

*KNOXVILLE, TN*

**PARCEL #132 02719 (1.75 ACRES)  
LOT 2R1A SHERRILL HILL RESUB  
PLAT - 20150513-0061635  
LONG. -84.091097, LAT. 35.909076  
ZONING (PC-1(k)) RETAIL AND OFFICE PARK DISTRICT**

**PERMITTED: VEHICULAR REPAIR FACILITIES**  
**PROPOSED BUILDING AREA**  
**7,800 SQ. FT.**

**FLOOR AREA CALCULATION**  
**F.A.R. = 7,800 SQ. FT. / 76,080 SQ. FT. = 10.25%**

**ISR CALCULATION (OPEN SPACE)  
(ALL GRASS ARAS AND LANDSCAPE AREAS)  
EXISTING LOT - 1.747 ACRES (76,080.18 SQ. FT.)  
PROPOSED IMPERVIOUS AREA= 42,700 SQ. FT.  
PROPOSED ISR= 56% IMPERVIOUS**

**FRONT YARD - 25'**  
**SIDE YARD - 0'**  
**REAR YARD - 0'**

**PARKING REQUIRED:**  
**2 SPACES MIN/4 SPACES MAX PER BAY**  
**8 BAYS- 16 SPACES MIN/32 SPACES MAX**  
**PARKING PROVIDED:**  
**TYP. 9'X18' PARKING SPACES= 28 SPACES**  
**HANDICAP - 2 SPACES (1 VAN ACCESSIBLE)**  
**TOTAL PARKING 30 SPACES**

**PARKING AREA= 27,500 SQ. FT.**  
**ISLAND AREA= 1,205 SQ. FT.**  
**TREES REQUIRED= 27,500/5000= 5.5 TREES**  
**TREES PROVIDED= 8 TREES (40' MATURE)**  
**LOADING AREA TO BE SCREED WITH 8' LANDSCAPE BUFFER**

**ZONE X**  
**MAP: 47093C0262F**  
**MAP DATE: MAY 2, 2007**

The map displays the Cedar Bluff area in Georgia. A black star with a red pin is labeled 'SITE' and is located near the intersection of US-1 and a road labeled 'Aver Way'. Other landmarks include the Market Place Shopping Center, Cedar Bluff, and various local businesses like Best Buy and Dick's Sporting Goods. The map also shows major highways (I-75, I-16, US-1) and local roads (N Peters Rd, N Cedar Bluff Rd, etc.). A north arrow is positioned on the left side of the map.

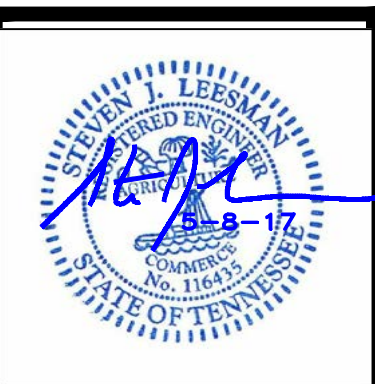
**KINGSTON PIKE LLC  
6151 POWERS FERRY RD STE 690  
ATLANTA, GA 30339**

**SLATE RIDGE HOLDINGS (ROBERT OESTREICHER)**  
**3650 E. KEMPER RD**  
**CINCINNATI, OHIO 45241**  
**OFFICE: (513) 618-7308**  
**FAX: (513) 618-7309**

**LEESMAN ENGINEERING & ASSOC.  
TIMOTHY M. DWYER  
4820 GLENWAY AVE  
CINCINNATI, OHIO 45238  
PH 513-702-0571, FAX 513-347-3495**

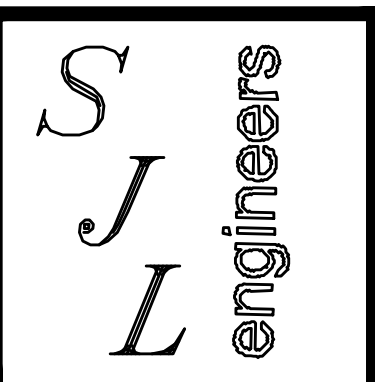
DRAWING INDEX		
SHT #	DESCRIPTION	DATE
T1	TITLE SHEET / DESIGN CRITERIA / VICINITY MAP	NOV. 22, 2017
C1	EXISTING SITE & ESPC PLAN	NOV. 22, 2017
C2	SITE PLAN	NOV. 22, 2017
C3	UTILITY PLAN	NOV. 22, 2017
C4	GRADING PLAN	NOV. 22, 2017
C5	LIGHTING PLAN	NOV. 22, 2017
C6	DETAIL PLAN	NOV. 22, 2017
L1	LANDSCAPE PLAN	NOV. 22, 2017

1-D-18-UR  
Revised: 12/29/2017

[illegible]

**TIRE DISCOUNTERS**  
XXXX MOSS GROVE BLVD.  
KNOXVILLE, TENNESSEE

**LEESMAN ENGINEERING & ASSOC.**  
ENGINEERING, SURVEYING, PLANNING  
2720 TOPIC HILLS, CINCINNATI, OHIO 45248 513/417-0420



**DRAWING TITLE**

# TITLE SHEET

PROJ. NO. TD-CEDAR	DATE 11/22/17
DRAWN TMD	CHECKED SJL

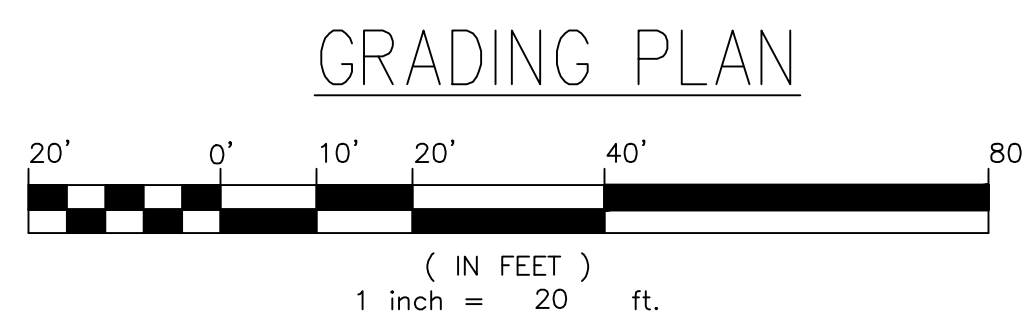
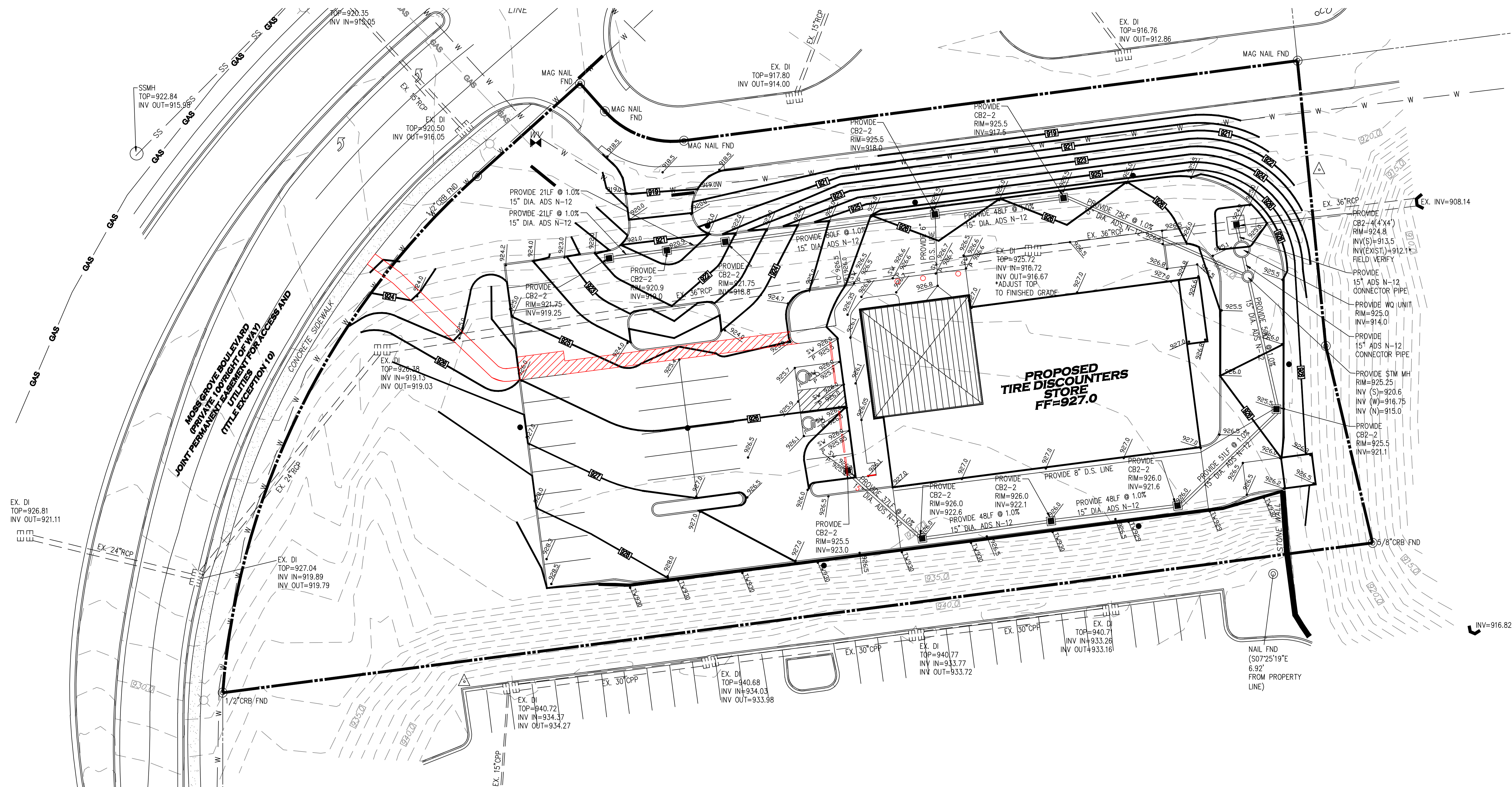
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T1










1-D-18-UR  
Revised: 12/29/2017


TIRE DISCOUNTERS XXXX MOSS GROVE BLVD. KNOXVILLE, TENNESSEE		LEESMAN ENGINEERING & ASSOC. ENGINEERING, SURVEYING, PLANNING 2720 TOPIC HILLS, CINCINNATI, OHIO 45248 513/417-0430	
S J L engineers		DRAWING TITLE GRADING PLAN	
DRAWING NO. C4		PROJ. NO. TD-CEDAR	
DATE 11/22/17		CHECKED S.J.L.	
REVISIONS AND/OR ISSUES		REVISIONS PER PLANNING DEPT. NO. DESCRIPTION	
12-29-17		TMD BY	



[illegible]

***TIRE DISCOUNTERS***  
XXXX MOSS GROVE BLVD.  
KNOXVILLE, TENNESSEE

***LEESMAN ENGINEERING & ASSOC.***  
ENGINEERING, SURVEYING, PLANNING  
2720 TOPIC HILLS, CINCINNATI, OHIO 45248 513/417-0420



DRAWING TITLE

LANDSCAPE PLAN

PROJ. NO. TD-CEDAR	DATE 8/18/17
DRAWN TMD	CHECKED SJL

DRAWING NO.

L1

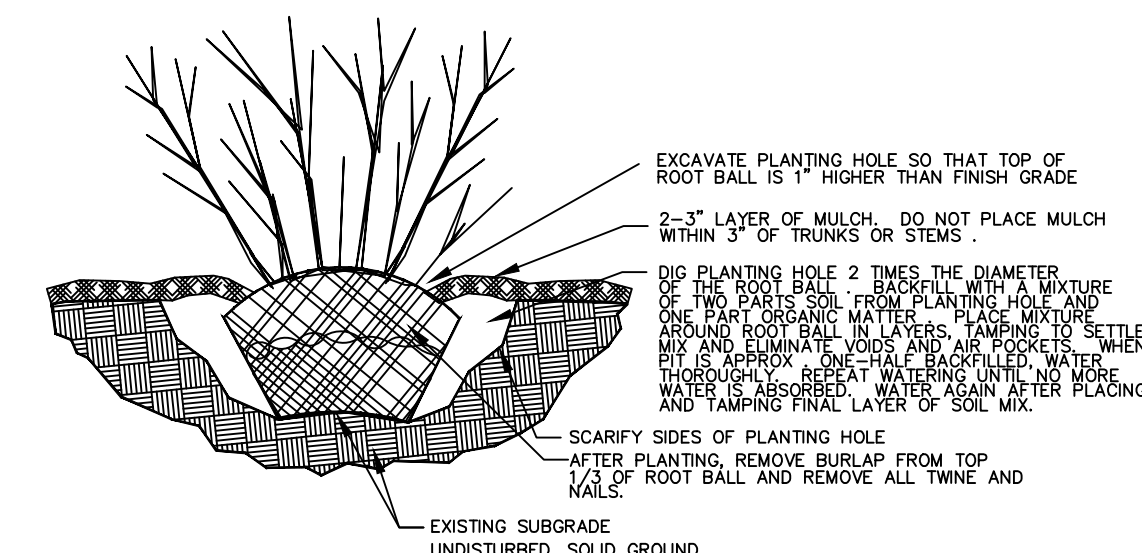
### GENERAL PLANTING NOTES

- \*TRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL LINES MARKED PRIOR TO COMMENCING WORK.
  - \*PROVIDE QUALITY SPECIES, SEEDS, AND VARIETY OF EXTERIOR PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1, "AMERICAN STANDARD FOR NURSERY STOCK."
  - \*FURNISH NURSERY-GROWN TREES AND SHRUBS COMPLYING WITH ANSI Z60.1, WITH QUALITY ROOT SYSTEMS DEVELOPED FOR TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS SUN SCALD, INJURIES, ABRADES, AND DISCOLORATIONS.
  - \*PROVIDE TREES AND SHRUBS OF SIZES AND GRADES COMPLYING WITH ANSI Z60.1 FOR TYPE OF TREES AND SHRUBS REQUIRED. TREES AND SHRUBS MUST BE LARGER SIZE THAN MAY BE USED BY A LANDSCAPE ARCHITECT, WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
  - \*FURNISH ARRANGEMENTS OR CONSECUTIVE ORDER OF TREES OR SHRUBS IN PLANTING. PROVIDE CHECK FOR UNSATISFACTORY UPRIGHT AND SPREAD, AND NUMBER LABEL TO ASSURE SYMMETRY IN PLANTING.
  - \*LABEL AT LEAST ONE TREE AND ONE SHRUB OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME.
  - \*LANDSCAPE ARCHITECT MAY OBSERVE TREES AND SHRUBS EITHER AT PLACE OF GROWTH OR AT SITE BEFORE PLANTING FOR COMPLIANCE WITH REQUIREMENTS FOR SIZE, CALIPER, SEEDS, VARIETY, SPECIES, AND QUALITY. ARCHITECT RETAINS RIGHT TO OBSERVE TREES AND SHRUBS FURTHER FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEMS, INSECTS, INJURIES, AND LATENT DISEASES AND TO REJECT ANY UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. REMOVE REJECTED TREES OR SHRUBS IMMEDIATELY FROM PROJECT SITE.
  - \*TOPSOIL SHALL BE 6.25 TO 6.50 pH RANGE OF 5.5 TO 7, A MINIMUM OF 4 PERCENT ORGANIC MATERIAL; FREE OF STONES 1 INCH OR LARGER IN ANY DIMENSION AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
  - \*COMPOST SHALL BE WELL-COMPOSTED, STABLE AND WEED-FREE ORGANIC MATTER. pH RANGE OF 6.0 TO 6.5, MOISTURE CONTENT 55 TO 58 PERCENT BY WEIGHT, 100 PERCENT PASSING THROUGH ONE INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECIGRAMS/M; NOT EXCEEDING 0.5 PERCENT IONIC CONTAMINANTS AND FREE OF PLANT DISEASES AND PESTS.
  - \*FERTILIZER TO BE SLOW-RELEASE, GRANULAR OR PELLETTED CONSISTING OF 50 PERCENT WATER-INSOLUBLE NITROGEN, PHOSPHORUS, AND POTASSIUM IN AMOUNTS RECOMMENDED FOR TYPE OF PLANT BEING GROWN.
  - \*MULCH TO BE FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS. MULCH WILL BE SHREDDED OR CHIPPED HARDWOOD OR PINE STRAND UNLESS NOTED OTHERWISE.
- PREPARATION AND PLANTING**
- \*LOCATE ALL UNDERGROUND UTILITIES PRIOR TO STARTING WORK. IF A PLANT IS SHOWN ON THE PLAN WITHIN THREE FEET OF AN UNDERGROUND UTILITY, NOTIFY LANDSCAPE ARCHITECT FOR ADJUSTMENTS AND REVISIONS.
  - \*PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES, AND LAWNS AND EXISTING EXTERIOR PLANTS FROM DAMAGE CAUSED BY PLANTING OPERATIONS.

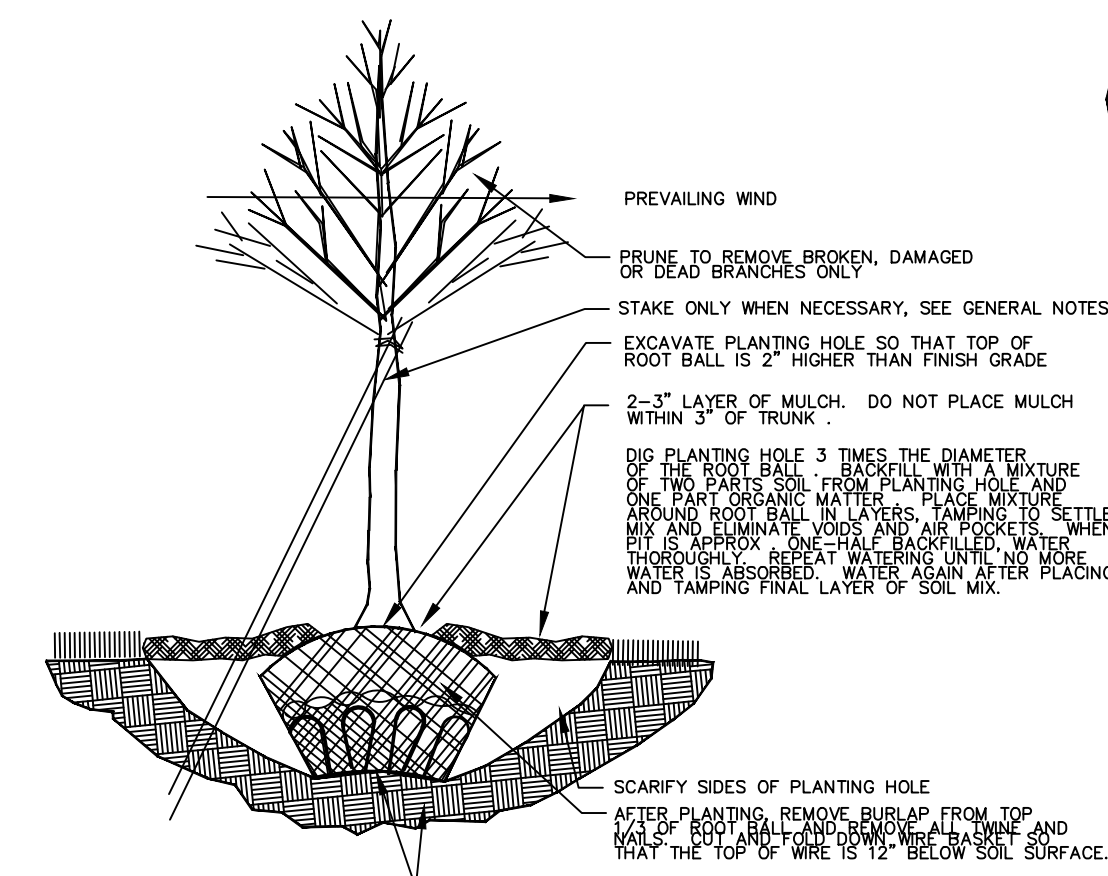
- \* PROVIDE EROSION-CONTROL MEASURES TO PREVENT EROSION OR DISPLACEMENT OF SOILS AND DISCHARGE OF SOIL-BEARING RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS.
- \* LAY OUT INDIVIDUAL TREE AND SHRUB LOCATIONS AND AREAS FOR MULTIPLE EXTERIOR PLANTINGS. STAKE LOCATIONS, OUTLINE AREAS, ADJUST LOCATIONS WHEN REQUESTED, AND OBTAIN LANDSCAPE ARCHITECT'S ACCEPTANCE OF LAYOUT BEFORE PLANTING. MAKE MINOR ADJUSTMENTS AS REQUIRED.
- \* TREES SHALL BE SITED IN FIELD BY LANDSCAPE ARCHITECT WHERE NOTED ON PLANS.
- \* ALL PLANTING BEDS ARE TO BE PREPARED AS FOLLOWS :
  - LOOSEN SUBGRADE TO A DEPTH OF 4 - 6". REMOVE STONES LARGER THAN 1" IN ANY DIMENSION, AND DISCARD IN RUBBISH, AND OTHER EXTRANEOUS MATTER, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
  - SPREAD COMPOST AT A DEPTH OF 4 - 6" AND TILL WITH LOOSENED SUBGRADE, MIXING THOROUGHLY.
- \* ALL PLANTING BEDS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINE GRADING SPECIFICATIONS.
- \* EDGE BEDS 3" - 4" DEEP (SEE DETAIL).
- \* NOTIFY LANDSCAPE ARCHITECT IF SUBSOIL CONDITIONS SHOW EVIDENCE OF UNEXPECTED WATER SEEPAGE OR RETENTION IN TREE OR SHRUB PITS.
- \* ALL PLANTS ARE TO BE FERTILIZED WITH A SLOW- RELEASE FERTILIZER PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- \* REFER TO CONTRACT PLANTING DETAILS FOR PLANT INSTALLATION.
- \* IT IS THE CONTRACTOR'S OPTION WHETHER OR NOT TO STAKE A TREE, BUT IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ASSURE PLANTS REMAIN IN AN UPRIGHT POSITION UNTIL THE END OF THE WARRANTY PERIOD.
- \* ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS ARE TO BE MULCHED AT A DEPTH OF 2 - 3". APPLY PRE-EMERGENT HERBICIDE BEFORE MULCHING PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- \* FOR ALL PLANT MATERIALS, PRUNE TO REMOVE DEAD OR INJURED BRANCHES ONLY, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT.
- \* IT IS THE CONTRACTOR'S RESPONSIBILITY TO:
  - KEEP ADJACENT PAVINGS AND CONSTRUCTION CLEAN, AND MAINTAIN WORK AREA IN AN ORDERLY CONDITION, FOR THE PROTECTION OF PROJECT.
  - PROTECT EXTERIOR PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS, OPERATIONS BY OTHER CONTRACTORS AND TRADES, AND OTHERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REMOVE OR REPLACE ANY PLANTS DAMAGED.
  - REMOVE SURPLUS SOIL AND WASTE MATERIAL INCLUDING EXCESS SUBSOIL, UNSUITABLE SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.

## WARRANTY

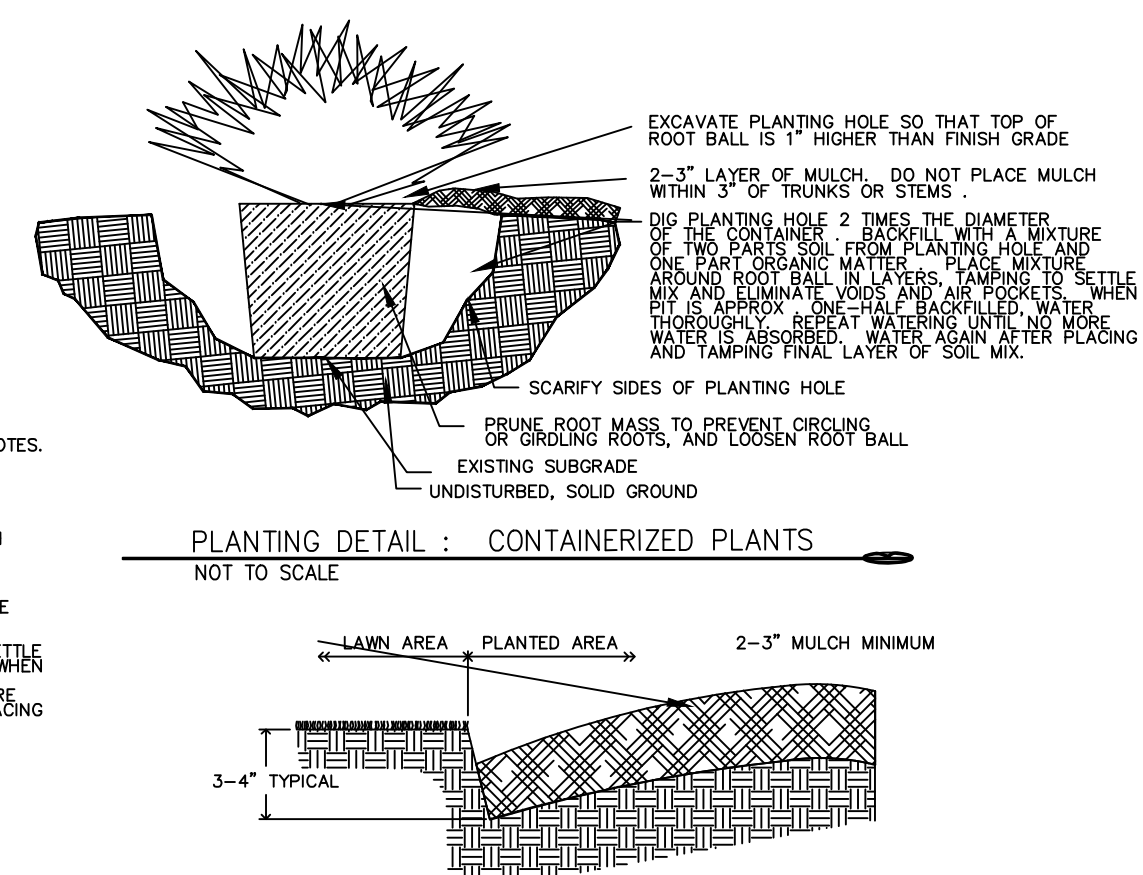
- "CONTRACTOR SHALL PROVIDE OWNER WITH A WRITTEN WARRANTY FOR LABOR AND MATERIALS.
- "CONTRACTOR SHALL WARRANT EXTERIOR PLANTS AGAINST DEFECTS, INCLUDING DEAD AND UNUSUALLY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLECT OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
- "WARRANTY SHALL INCLUDE SPECIFIC WARRANTY PERIODS FOR TREES AND SHRUBS, GRASS COVERS, AND OTHER EXTERIOR PLANTS.
- "SERVICES PROVIDED BY WARRANTY SHALL INCLUDE :
- PERMANENT REPLACEMENT OF EXPOSED OR DAMAGED PLANTINGS DURING WARRANTY PERIOD.
  - IMMEDIATE REMOVAL OF DEAD EXTERIOR PLANTS AND IMMEDIATE REPLACEMENT, UNLESS REQUIRED TO PLANT IN THE SUCCEEDING PLANTING SEASON.
  - REPLACEMENT OF PLANTS THAT DIE OR 25 PERCENT DEAD OR IN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD.
- "WARRANTY SHALL BE LIMITED TO ONE REPLACEMENT OF EACH EXTERIOR PLANT, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE OF CONTRACTOR TO COMPLY WITH REQUIREMENTS.
- SEEDING:
- PERFORM A SOIL TEST FOR SEED NEEDS, AND FERTILIZE AS REQUIRED FOR SUCCESSFUL GERMINATION
- "TILL AREA TO BE SEEDED TO A DEPTH OF 4". RAKE TILLED AREA TO REMOVE DEBRIS 1" OR LARGER IN SIZE THAT HAS BEEN BROUGHT TO THE SURFACE DURING TILLING.
  - "SEED WITH APPROPRIATE MIXTURE AT THE MANUFACTURER'S WRITTEN RECOMMENDED RATE.
  - "RE SEED LIGHTLY INTO TOPSOIL TO 1/2" DEPTH. LIGHTLY, AND WATER WELL AFTER SEEDING.
  - "PROTECT SEEDS WITH SLOPES EXCEEDING 15% WITH PROOF-CROWN CONTROL FIBER MESH INSTALLED AND STAPLED ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
  - "PROTECT ALL OTHER SEEDED AREAS BY SPREADING STRAW MULCH AT A UNIFORM RATE OF 4 TONS PER ACRE TO FORM A CONTINUOUS BLANKET 1-1/2" IN LOOSE DEPTH OVER SEEDED AREAS.



PLANTING DETAIL : BALLED AND BURLAPPED SHRU  
NOT TO SCALE



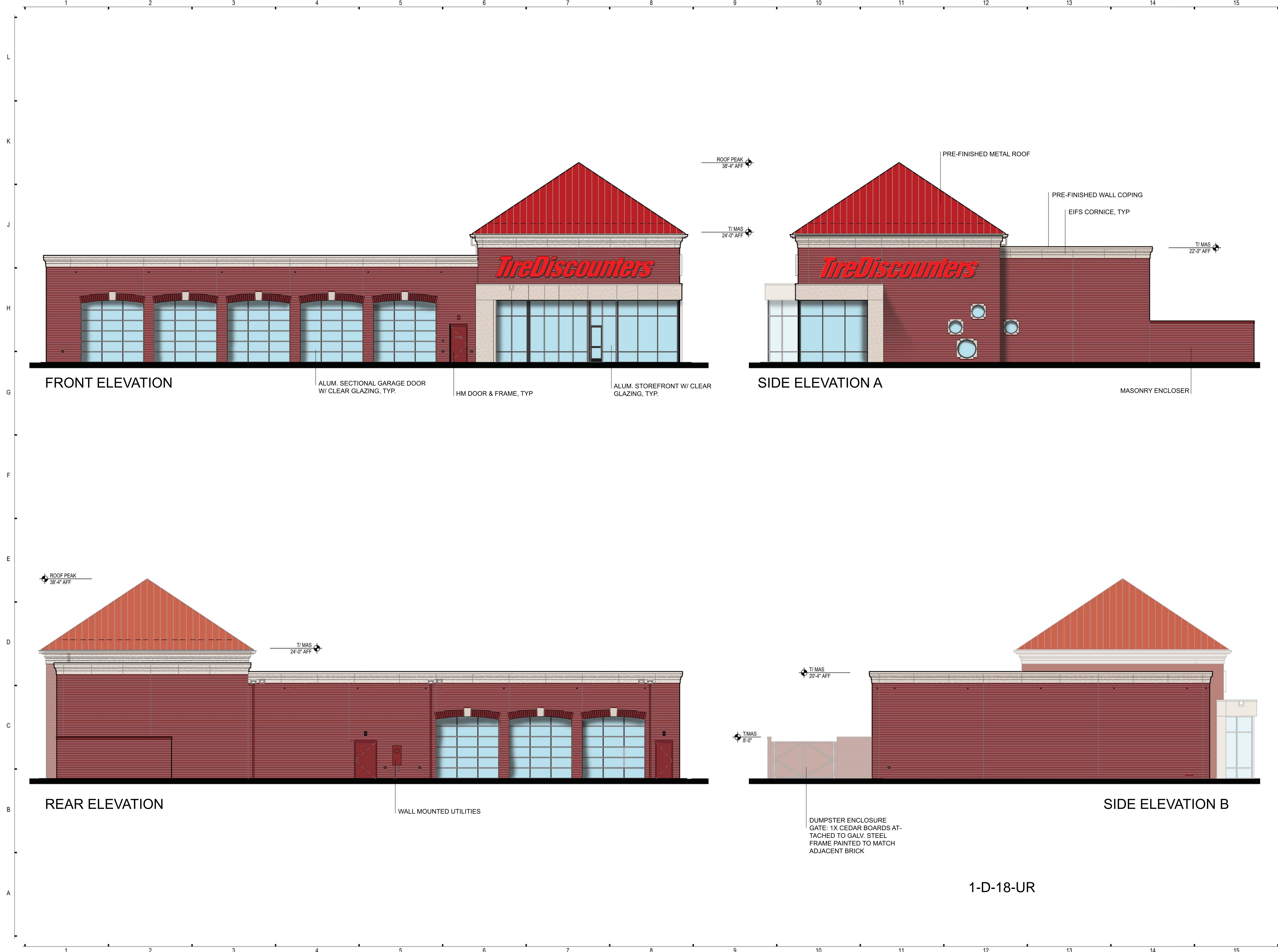
○ PLANTING DETAIL : BALLED AND BURLAPPED TREE  
NOT TO SCALE



PLANTING DETAIL : CONTAINERIZED PLANTS  
NOT TO SCALE

PLANTING DETAIL : BED EDGE  
NOT TO SCALE





TIRE DISCOUNTERS  
**TIRE DISCOUNTERS CEDAR BLUFF**  
0 MOSS GROVE BOULEVARD  
KNOXVILLE, TN 37922

PROJECT NO:

ISSUANCES

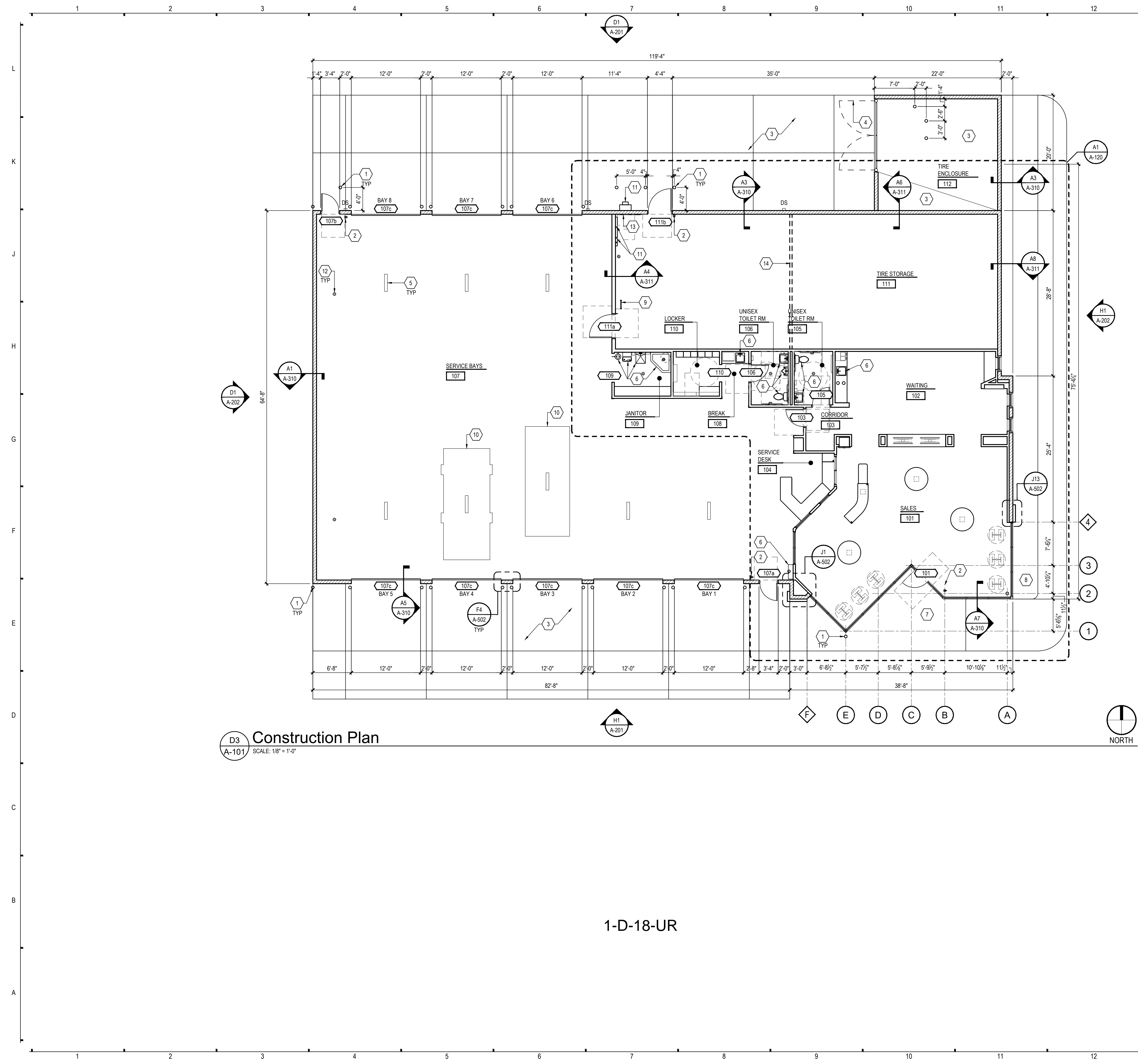
11.25.2017 - ZONING

OPEN ARCHITECTURE, INC.

DRAWN BY:  
REVIEWED BY:

1-D-18-UR



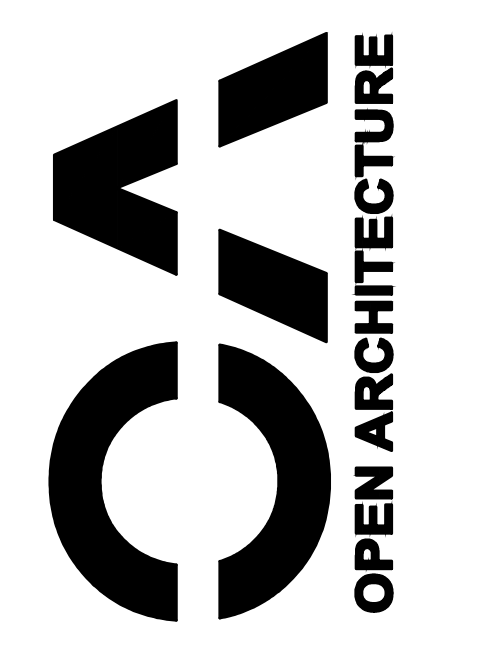


D3 Construction Plan  
A-101 SCALE: 1/8" = 1'-0"

- GENERAL NOTES**
- A. FLOOR ELEVATION 0'-0"; REFER TO CIVIL DRAWINGS FOR USGS ELEVATION
  - B. FOR ADDITIONAL SITE AND GRADING INFORMATION REFER TO CIVIL DRAWINGS
  - C. INTERIOR DIMENSIONS ARE TO FACE OF FINISH - TYP. UNO.
  - D. EXTERIOR DIMENSIONS ARE TO EDGE OF FOUNDATION, COLUMN CENTERLINE, FACE OF MASONRY, OR FACE OF STUD.
  - E. NON-EDGE WINDOW DIMENSIONS ARE TO WINDOW CENTERLINE. DIMENSIONS TO WINDOW EDGES ARE ROUGH OPENING DIMENSIONS.
  - F. ALL DOORS NOT DIMENSIONED SHALL BE EITHER CENTERED IN THE WALL OR SHALL BE 4" FROM THE HINGE JAMB PORTION OF THE FRAME TO THE ADJACENT WALL SURFACE.
  - G. ALL LOCATIONS WHERE DIFFERENT PARTITION TYPES ALIGN, LOCATE STUDS SO FINISH FACE OF GYPSUM BOARD IS FLUSH AND CONTINUOUS.
  - H. PROVIDE WOOD OR METAL STRAP BLOCKING FLUSH WITH THE INTERIOR FACE OF STUD FOR WALL HUNG FIXTURES, EQUIPMENT AND ACCESSORIES. FOLLOW MANUFACTURER'S RECOMMENDATIONS AND REFER TO PLUMBING DRAWINGS.
  - I. ALL HANDRAILS SHALL COMPLY WITH CODE GRASPABILITY REQUIREMENTS.
  - J. HANDRAIL ASSEMBLIES AND GUARDS SHALL BE DESIGNED TO RESIST A LOAD OF 50 PLF APPLIED IN ANY DIRECTION AT THE TOP AND TO TRANSFER THIS LOAD THROUGH THE SUPPORTS TO THE STRUCTURE. THEY SHALL ALSO BE DESIGNED TO RESIST A SINGLE CONCENTRATED LOAD OF 200 LBS APPLIED IN ANY DIRECTIONS AT ANY POINT ALONG THE TOP AND HAVE ATTACHMENT DEVICES AND SUPPORTING STRUCTURE TO TRANSFER THIS LOADING TO APPROPRIATE STRUCTURAL ELEMENTS OF THE BUILDING.
  - K. FIRE EXTINGUISHERS, WALL-MOUNTED OFCI - COORDINATE FINAL LOCATION WITH LOCAL AUTHORITY HAVING JURISDICTION. LOCATE 75'-0" MAX TRAVEL TO FIRE EXTINGUISHER PER CODE MINIMUM REQUIREMENTS.
  - L. REFER TO ELECTRIC DRAWINGS FOR EXIT SIGN AND EMERGENCY EXIT LIGHTING REQUIREMENTS.

- KEY NOTES**
- 1. BOLLARD - REFER TO DETAILS C7/A-502. PROJECT BOLLARD INTO OPENING 1/2" AT SERVICE BAY DOORS - REFER TO DETAIL F4/A-502.
  - 2. FIRE EXTINGUISHER. COORDINATE FINAL PLACEMENT WITH AUTHORITY HAVING JURISDICTION.
  - 3. CONCRETE PAVING- REFER TO SHEET A-100 & CIVIL DRAWINGS.
  - 4. DUMPSTER ENCLOSURE GATE- REFER TO DETAIL C1/A-502
  - 5. TRENCH DRAIN- REFER TO P-SERIES DRAWINGS.
  - 6. PLUMBING EQUIPMENT- REFER TO PLUMBING DRAWINGS.
  - 7. CONCRETE WALK- REFER TO CIVIL DRAWINGS.
  - 8. LANDSCAPING- REFER TO CIVIL DRAWINGS.
  - 9. ROOF ACCESS LADDER WITH NON-SLIP RUNGS, PAINTED- REFER TO SPECIFICATIONS.
  - 10. RECESSED EQUIPMENT PIT- REFER TO SHEET A-100.
  - 11. ELECTRICAL EQUIPMENT- REFER TO ELECTRICAL DRAWINGS.
  - 12. FLOOR DRAIN- REFER TO P-SERIES DRAWINGS.
  - 13. TELEPHONE & DATA BOARD- REFER TO ELECTRICAL DRAWINGS.
  - 14. DUCT CURTAIN WALL ABOVE.

**NOTE:**  
REFER TO SHEET A-120 FOR PARTITION TYPES AND  
ADDITIONAL NOTES



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