

811
Know what's below.
Call before you dig.
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER AND HAVE NOT BEEN REPRESENTED BY THE CONTRACTOR. THE CONTRACTOR SHALL INDEPENDENTLY VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR ANY INJURY OR DAMAGE TO THE WORK, OR PERSONS ENGAGED IN THE WORK, OR ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2020 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.

24 HOUR EMERGENCY CONTACT
 MICHAEL ALTERMAN
 (678) 358-7650

ATWELL
 866.850.4200 www.atwell-group.com
 1255 LAKES PKWY., BUILDING 100, SUITE 120
 LAWRENCE, GA 30240
 866.850.4200
 CERTIFICATE OF AUTHORIZATION
 TN: 6804

5TH DISTRICT
 8002 KINGSTON PIKE
 CITY OF KNOXVILLE
 KNOX COUNTY, TENNESSEE

CLIENT: ALTERMAN COMMERCIAL
 TAKE 5 - KNOXVILLE, TN
 SITE DEVELOPMENT PLANS
 SITE PLAN

DATE: 12/04/2020

REVISIONS

DRAWN BY: AJA
 CHECKED BY: TS
 PROJECT MANAGER: THEO STONE
 JOB #: 20002310
 FILE CODE: DESIGN
 SHEET NO. C-3.0



VICINITY MAP
 N.T.S.

SITE AREA	
TOTAL PROPERTY AREA:	0.52 ± AC (23651 ± S.F.)
DISTURBED AREA:	0.58 ± AC (25264.800000 ± S.F.)
IMPERVIOUS AREA:	TBD ± AC (### ± S.F.)
PERVIOUS AREA:	TBD ± AC (### ± S.F.)

ZONING CLASSIFICATION	
JURISDICTION:	CITY OF KNOXVILLE AND TDOT
ZONING:	C-H-2
ADJACENT ZONING:	C-G-3

BUILDING SETBACKS	
FRONT	20 FEET
SIDE	10 FEET
REAR	10 FEET

BUILDING SUMMARY	
PROPOSED BUILDING AREA:	1,970 SF
BUILDING AREA LIMIT:	N/A
BUILDING HEIGHT LIMIT:	90'; HOWEVER, STRUCTURES MUST SET BACK AN ADDITIONAL 1' FOR EVERY 2' OF HEIGHT OVER 45' FROM ANY REQUIRED SETBACK ABUTTING RESIDENTIAL DISTRICT LOT LINE

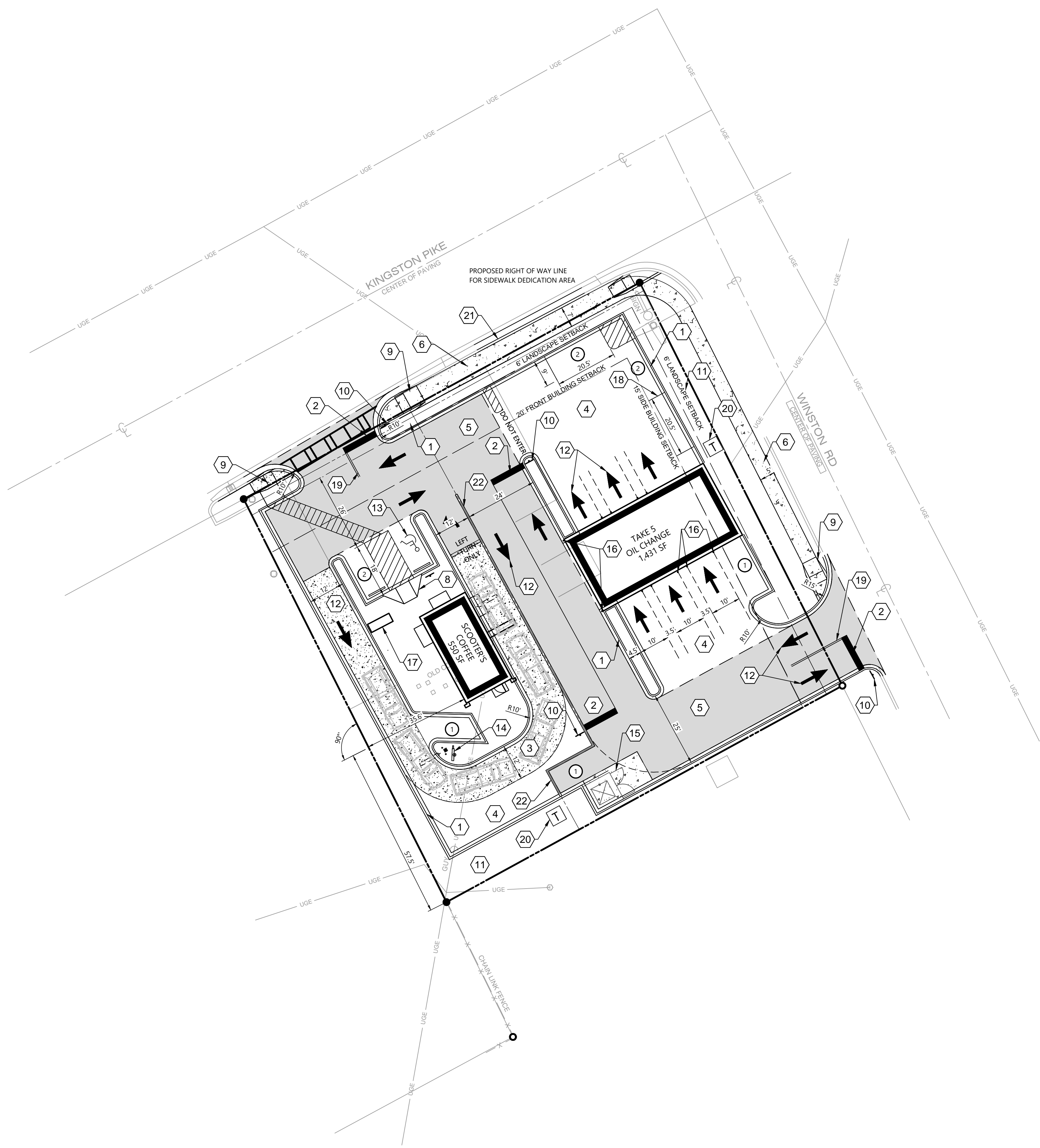
PARKING SUMMARY	
PARKING REQUIREMENTS	EATING AND DRINKING ESTABLISHMENTS: 6 SPACES PER 1000 SF GFA; VEHICLE REPAIR SERVICE MINOR: 2 SPACES PER BAY
TOTAL PARKING REQUIRED	7 SPACES
PARKING PROVIDED	8 SPACES

LANDSCAPING SUMMARY	
PARKING ISLANDS	9 FEET X 18 FEET
FRONT LANDSCAPE BUFFER	6 FEET TO 10 FEET
SIDE LANDSCAPE BUFFER	N/A
REAR LANDSCAPE BUFFER	N/A

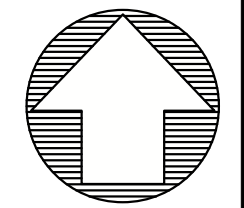
KEY NOTES	
①	18" CURB & GUTTER, SEE SHEET C-7.0 FOR DETAIL
②	24" WHITE STOP BAR, SEE SHEET C-7.1 FOR DETAIL
③	PERVIOUS CONCRETE PAVEMENT, SEE SHEET C-7.0 FOR PAVEMENT SPECIFICATIONS
④	STANDARD DUTY ASPHALT, SEE SHEET C-7.0 FOR PAVEMENT SPECIFICATIONS
⑤	HEAVY DUTY ASPHALT, SEE SHEET C-7.0 FOR PAVEMENT SPECIFICATIONS
⑥	CONCRETE SIDEWALK, SEE DETAIL SHEET C-7.0 & C-7.2 FOR DETAIL
⑦	TAPER CURBING FROM 6" TO 0" OVER 5'
⑧	*TYPE A* CURB RAMP, SEE SHEET C-7.0 FOR DETAILS
⑨	*TYPE D* CURB RAMP, SEE SHEET C-7.0 FOR DETAILS
⑩	STOP SIGN (R1-1), SEE DETAIL SHEET C-7.1
⑪	LANDSCAPE AREA, SEE SHEET L-1.0 FOR FURTHER DETAIL
⑫	DIRECTIONAL ARROWS, SEE DETAIL SHEET C-7.1
⑬	ADA PARKING AREA WITH SIGNAGE
⑭	DRIVE THRU MENU AND ORDER BOARD
⑮	PROPOSED GATED DUMPSTER ENCLOSURE WITH MINIMUM 6' HIGH FENCE OR WALL WITH CONCRETE APRON, SEE ARCHITECTURAL PLANS FOR DETAILS
⑯	CONCRETE BOLLARDS, SEE DETAIL SHEET C-7.0
⑰	CITY OF KNOXVILLE BICYCLE PARKING RACK, SEE SHEET C-7.1 FOR DETAIL
⑱	4" WIDE SINGLE SOLID WHITE LINE (SSWL)
⑲	4" WIDE DOUBLE SOLID YELLOW LINE (DSYL)
⑳	CONCRETE TRANSFORMER PAD PER UTILITY OWNER REQUIREMENT.
㉑	30" CURB & GUTTER, SEE SHEET C-7.0 FOR DETAIL
㉒	8" HEADER CURB, SEE SHEET C-7.0 FOR DETAIL

- GENERAL SITE NOTES:
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL NEW CURB AND GUTTER TO BE 24" CURB AND GUTTER UNLESS OTHERWISE SPECIFIED.
 - ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION.
 - ALL TREES SHALL HAVE PROPER PROTECTION DURING CONSTRUCTION UNLESS APPROVED PLANS SPECIFY OTHERWISE.
 - TOPOGRAPHIC SURVEY BY PROFESSIONAL LAND SYSTEMS, DATED 06/29/2020.
 - FLOODPLAIN IS NOT PRESENT ON SITE AS DEPICTED BY FEMA FIRM PANEL NUMBER 47093C0266F, DATED 05/02/2007.
 - OWNER IS RESPONSIBLE FOR OBTAINING ANY NECESSARY AGREEMENTS FROM ADJACENT PROPERTY OWNERS IN ORDER TO PERFORM THE REQUIRED OFFSITE WORK, INCLUDING STORM DRAINAGE, UTILITY CONNECTIONS, SIDEWALK, CURB AND GUTTER AND PAVEMENT TIE-INS AND GRADING.
 - ALL NEW ASPHALT AND OR PAVEMENT SHALL MEET THE GEO TECHNICAL REPORT RECOMMENDATION REPORT PREPARED BY POINT TO POINT ENVIRONMENTAL DATED 05/29/2020.

SITE LEGEND			
	EXISTING PROPERTY LINE		PARKING SPACE COUNT
	EXISTING RIGHT-OF-WAY		SIGN
	EXISTING SETBACK LINE		LIGHT POLE
	PROPOSED RIGHT-OF-WAY		GROUP OF FOUR GUARD POSTS
	PROPOSED SETBACK LINE		DUMPSTER PAD
	100 YEAR FLOOD PLAIN		TRANSFORMER PAD
	18" CURB AND GUTTER		PROPOSED SIGNAL
	24" CURB AND GUTTER		GRATE INLET
	PROPOSED RETAINING WALL		STORM MANHOLE
	CROSS WALK		DOUBLE WING CATCH BASIN
	STOP BAR (PAVEMENT MARKING)		SINGLE WING CATCH BASIN
	TRAFFIC FLOW ARROW (PAVEMENT MARKING)		AREA INLET
	"YIELD" (PAVEMENT MARKING)		OUTLET CONTROL STRUCTURE
	DIRECTIONAL ARROWS (PAVEMENT MARKING)		HEADWALL
	"ONLY" DIRECTIONAL ARROWS (PAVEMENT MARKING)		SANITARY SEWER MANHOLE
	HANDICAP STALL		CONCRETE
	CONCRETE WHEEL STOP		STANDARD DUTY PAVING
	ADA STD HANDICAP RAMP		HEAVY DUTY PAVING
			OVERLAY EXISTING PAVEMENT



1-D-21-SU
 11/30/2020



FILE NAME: K:\20002310\Take 5 - 01 - Knoxville\DWG\Engineering\1-D-21-SU\1-D-21-SU-01.dwg
 DATE: 11/30/2020 2:17 PM
 PLOTTED BY: THEO STONE
 PLOT DATE: 11/30/2020 2:17 PM
 PLOT SCALE: 1"=20'
 PLOT SHEET: 1 OF 1
 PLOT STATUS: SUCCESS
 PLOT MESSAGE: 11/30/2020 2:17 PM
 PLOT SHEET: 1 OF 1
 PLOT STATUS: SUCCESS
 PLOT MESSAGE: 11/30/2020 2:17 PM

CAD FILE: C08 SITE PLAN
 BOTTOM RIGHT

QTY	COMMON NAME	BOTANICAL NAME	SIZE	COMMENTS
4	PAPERBARK ELM	ACER GRISEUM	2.5" CAL.	B&B, 14-16' HT.
3	LITTLE GEM MAGNOLIA	MAGNOLIA GRANDIFLORA	2.5" CAL.	B&B, 14-16' HT.
2	FLOWERING CRABAPPLE	MALUS SPP	2.5" CAL.	B&B, 14-16' HT.
45	DWF YAUPON HOLLY	ILEX VOMITORIA 'NANA'	3-GAL.	SPACING AS SHOWN

SITE AREA

TOTAL PROPERTY AREA: 0.52 ± AC (22651 ± S.F.)
 DISTURBED AREA: 0.58 ± AC (25264.80000 ± S.F.)
 IMPERVIOUS AREA: TBD ± AC (#### ± S.F.)
 PERVIOUS AREA: TBD ± AC (#### ± S.F.)

ZONING CLASSIFICATION

JURISDICTION: CITY OF KNOXVILLE AND TDO
 ZONING: C-H-2
 ADJACENT ZONING: C-G-3

BUILDING SETBACKS

FRONT: 20 FEET
 SIDE: 10 FEET
 REAR: 10 FEET

BUILDING SUMMARY

PROPOSED BUILDING AREA: 1,970 SF
 BUILDING AREA LIMIT: N/A
 BUILDING HEIGHT LIMIT: 90'; HOWEVER, STRUCTURES MUST SET BACK AN ADDITIONAL 1' FOR EVERY 2' OF HEIGHT OVER 45' FROM ANY REQUIRED SETBACK
 ABUTTING RESIDENTIAL DISTRICT LOT LINE

PARKING SUMMARY

PARKING REQUIREMENTS: EATING AND DRINKING ESTABLISHMENTS: 6 SPACES PER 1000 SF GFA; VEHICLE REPAIR SERVICE MINOR: 2 SPACES PER BAY
 TOTAL PARKING REQUIRED: 7 SPACES
 PARKING PROVIDED: 8 SPACES

LANDSCAPING SUMMARY

PARKING ISLANDS: 9 FEET X 18 FEET
 FRONT LANDSCAPE BUFFER: 6 FEET TO 10 FEET
 SIDE LANDSCAPE BUFFER: N/A
 REAR LANDSCAPE BUFFER: N/A



VICINITY MAP

N.T.S.

GENERAL

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING ALL WORK AS SPECIFIED IN ACCORDANCE WITH THE PLANS AND AS LISTED IN THE GENERAL NOTES.
- BEFORE BEGINNING ANY WORK, ALL UTILITIES AND UNDERGROUND CONSTRUCTION SHALL BE LOCATED BY THE LANDSCAPE CONTRACTOR SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DISTURB OR DAMAGE ANY SUBSURFACE IMPROVEMENTS. WHERE PUBLIC UTILITIES ARE PRESENT, THE LANDSCAPE CONTRACTOR SHALL REQUEST ON-SITE LOCATIONS BY ALL UTILITY COMPANIES AND CONFIRM THAT SUCH LOCATIONS HAVE BEEN COMPLETED. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MAKING, AT HIS OWN EXPENSE, ALL REPAIRS TO DAMAGED UTILITIES RESULTING FROM WORK COVERED BY THIS CONTRACT.
- ANY DAMAGE DONE BY THE LANDSCAPE CONTRACTOR TO ANY PAVING, BUILDINGS, CURB, OR WALKS SHALL BE REPAIRED OR REPLACED BY THE LANDSCAPE CONTRACTOR.
- THE LANDSCAPE CONTRACTOR SHALL TAKE MEASURES TO PREVENT DUST, MUD, MARKS, ETC FROM SOILING AND DAMAGING IMPROVEMENTS. ANY DAMAGE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- THE LANDSCAPE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE FROM ALL PARTS OF THE PROJECT.
- ALL PROPOSED PLANT MATERIALS SHALL BE FREE FROM INJURY, PEST, DISEASE, OR ROOT DEFECTS AND SHALL MEET OR EXCEED STANDARDS SET FORTH IN THE CURRENT EDITION OF AMERICAN STANDARD FOR NURSERY STOCK. THE LANDSCAPE ARCHITECT MAY REJECT PLANT MATERIAL OR INSTALLATION WHICH DOES NOT COMPLY WITH THE SPECIFICATIONS OF THIS DRAWING AT ANY TIME PRIOR TO FINAL ACCEPTANCE.
- PLANTS SHALL BE WATERED PRIOR TO TRANSPORTATION AND SHALL BE KEPT MOIST UNTIL PLANTED. ALL PLANTS SHALL BE PROTECTED FROM DESICCATION DURING DELIVERY WITH A PROTECTIVE COVERING OR ENCLOSED TRUCK.
- THE PLANT LIST IS FOR THE LANDSCAPE CONTRACTORS CONVENIENCE. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE COUNT FROM THE PLAN AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- ALL LANDSCAPE AREAS WHERE ASPHALT OR CURBING HAS BEEN REMOVED AND ALL LANDSCAPE ISLANDS MUST HAVE CLEAN, FRIABLE TOPSOIL TO A TOTAL DEPTH OF TWO (2) FEET.
- THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS INCLUDING, BUT NOT LIMITED TO, TOPSOIL, MULCHES, LIMES, AND FERTILIZERS NECESSARY FOR THE HEALTHY GROWTH OF PLANT MATERIAL.
- INSTALL TREES PLUMB. DO NOT DEPEND ON STAKING TO PULL PLANTS TO PLUMB POSITION. STAKING SHALL BE ON AN AS-NEEDED BASIS.
- ALL MOWABLE LAWN AREAS SHALL BE SODDED WITH BERMUDA GRASS. ALL SLOPES 3:1 OR GREATER SHALL BE SEEDED AS NOTED ON PLAN.
- MULCH ALL GROUND COVER AND PLANTING BEDS AND A 4'-0" DIAMETER BASE AROUND ALL FREE STANDING TREES WITH 4" MIN. FRESH PINE STRAW.
- WHERE TREES ARE PLANTED CLOSER THAN 5 FEET FROM CURB OR SIDEWALK, EITHER CONCRETE OR HDPE (HIGH DENSITY POLYURETHANE PLASTIC) ROOT BARRIERS MUST BE INSTALLED. THESE ROOT BARRIERS MUST BE A MINIMUM OF 30 INCHES DEEP.
- ALL TEMPORARY CONSTRUCTION ACTIVITIES WILL OCCUR IN PARKING LOT AREAS ON THE SITE.
- SHRUB HEIGHTS SHALL BE MAINTAINED AT 2'-0" AND TREE CANOPIES SHALL BE ABOVE 6'-0" AT ALL PLANTING ISLANDS AND DRIVE OPENINGS WITHIN THE PARKING LOT AND INTERSECTING STREETS BY LANDSCAPE CONTRACTOR AND OWNER TO INSURE SAFE SIGHT DISTANCES.
- ALL CONSTRUCTION DEBRIS IS TO BE ENTIRELY REMOVED FROM SITE BY THE LANDSCAPE CONTRACTOR.
- THE LANDSCAPE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE MAINTENANCE, INCLUDING WATERING, WEEDING, PRUNING, MOWING OF LAWNS, AND RE-MULCHING OF THIS WORK UNTIL DATE OF FINAL ACCEPTANCE.

FOR SODDED AREA

- SOD SHALL BE WELL ROOTED, 2 YEAR OLD STOCK. THE SOD SHALL BE TOP QUALITY CERTIFIED SOD, FREE OF WEEDS, UNDESIRABLE NATIVE GRASSES, INSECTS AND DISEASES. PROVIDE CERTIFICATION TAG TO OWNER. ALL SOD SHALL BE MACHINE CUT AND VIGOROUSLY GROWING (NOT DORMANT).
- LAY SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS. DO NOT OVERLAP.
- IN SLOPING AREAS, SOD SHALL BE LAID WITH THE LONG EDGES PARALLEL TO THE CONTOURS AND WITH JOINTS STAGGERED.
- SOD SHALL BE SECURED IN PLACE WITH STAPLES ON SLOPES GREATER THAN 3:1. STAPLES FOR SOD STAKING SHALL BE NO. 11 GAUGE STEEL WIRE U-SHAPED WITH LEGS 12 INCHES IN LENGTH AND 1" CROWN. STAPLES SHALL BE PLACED AT INTERVALS NO GREATER THAN 2' ON CENTER. TOP OF STAKES SHALL BE DRIVEN FLUSH WITH SOD AS NOT TO INTERFERE WITH MOWING OPERATIONS.
- TAMP OR ROLL TO INSURE CONTACT WITH SOIL. WORK SORTED SOIL INTO MINOR CRACKS BETWEEN PIECES OF SOD. REMOVE EXCESS SOIL TO AVOID SMOTHERING OF ADJACENT GRASS.
- SOD SHALL BE WATERED IMMEDIATELY AFTER ROLLING OR TAMPING.

GRASSING

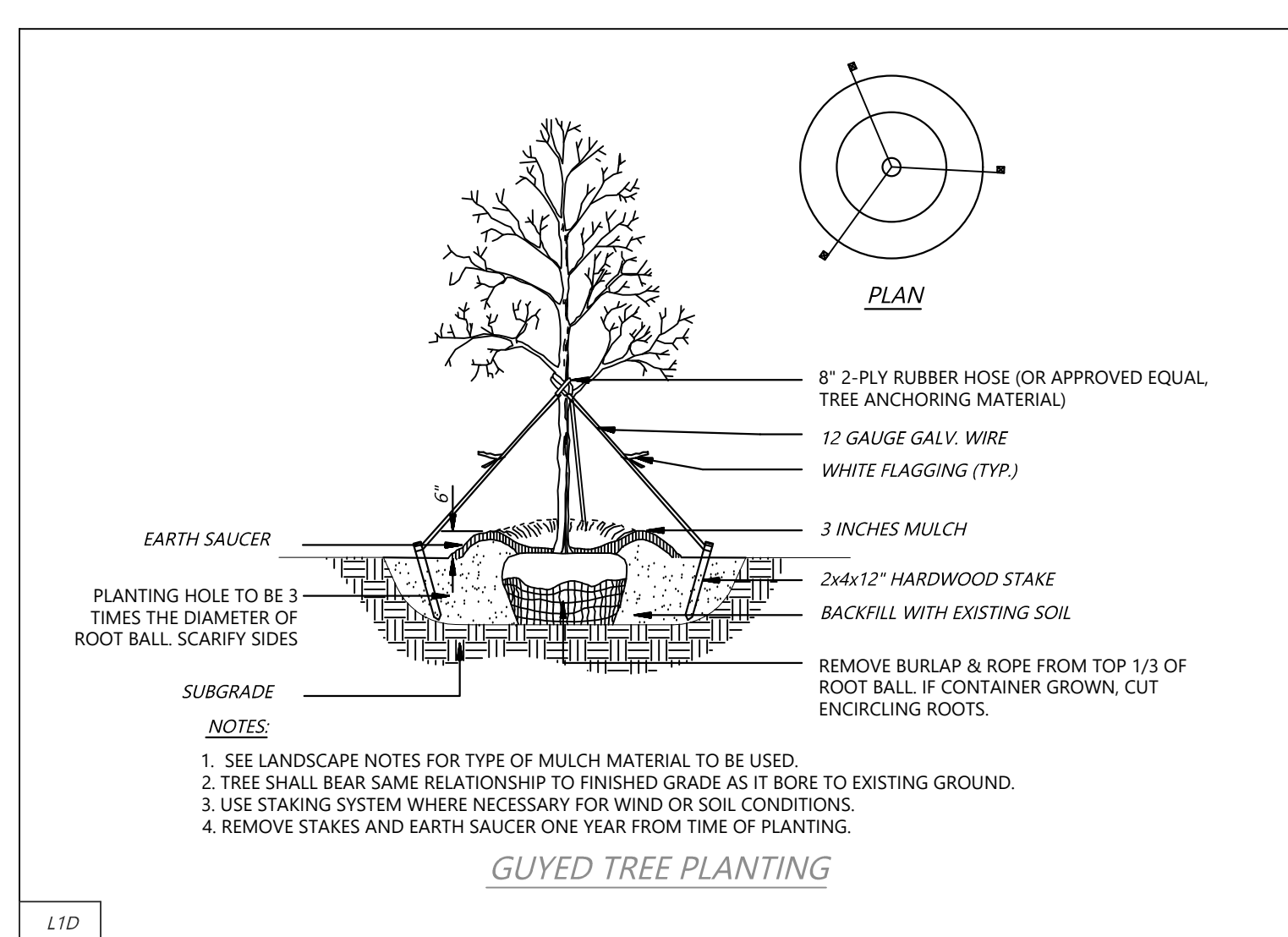
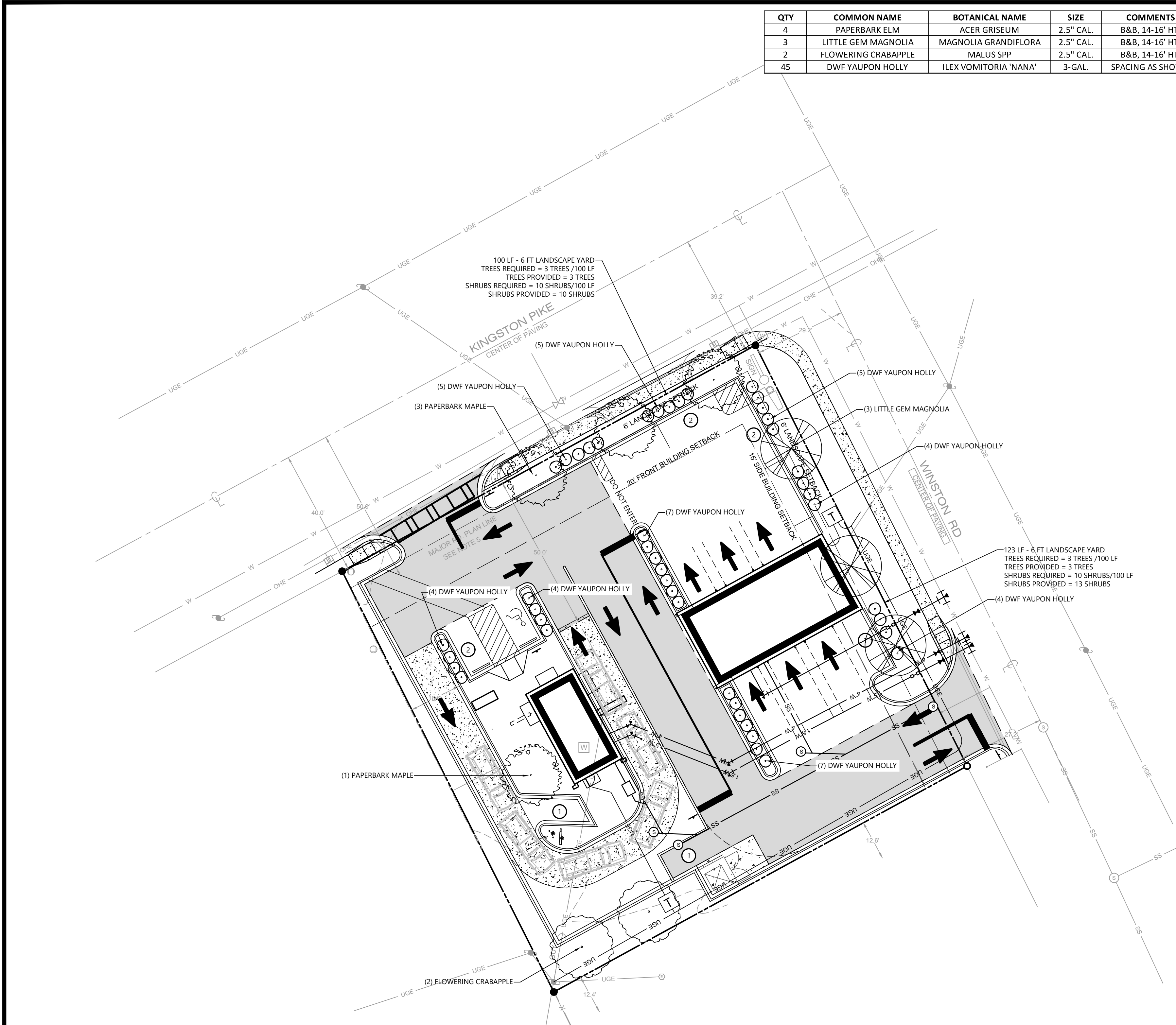
- PREPARE AREAS TO BE GRASSED BY REFINED GRADING TO INSURE PROPER DRAINAGE AND DISCOURAGE EROSION.
- ELIMINATE UNDESIRABLE GRASS AND WEED GROWTH IN AREAS TO BE GRASSED AND TAKE MEASURES AS NECESSARY TO PREVENT REGROWTH OF UNDESIRABLE PLANTS. SOIL SHALL BE TILLED OR LOOSENOED TO 4" MIN. DEPTH, INCORPORATING FERTILIZER, LIME AND OTHER APPROPRIATE ADDITIVES AS INDICATED BY SOIL TEST INTO THE TOP 2" TO 3".

INSPECTION

- THE OWNER'S REPRESENTATIVE SHALL INSPECT THE TOTAL WORK FOR ACCEPTANCE UPON REQUEST OF THE LANDSCAPE CONTRACTOR. ANY UNSATISFACTORY ITEMS SHALL BE NOTED AND MUST BE REMEDIATED BY THE LANDSCAPE CONTRACTOR PRIOR TO ACCEPTANCE. UPON SATISFACTORY COMPLETION OF ALL WORK, THE OWNER'S REPRESENTATIVE SHALL CERTIFY IN WRITING ACCEPTANCE OF THE WORK. PAYMENT FOR CONTRACT WORK TO THE CONTRACTOR PURSUANT TO ISSUANCE OF ACCEPTANCE SHALL BE DEEMED THE FINAL PAYMENT FOR SAID WORK.

WARRANTY

- ALL PLANT MATERIAL SHALL BE WARRANTED BY THE LANDSCAPE CONTRACTOR FOR A PERIOD OF ONE YEAR FOLLOWING ACCEPTANCE. THE LANDSCAPE CONTRACTOR SHALL REPLACE AT NO EXPENSE TO THE OWNER, UNHEALTHY PLANTS WITHIN 15 DAYS. THIS ASSUMES THAT THE OWNER HAS FOLLOWED THE APPROPRIATE MAINTENANCE PROCEDURES AND THAT NO SUCH REPLACEMENTS ARE NECESSITATED BY NEGLIGENCE OR ABUSE BY OWNER, BY VANDALISM OR BY ACTS-OF-GOD DAMAGE.
- REPLACEMENT SIZES SHALL BE COMPARABLE TO THOSE ATTAINED BY ADJACENT THRIVING PLANTS. ALL REPLACEMENT STOCK WILL BE SUBJECT TO THE SAME WARRANTY REQUIREMENTS AS THE ORIGINAL STOCK. REPLACEMENT WARRANTY BEGINS ON DAY OF INSTALLATION.
- THE LANDSCAPE CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS TO GRADES, VEGETATIVE COVER AND PAVING REQUIRED BECAUSE OF PLANT REPLACEMENTS. SUCH REPAIRS SHALL BE DONE AT NO EXTRA COST TO THE OWNER.



1-D-21-SU
 11/30/2020

811
 Know what's below. Call before you dig.
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE AND ALL UNDERGROUND UTILITIES.

NOTICE
 CONSTRUCTION SETS SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE PROVIDER SHALL BE HELD RESPONSIBLE FOR ANY INJURY OR DAMAGE OR SAFETY OF THE WORK OF ANY NUMBER OF PERSONS ENGAGED IN THE WORK OF ANY NUMBER OF PERSONS, OR OF ANY OTHER PERSONS.

REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.
 © 2020 ATWELL LLC, NO. 1255 LAKES PKWY., BUILDING 100, SUITE 120, KNOXVILLE, TN 37922-4200
 866.850.4200
 WWW.ATWELL-GROUP.COM

24 HOUR EMERGENCY CONTACT
 MICHAEL ALTERMAN
 (678) 358-7650

ATWELL
 866.850.4200 www.atwell-group.com
 1255 LAKES PKWY., BUILDING 100, SUITE 120
 KNOXVILLE, TN 37922-4200
 CERTIFICATE OF AUTHORIZATION
 TN 6804

5TH DISTRICT
 8002 KINGSTON PIKE
 CITY OF KNOXVILLE
 KNOX COUNTY, TENNESSEE

CLIENT: ALTERMAN COMMERCIAL
 TAKE 5 - KNOXVILLE, TN
 SITE DEVELOPMENT PLANS
 LANDSCAPE PLAN

DATE: 12/04/2020

REVISIONS

DRAWN BY: AJA
 CHECKED BY: TS
 PROJECT MANAGER: THEO STONE
 JOB #: 20002310
 FILE CODE: DESIGN
 SHEET NO. L-1.0

Tennessee 811
 Know what's below. Call before you dig.

FILE NAME: \\102002310\Draw_5_01 - Resurfaces\DWG\LANDSCAPE.dwg USER: TSD\TS DATE: 11/30/2020 1:52 PM PLOTTED BY: JASON WILSON 11/30/2020 1:52 PM PLOTTED BY: JASON WILSON 11/30/2020 1:52 PM PLOTTED BY: JASON WILSON 11/30/2020 1:52 PM PLOTTED BY: JASON WILSON 11/30/2020 1:52 PM PLOTTED BY: JASON WILSON 11/30/2020 1:52 PM

CAD FILE: 100.LANDSCAPE
 BOTTOM RIGHT