Jimmy Gardner Date 9/07/2021

## Owner Certification on Release of Easement

(I, we, the undersigned owner(s) of the property shown herein that easement rights for any existing facilities are not being and it is our responsibility to verify with the above parties if there are any existing facilities along the lot lines being eliminated by this plat before digging or constructing any building or structure.

Owner(s) Printed Name: John ThomasSignature(s): [Signature]Date: 9/15/21Signature(s): [Signature]Date: 9/15/21

## LEGEND

- Road centerline
- Property Line
- o EIR Existing iron rod with size noted
- o NIR New iron rod with size noted

## Zoning

Zoning Shown On Official Map RN-1Date: 9-15-21By: Emily DellsCOUNTERSIGNED  
KNOX COUNTY PROPERTY ASSESSOR

SEP 15 2021

BY JOHN R. WHITEHEADFox Creek S/D—Unit 1  
Instr. #20060111 0059119Nick McBride  
Register of Deeds  
Knox County

Knox County, TN Page: 1 of 1  
REC'D FOR REC 9/15/2021 2:47 PM  
RECORD FEE: \$17.00 T20210059159  
M. TAX: \$0.00 T. TAX: \$0.00  
**202109150022312**

Fox Creek S/D—Unit 1  
Instr. #20060111 0059119City Control  
Mon. 0071City Control  
Mon. 0070  
N 571.325639  
E 2,529,264.6141-C-22-SU  
11/22/2021

City of Knoxville Department of Engineering

The Knoxville Department of Engineering hereby approves this plat on this the

15<sup>th</sup> Day of September, 2021W. Harold Cannon, Jr. PS

Engineering Director

## Planning Staff Certification of Approval for Recording — Final Plat

This is to certify that the subdivision plat shown hereon has been found to comply with the Subdivisions Regulations of Knoxville and Knox County and with existing official plans, with the exception of any variances and waivers noted on this plat, and that the record plat is hereby approved for recording in the office of the Knoxville County Register of Deeds. Pursuant to Section 13-3-405 of Tennessee Code, Annotated, the approval of this plat by the Planning Commission shall not be deemed to constitute or effect an acceptance by the City of Knoxville or Knox County of the dedication of any street or other ground upon the plat.

Signed: Angie Brooks Date: 9-15-21Graphic Scale in Feet  
50' 0 50' 100'

FILE NO. 8-B-21

RE-SUBDIVISION

LOT 131R & COMMON AREA  
FOX CREEK SUBDIVISION—UNIT 1

CLT MAP 143-D, GROUP E, PARCELS 069.01 &amp; PART OF 082

DISTRICT 6 — KNOX CO., TENN.

WARD 47, BLOCK 46349 — KNOXVILLE, TENN.

SCALE: 1"=50' JULY 29, 2021  
AUG. 30, 2021

## Surveyor:

Jim Sullivan  
2543 Creekstone Circle  
Maryville, Tn. 37804  
Ph. (865) 406-7324

## Owner:

John D. & Barbara S. Thomas  
557 Cumberland Ridge Drive  
Knoxville, Tn. 37922  
Ph. (865) 604-7788

## Owner:

S & E Properties LLC  
405 Montbrook Lane  
Knoxville, Tn. 37919  
Ph. (865) 691-1169