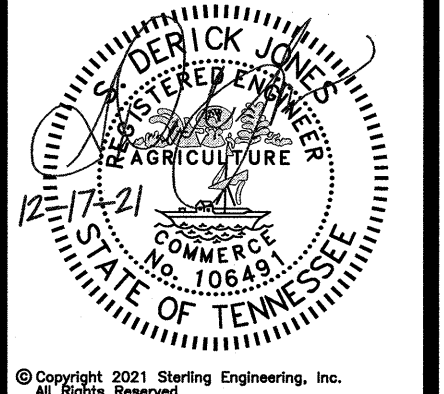


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EXISTING CONDITIONS
VINTAGE
KNOXVILLE WEST
TDK CONSTRUCTION COMPANY
KNOX COUNTY, TN
PLANNING FILE NO. 1-E-22-SU

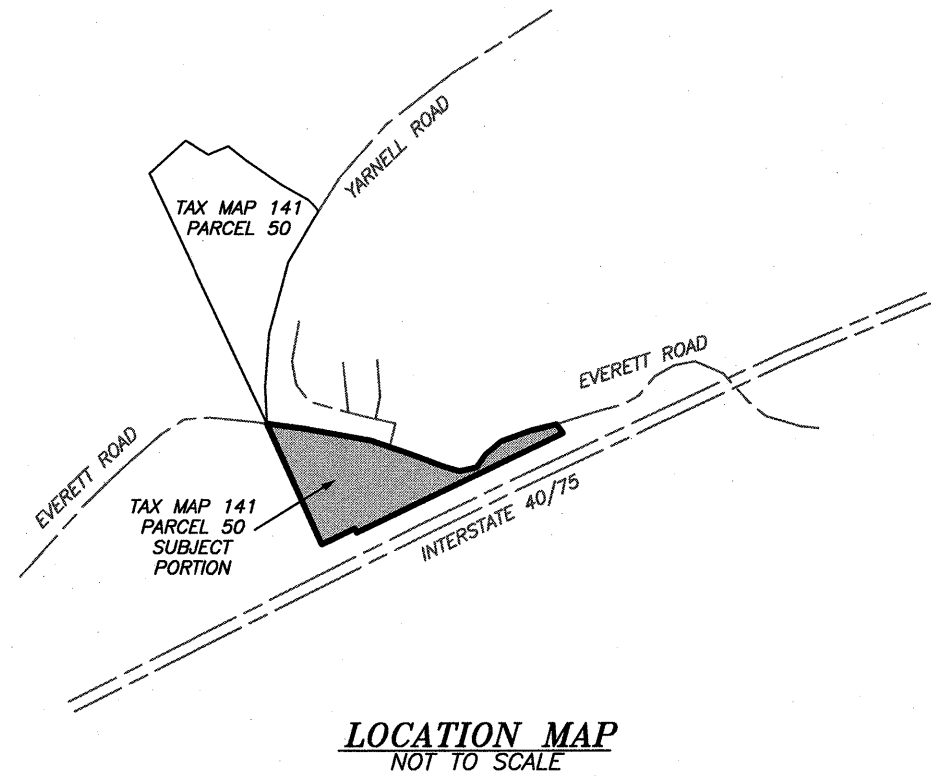
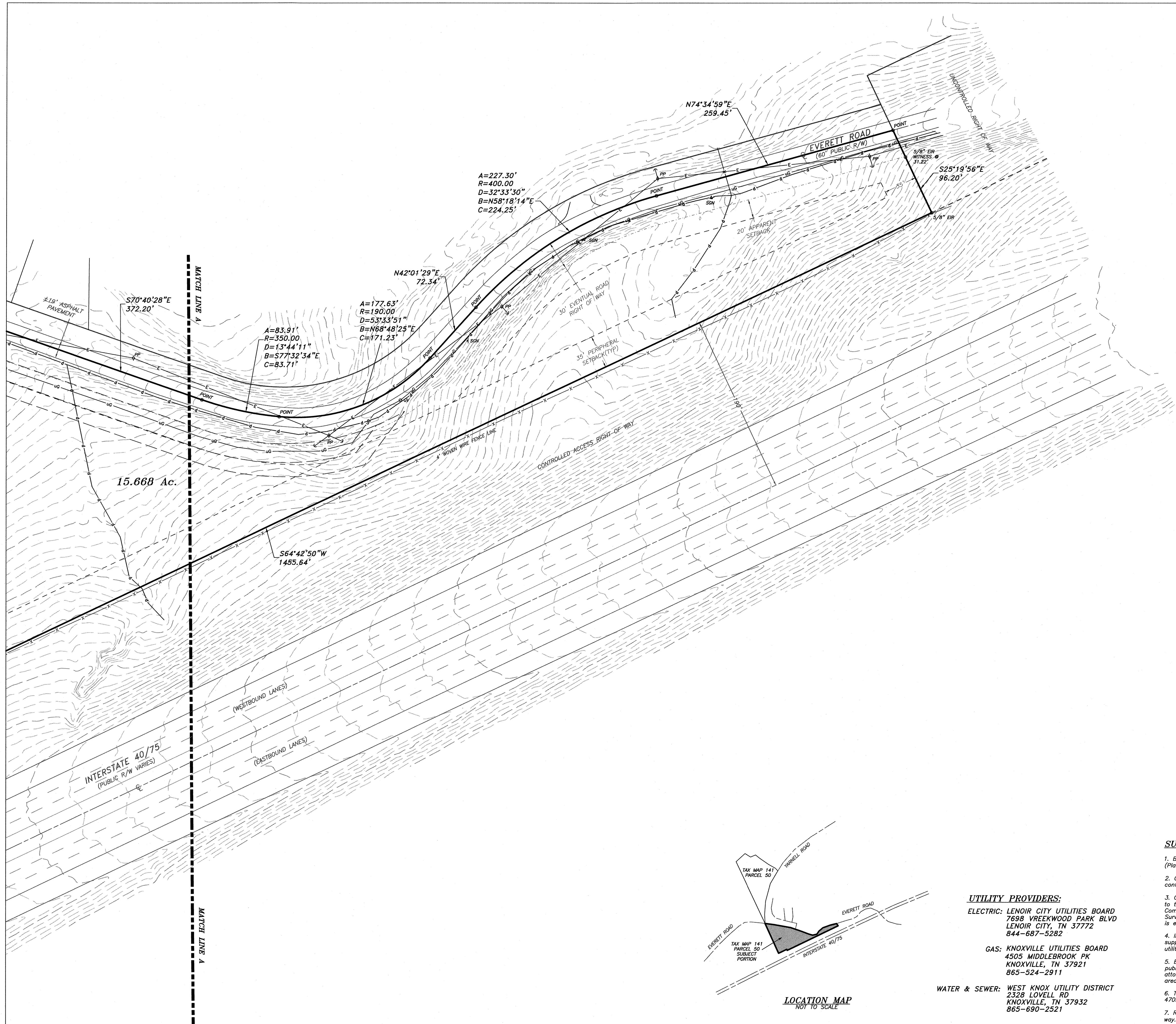
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12/17/21	klones	Revise per use on Review comments



SHEET
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DRAWN: **CLS**
CHECKED: **CLS**
DATE: **8/21/21**
SCALE: **1" = 50'**
DRAWING: **7356A-CP1**
PROJECT NO.: **SEI#7356A**

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UTILITY PROVIDERS:

ELECTRIC: LENOIR CITY UTILITIES BOARD
7658 VREEKWOOD PARK BLVD
LENOIR CITY, TN 37772
844-687-5282

GAS: KNOXVILLE UTILITIES BOARD
4505 MIDDLEBROOK PK
KNOXVILLE, TN 37921
865-524-2911

WATER & SEWER: WEST KNOX UTILITY DISTRICT
2328 LOVELL RD
KNOXVILLE, TN 37932
865-690-2521



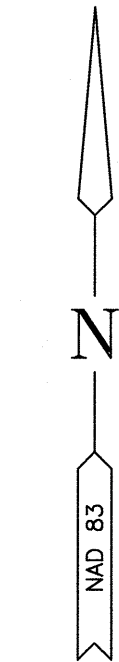
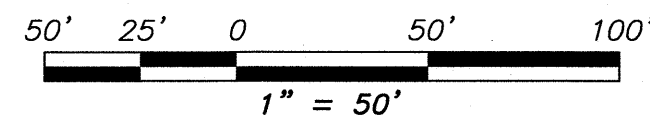
LEGEND:

POB	POINT OF BEGINNING
EIR	EXISTING IRON ROD
NIR	NEW IRON ROD
A=	ARC LENGTH
R=	RADIUS
D=	CENTRAL ANGLE (DELTA)
B=	CHORD BEARING
C=	CHORD LENGTH
AC	ACRES
SF	SQUARE FEET
WDB	WARRANTY DEED BOOK
MRB	MISC. RECORD BOOK
PG	PAGE
TYP	TYPICAL
R/W	RIGHT-OF-WAY
C	CENTERLINE
G V	GAS VALVE
M B	MAIL BOX
PP	POWER POLE (PP)
S	SIGN (POST)
W V	WATER VALVE
M H	SEWER MANHOLE
BOUNDARY LINE	
ROAD RIGHT-OF-WAY LINE	
EVENTUAL RIGHT OF WAY LINE	
EASEMENT LINE	
BUILDING SETBACK LINE	
ROAD CENTERLINE	
EDGE OF ROAD	
CONCRETE CURB	
ROAD STRIPE WHITE SOLID	
ROAD STRIPE YELLOW SOLID	
CORRUGATED METAL PIPE (CMP)	
REINFORCED CONCRETE PIPE (RCP)	
FENCE LINE	
ELECTRIC LINE (OVERHEAD)	
UNDERGROUND (U/G) GAS LINE	
WATER LINE (EXISTING)	
SEWER LINE (EXISTING)	
DITCH LINE	
MINOR CONTOUR	
MAJOR CONTOUR	
10	SCHEDULE B, SECTION II EXCEPTION

OWNER OF RECORD:

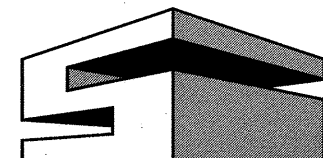
DANIEL C. BURTON, TRUSTEE
THE BURTON FAMILY IRREVOCABLE TRUST
60 MUSIC SQUARE EAST, SUITE 390
NASHVILLE, TN 37203

DISTRICT 6, KNOX COUNTY
INSTR: 201712130036245, 202009150021689,
202101150057310
TAX MAP 141 PARCEL 050



SURVEYOR'S NOTES:

- Building setbacks shown hereon are per current Knox County zoning regulations for Zone: PR (Planned Residential).
- Contours shown hereon were derived from State of Tennessee GIS LIDAR data with a 2 foot contour interval. Elevations are based on the North American Vertical Datum of 1988.
- Only those Instruments of Record reflecting easements, rights of way, and/or ownership known to the Surveyor or disclosed to the Surveyor by Old Republic National Title Insurance Company, Commitment Number 2105-0190 dated May 3, 2021 at 8:00 A.M. are shown hereon. The Surveyor has made no attempt to access the public records for any easements. No title opinion is expressed or implied.
- Information pertaining to underground utilities is based on field locations and measurements supplemented with existing utility maps provided by others. Actual location of all underground utilities should be verified through Tennessee 1 Call (1-800-351-1111) or the utility provider.
- Everett Road is an existing public road and although the underlying deed includes the road, the public may have acquired prescriptive rights. The surveyor would advise the client to contact his attorney concerning title to that portion of the property lying within the improved and maintained area.
- This property is not located in a flood hazard area according to FEMA Flood Insurance Rate Map 47093C0238F, dated May 2, 2007.
- Reference TDOT Project I-503(4) for additional information pertaining to the I 40/75 right of way.



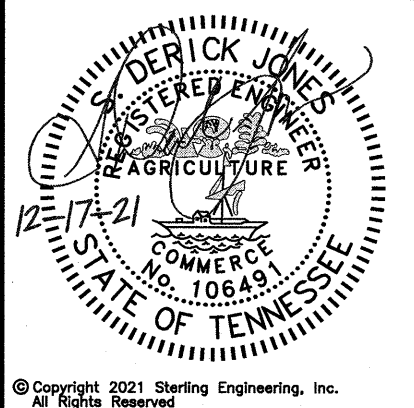
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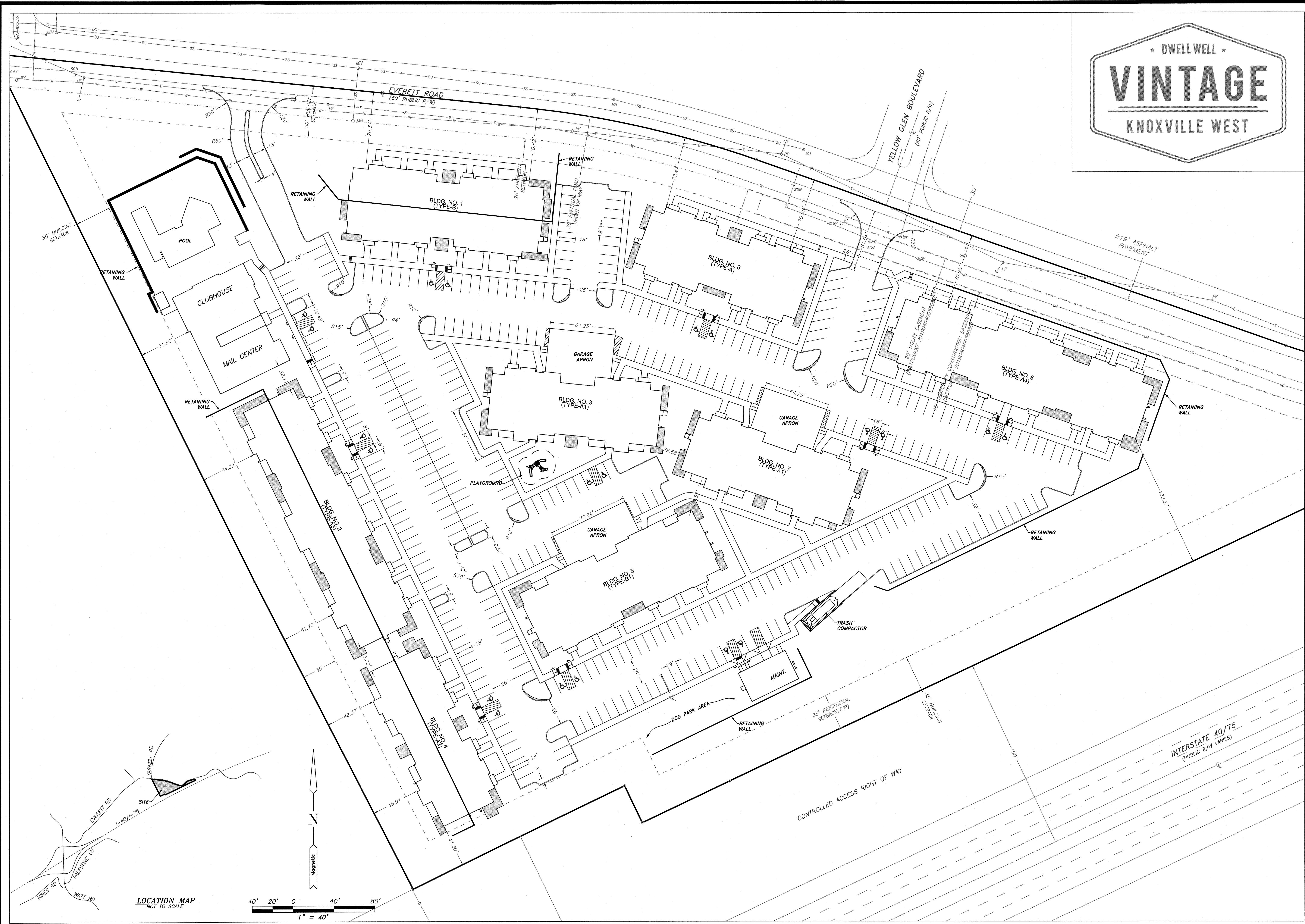
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KNOX COUNTY, TN

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CP.1.2

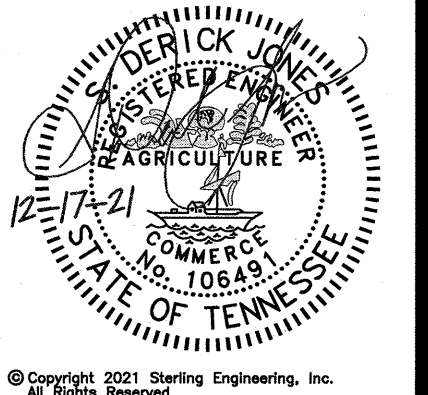
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CHECKED:
DATE: **8/21/21**
SCALE: **1" = 50'**
DRAWING: **7356A-CP1**
PROJECT NO: **SEI#7356A**



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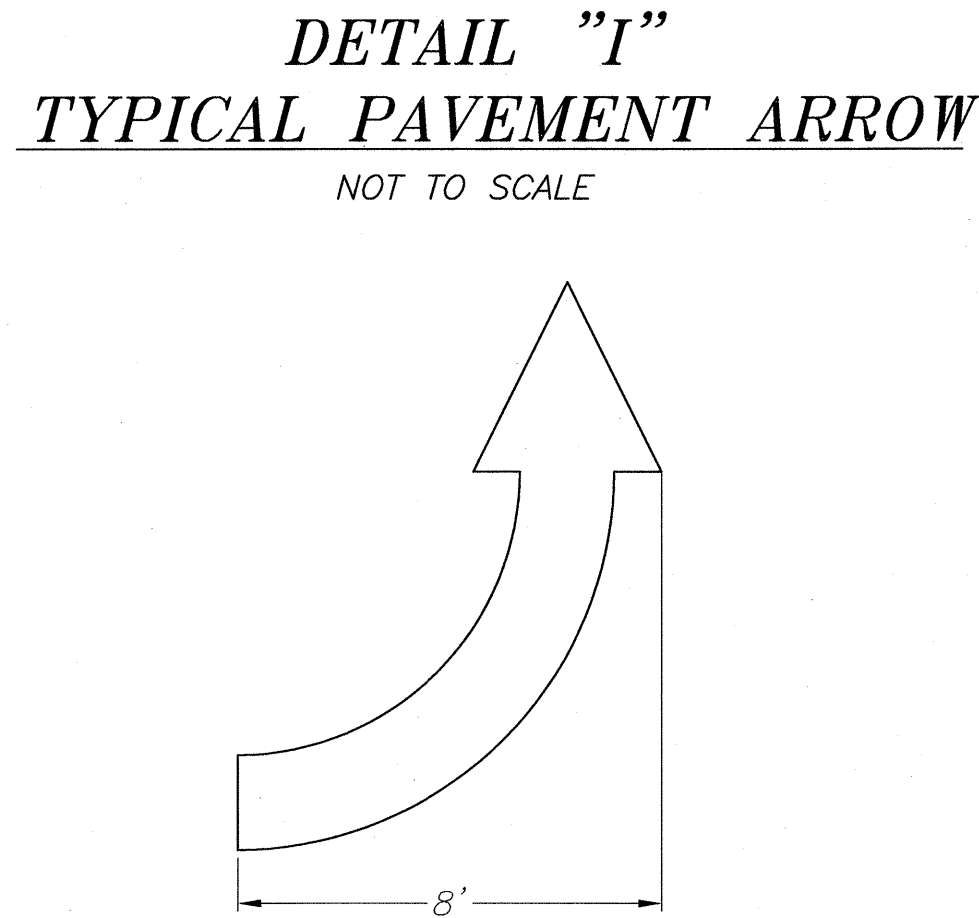
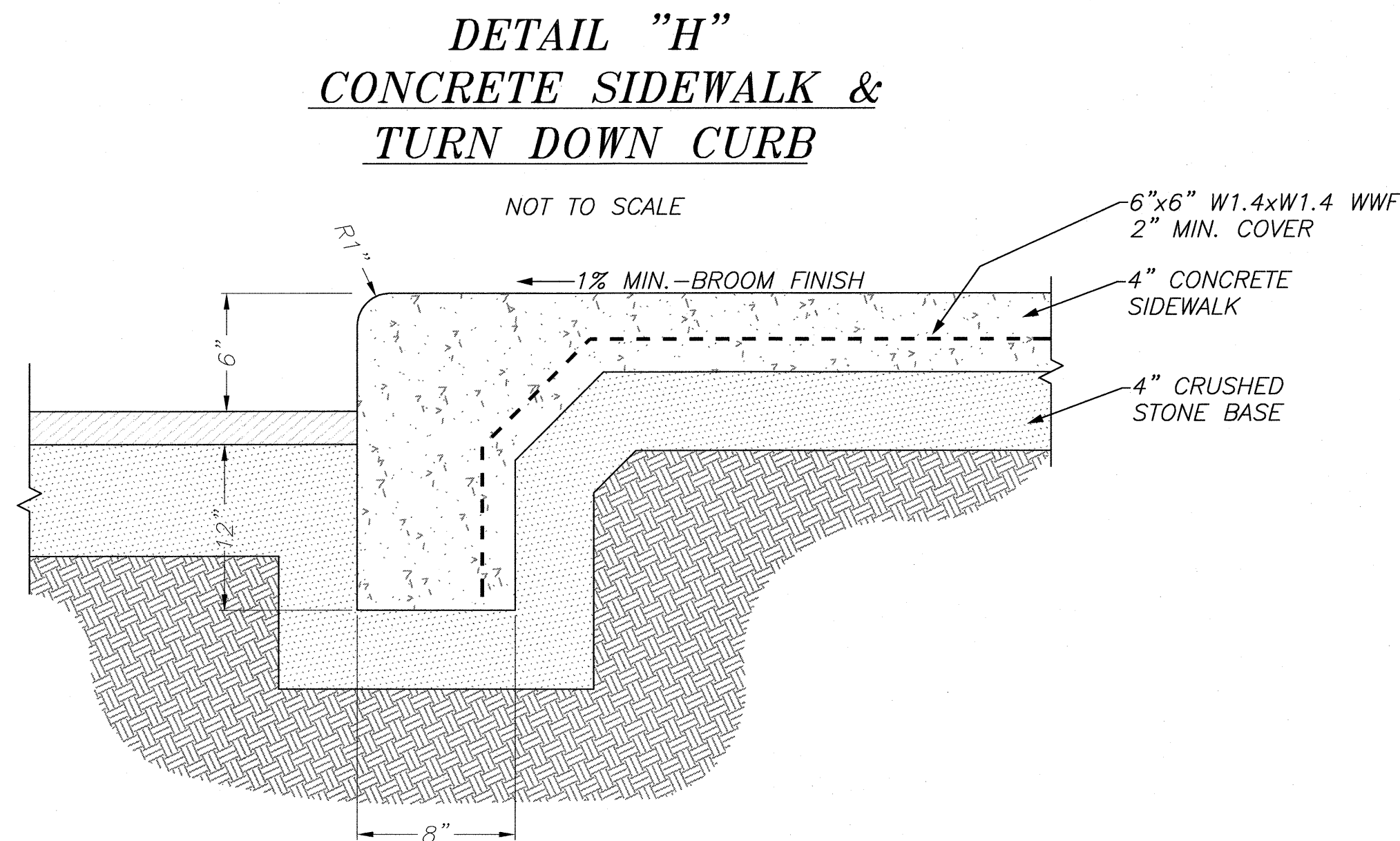
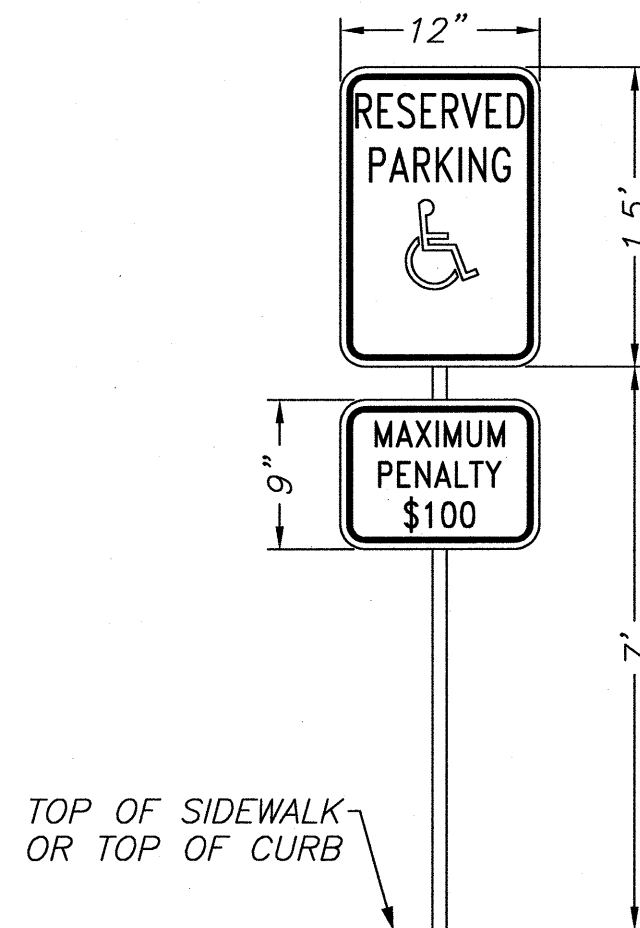
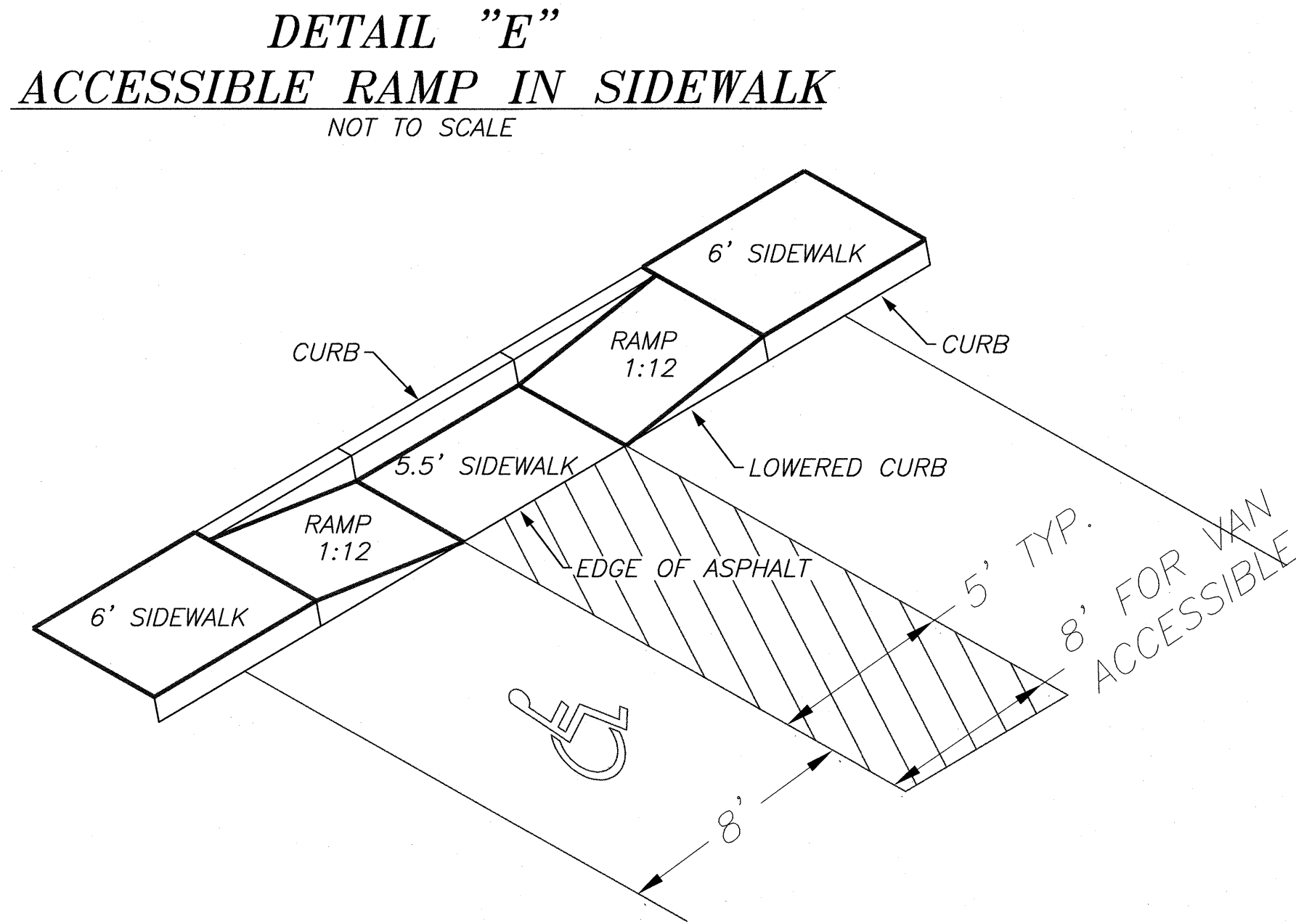
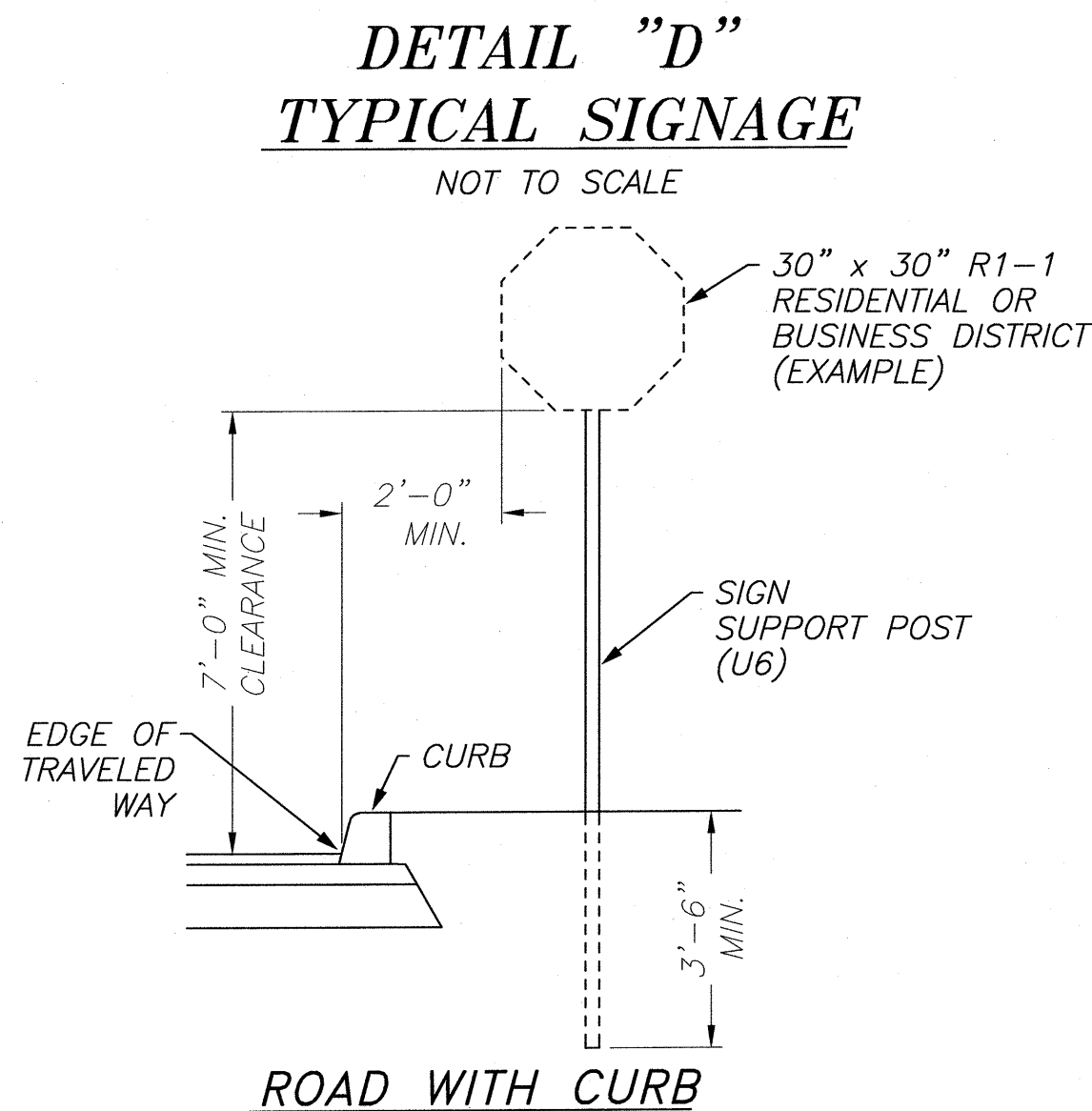
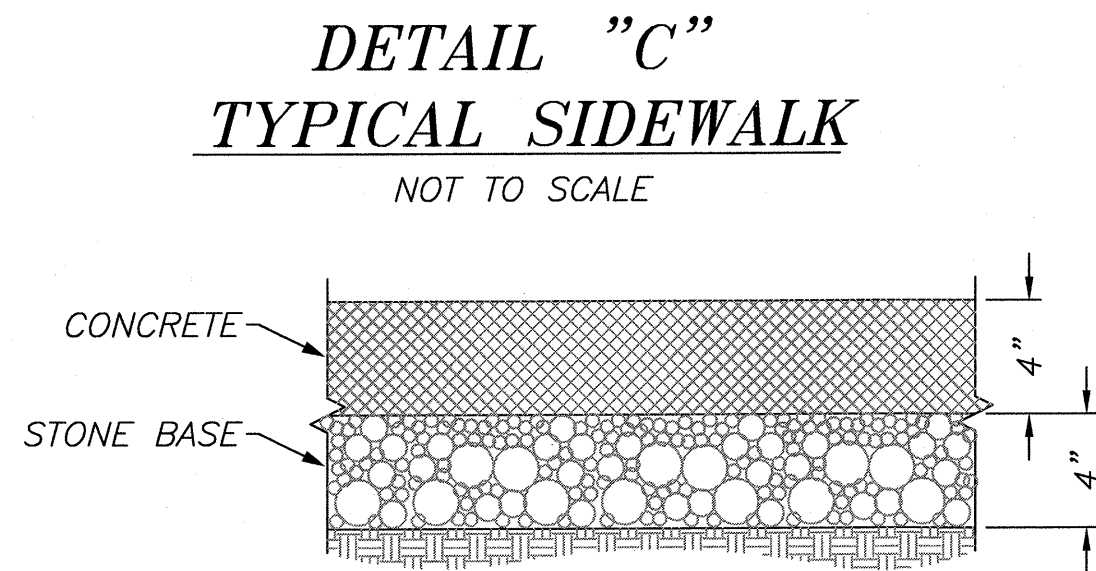
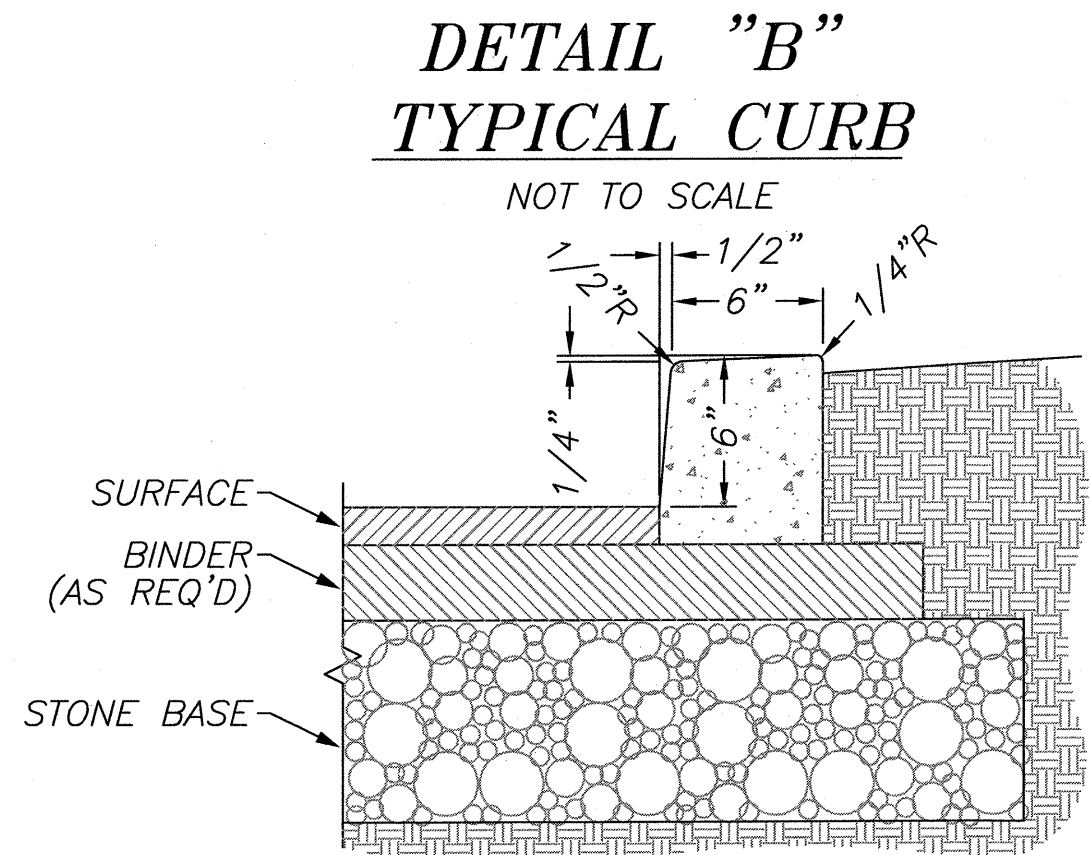
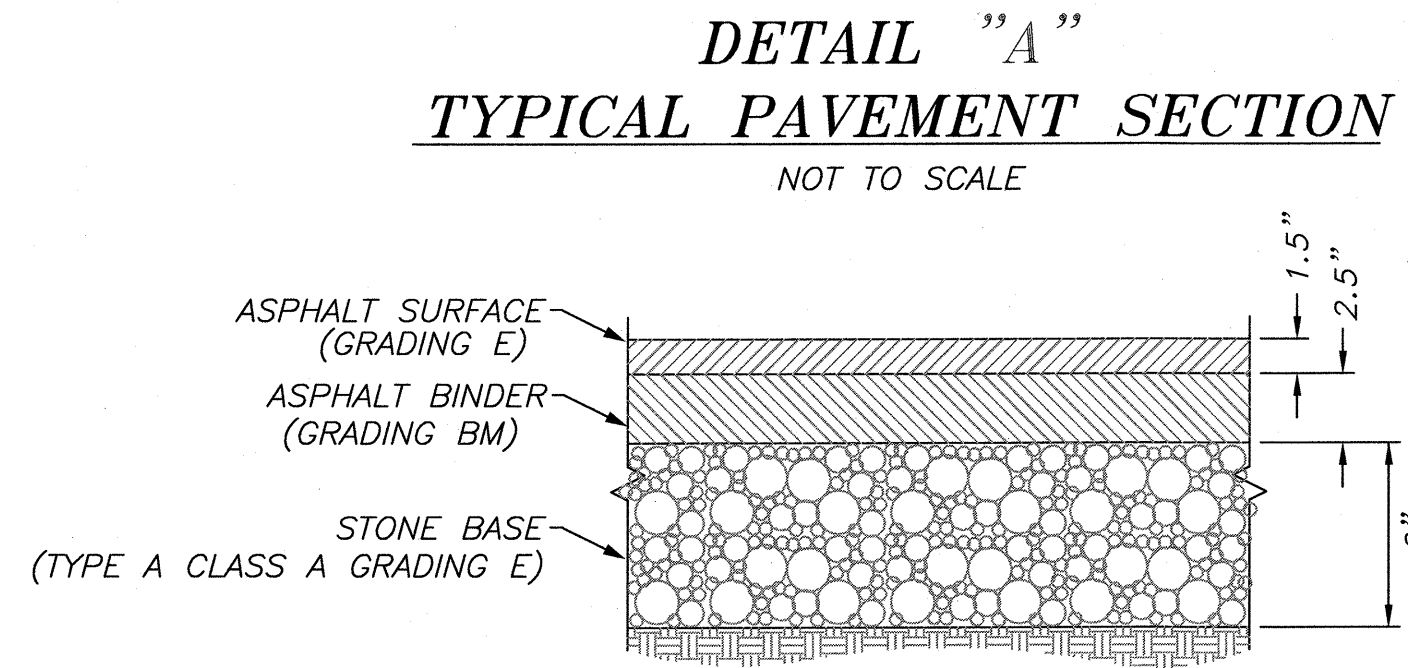
SITE LAYOUT
VINTAGE
KNOXVILLE WEST
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KNOX COUNTY, TN
PLANNING FILE NO. 1-E-22-SU

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SHEET CP.2.1	
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SCALE:	1" = 40'
DRAWING:	7356A-CP2
PROJECT NO:	SEI#7356-A

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NOTE
All pavement markings, including pavement arrows, shall be in accordance with Manual on Uniform Traffic Control Devices.

GENERAL SITE NOTES:

- Electric service requirements to be determined by architect and coordinated with Lenoir City Utilities Board.
- The contractor shall install erosion control measures such as silt fencing and straw bale barriers as needed to prevent siltation of adjoining properties and existing drainage ways. Such devices shall be maintained until construction is complete and permanent vegetation is established.
- The contractor shall notify the Engineer immediately if discrepancies or omissions are found or if clarifications are required on the plans.
- Any existing utility structures shall be brought into conformance with finish grade.
- Contractor shall have an approved stamped and signed copy of the site plans on site to work from.
- Actual location of all underground utilities should be verified through Tennessee 1 call (1-800-351-1111) or the utility provider prior to any excavation or construction.
- Handicap parking spaces, ramps, striping, signage and any other accessibility feature shall be constructed in accordance with the 2006 edition of the International Building Code and ANSI-A117.1 2003 edition.
- Pre-construction ground cover shall not be disturbed more than 20 calendar days prior to grading or earth moving unless area is seeded and/or mulched or other temporary cover is installed.
- Contractor shall immediately clean up any sediment deposited on streets.



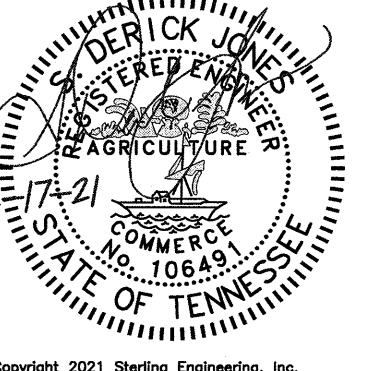
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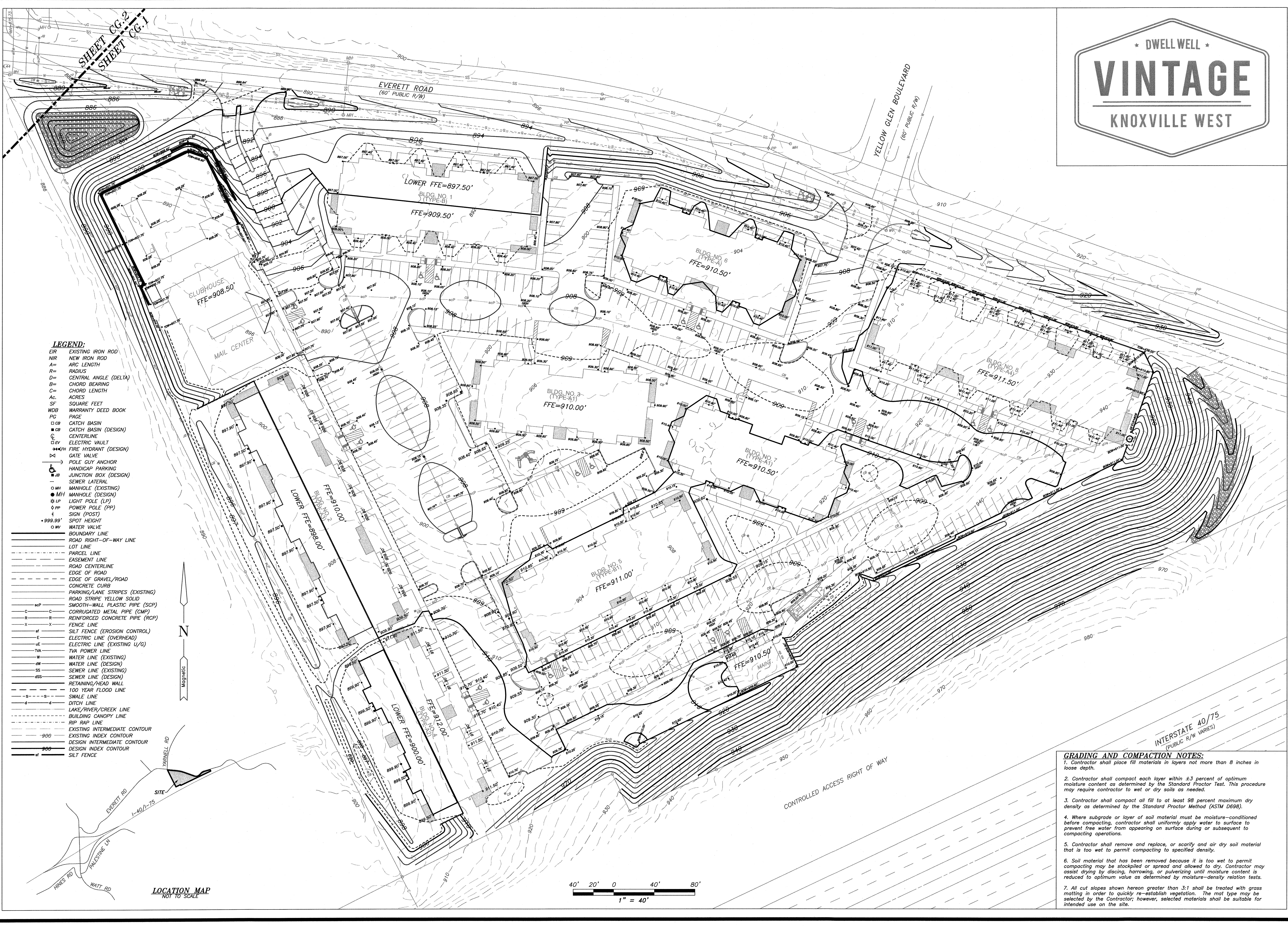
SITE DETAILS

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KNOX COUNTY, TN

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PROJECT NO: **SEI#7356-A**



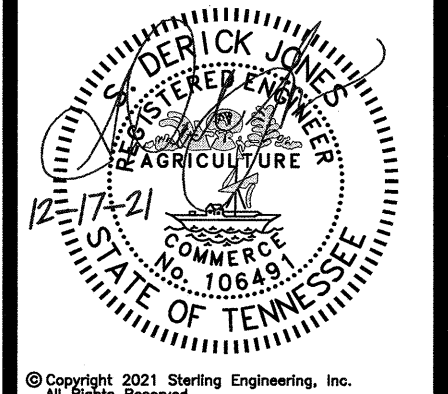
- LEGEND:**
- EIR EXISTING IRON ROD
 - NIR NEW IRON ROD
 - A= ARC LENGTH
 - R= RADIUS
 - D= CENTRAL ANGLE (DELTA)
 - B= CHORD BEARING
 - C= CHORD LENGTH
 - Ac. ACRES
 - SF SQUARE FEET
 - WDB WARRANTY DEED BOOK
 - PO PAGE
 - CB CATCH BASIN
 - CB CATCH BASIN (DESIGN)
 - CL CENTERLINE
 - EV ELECTRIC VAULT
 - PH FIRE HYDRANT (DESIGN)
 - GV GATE VALVE
 - PG PILE GUY ANCHOR
 - HP HANDICAP PARKING
 - JB JUNCTION BOX (DESIGN)
 - SL SEWER LATERAL
 - MH MANHOLE (EXISTING)
 - MH MANHOLE (DESIGN)
 - LP LIGHT POLE (LP)
 - PP POWER POLE (PP)
 - 4 SIGN (POST)
 - SPOT HEIGHT
 - 999.99' SPOT HEIGHT
 - WV WATER VALVE
 - BOUNDARY LINE
 - ROAD RIGHT-OF-WAY LINE
 - LOT LINE
 - PARCEL LINE
 - EASEMENT LINE
 - ROAD CENTERLINE
 - EDGE OF ROAD
 - EDGE OF GRAVEL/ROAD
 - CONCRETE CURB
 - PARKING/LANE STRIPES (EXISTING)
 - ROAD STRIPE YELLOW SOLID
 - SMOOTH-WALL PLASTIC PIPE (SCP)
 - CORRUGATED METAL PIPE (CMP)
 - REINFORCED CONCRETE PIPE (RCP)
 - FENCE LINE
 - SILT FENCE (EROSION CONTROL)
 - E ELECTRIC LINE (OVERHEAD)
 - UE ELECTRIC LINE (EXISTING U/G)
 - TVA TVA POWER LINE
 - W WATER LINE (EXISTING)
 - HW WATER LINE (DESIGN)
 - SS SEWER LINE (EXISTING)
 - SSS SEWER LINE (DESIGN)
 - RETAINING/HEAD WALL
 - 100 YEAR FLOOD LINE
 - SWALE LINE
 - DITCH LINE
 - LAKE/RIVER/CREEK LINE
 - BUILDING CANOPY LINE
 - RIP RAP LINE
 - EXISTING INTERMEDIATE CONTOUR
 - EXISTING INDEX CONTOUR
 - DESIGN INTERMEDIATE CONTOUR
 - DESIGN INDEX CONTOUR
 - SILT FENCE



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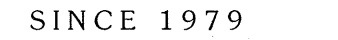
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GRADING PLAN
VINTAGE
KNOXVILLE WEST
TDK CONSTRUCTION COMPANY
KNOX COUNTY, TN

DATE	BY	REVISIONS
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CHECKED:
DATE: 10/21/21
SCALE: 1" = 40'
DRAWING: 7356A-CG
PROJECT NO: SEI#7356-A

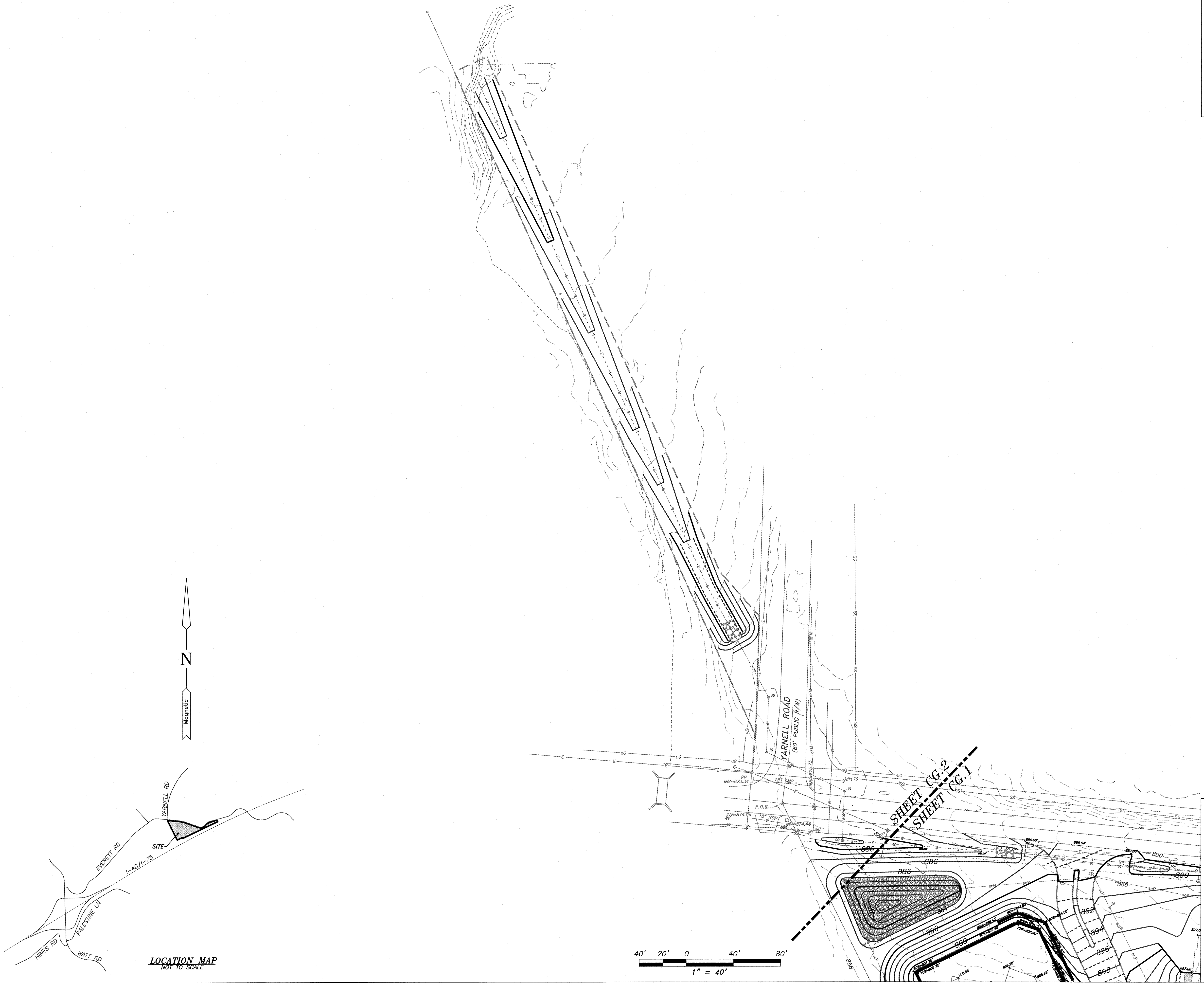
- GRADING AND COMPACTION NOTES:**
- Contractor shall place fill materials in layers not more than 8 inches in loose depth.
 - Contractor shall compact each layer within ± 3 percent of optimum moisture content as determined by the Standard Proctor Test. This procedure may require contractor to wet or dry soils as needed.
 - Contractor shall compact all fill to at least 98 percent maximum dry density as determined by the Standard Proctor Method (ASTM D698).
 - Where subgrade or layer of soil material must be moisture-conditioned before compacting, contractor shall uniformly apply water to surface to prevent free water from appearing on surface during or subsequent to compacting operations.
 - Contractor shall remove and replace, or scarify and air dry soil material that is too wet to permit compacting to specified density.
 - Soil material that has been removed because it is too wet to permit compacting may be stockpiled or spread and allowed to dry. Contractor may assist drying by discing, harrowing, or pulverizing until moisture content is reduced to optimum value as determined by moisture-density relation tests.
 - All cut slopes shown hereon greater than 3:1 shall be treated with grass matting in order to quickly re-establish vegetation. The mat type may be selected by the Contractor; however, selected materials shall be suitable for intended use on the site.



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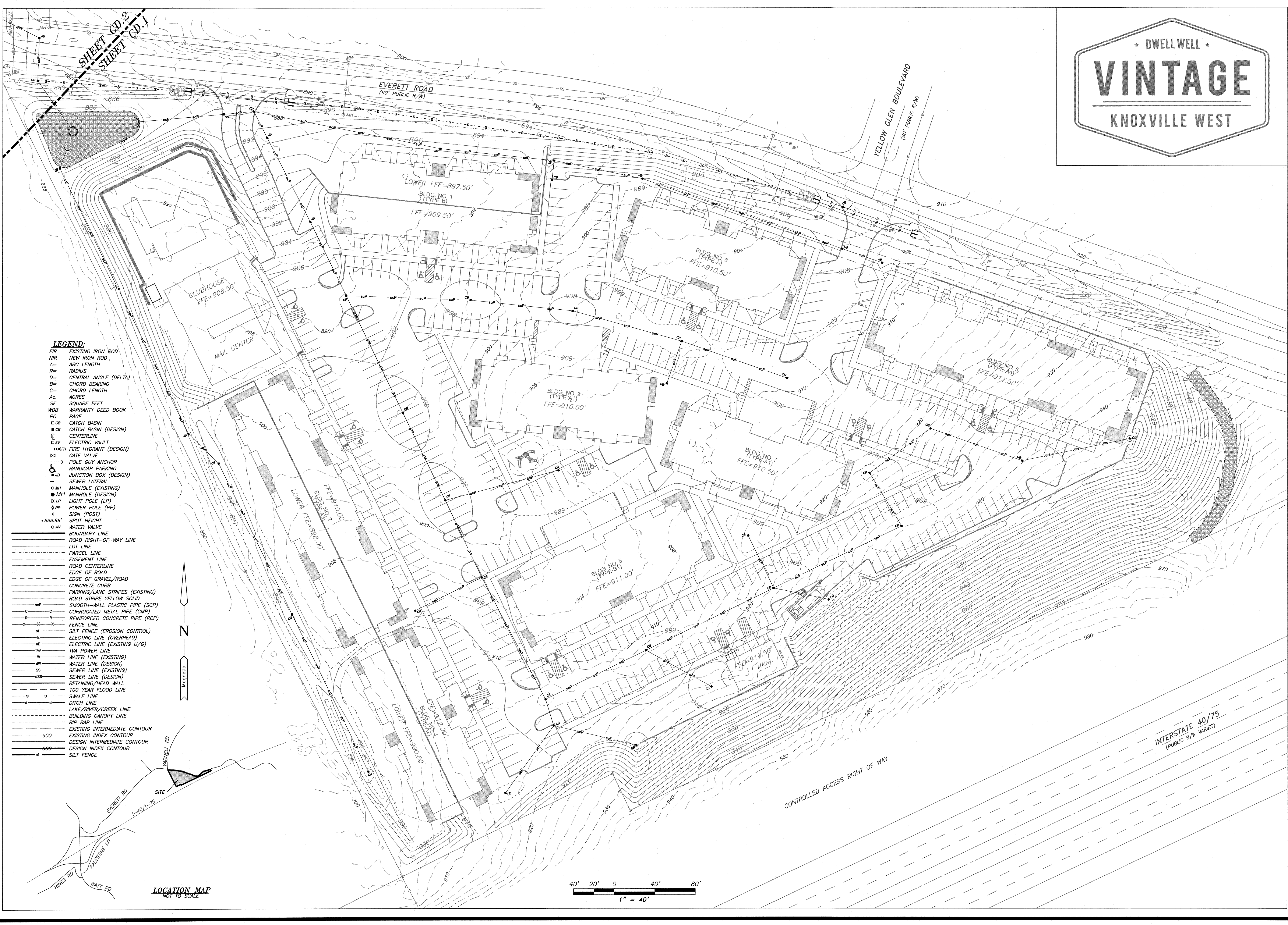
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CKED:	
E:	10/21/21
E:	1" = 40'
IVING:	7356A-CG
ECT NO:	SEI#7356-A



GRADING AND COMPACTION NOTES:

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7. All cut slopes shown hereon greater than 3:1 shall be treated with grass seed and mulch to quickly re-establish vegetation. The mat type may be selected by the Contractor; however, selected materials shall be suitable for intended use on the site.





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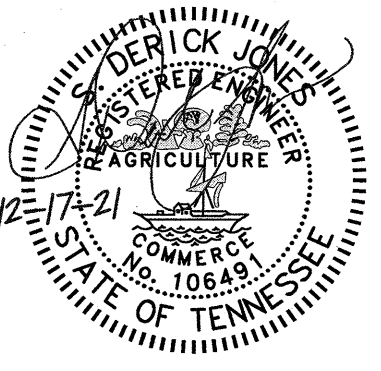
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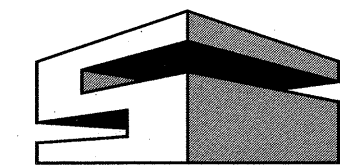
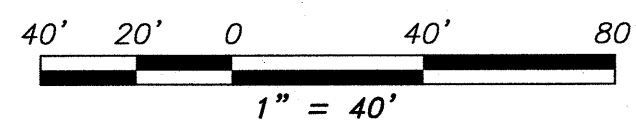
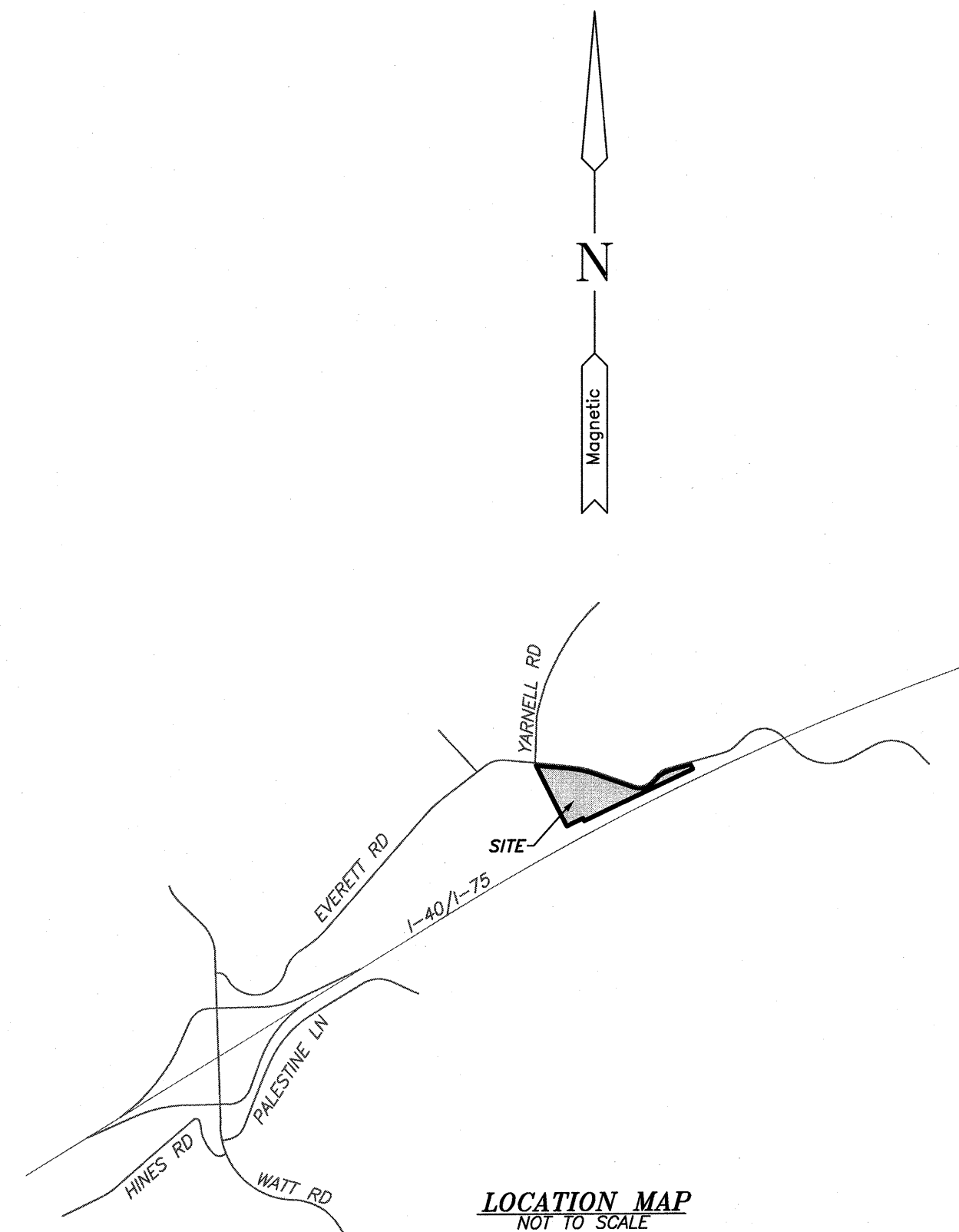
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SCALE:	1" = 40'
DRAWING:	7356A-CD
PROJECT NO:	SEI#7356-A

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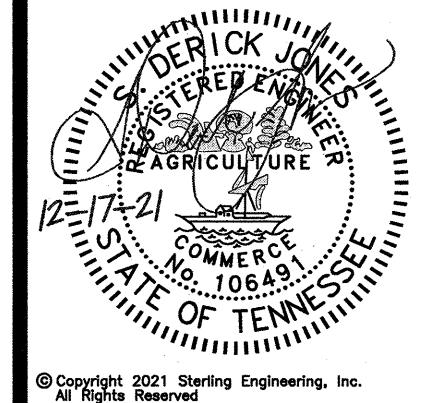
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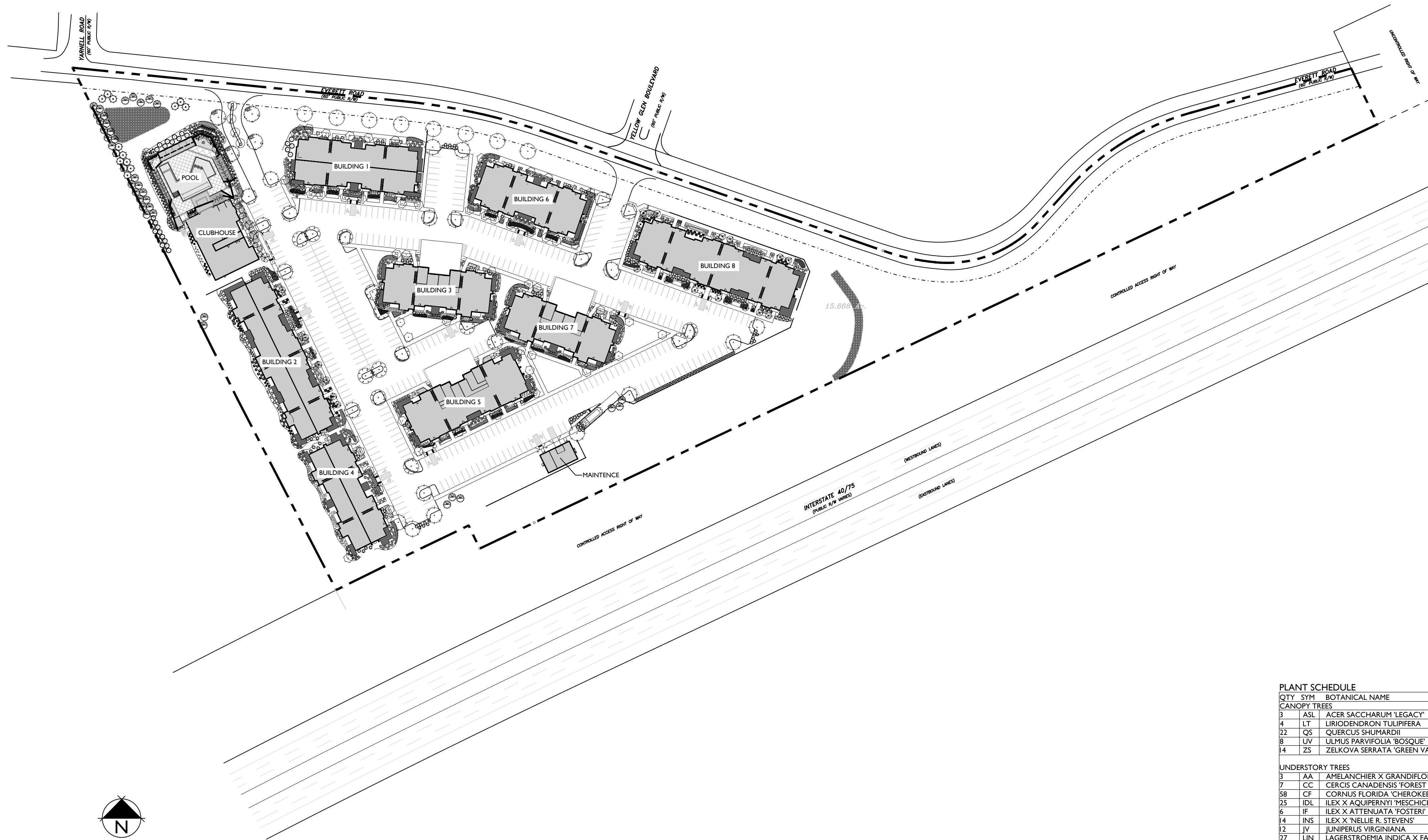
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VINTAGE
KNOXVILLE WEST
TDK CONSTRUCTION COMPANY

KNOX COUNTY, TN

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12/17/21	sldjones	Revised per Use on Review comments



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SCALE:	1" = 40'
DRAWING:	7356A-CD
PROJECT NO:	SEI#7356-A



PLANT SCHEDULE

QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	LEAF	SPACING	NOTES
CANOPY TREES								
3	ASL	ACER SACCHARUM 'LEGACY'	LEGACY SUGAR MAPLE	3" CAL. B/B	14'-16'	DECIDUOUS	AS SHOWN	CENTRAL LEADER
4	LT	LIRIODENDRON TULIPIFERA	TULIP POPLAR	3" CAL. B/B	14'-16'	DECIDUOUS	AS SHOWN	CENTRAL LEADER
22	QS	QUERCUS SHUMARDII	SHUMARD OAK	3" CAL. B/B	14'-16'	DECIDUOUS	AS SHOWN	CENTRAL LEADER
8	UV	ULMUS PARVIFOLIA 'BOSQUE'	BOSQUE ELM	3" CAL. B/B	14'-16'	DECIDUOUS	AS SHOWN	CENTRAL LEADER
14	ZS	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE JAPANESE ZELKOVA	3" CAL. B/B	14'-16'	DECIDUOUS	AS SHOWN	CENTRAL LEADER
UNDERSTORY TREES								
3	AA	AMELANCHIER X GRANDIFLORA	SERVICEBERRY	2" CAL. B/B	6'-8'	DECIDUOUS	AS SHOWN	BALANCED CANOPY
7	CC	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	2" CAL. B/B	8'-10'	DECIDUOUS	AS SHOWN	CENTRAL LEADER
38	CF	CORNUS FLORIDA 'CHEROKEE PRINCESS'	'CHEROKEE PRINCESS' DOGWOOD	2" CAL. B/B	10'-12'	DECIDUOUS	AS SHOWN	CENTRAL LEADER
25	IDL	ILEX X AQUIPERNY 'MESCHICK'	DRAGON LADY HOLLY	2" CAL. B/B	6'-8'	EVERGREEN	AS SHOWN	
6	IF	ILEX X ATTENUATA 'FOSTERI'	FOSTER HOLLY	2" CAL. B/B	8'-10'	DECIDUOUS	AS SHOWN	FULL
14	INS	ILEX X 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY	2" CAL. B/B	6'-8'	EVERGREEN	AS SHOWN	BALANCED
12	JV	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	2" CAL. B/B	8'-10'	EVERGREEN	AS SHOWN	BALANCED
27	LIN	LAGERSTROMIA INDICA X FAURIEI	NATCHEZ CRAPE MYRTLE	2" CAL. B/B	10'-12'	DECIDUOUS	AS SHOWN	
8	MV	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	2" CAL. B/B	6'-8'	DECIDUOUS	AS SHOWN	BALANCED CANOPY
SHRUBS								
70	AE	RHODODENDRON 'CONLEB'	EMBERS ENCORE AZALEA		18" X 24"	EVERGREEN	36" O.C.	
39	BBG	BUXUS MICROPHYLLA VAR. JAPONICA 'GREGGY'	BABY GEM BOXWOOD		18"	EVERGREEN	20" O.C.	
179	BCP	BERBERIS THUNBERGII 'ATROPURPUREA NANA'	CRIMSON PYGMY BARBERRY		12"	DECIDUOUS	24" O.C.	
48	BDR	BUXUS X 'DIE RUNK'	DIE RUNK BOXWOOD		36"	EVERGREEN	AS SHOWN	
65	BGM	BUXUS X 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD		30" X 24"	EVERGREEN	36" O.C.	
209	CKF	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER GRASS		3 GALLON	DECIDUOUS	24" O.C.	
43	CVC	COTINUS COGGYGRIA 'VELVET CLOAK'	VELVET CLOAK SMOKEBUSH		40"	DECIDUOUS	40" O.C.	
177	DEH	DISTYLUM 'EMERALD HEIGHTS'	EMERALD HEIGHTS DISTYLUM		36"	EVERGREEN	36" O.C.	
28	HLH	HYDRANGEA 'LITTLE HONEY'	LITTLE HONEY HYDRANGEA		36"	DECIDUOUS	36" O.C.	
62	HLL	HYDRANGEA PANICULATA 'LITTLE LIME'	LITTLE LIME HYDRANGEA		36"	DECIDUOUS	42" O.C.	
36	HPL	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA		36"	DECIDUOUS	42" O.C.	
39	HQA	HYDRANGEA QUERCIFOLIA 'ALICE'	ALICE OAKLEAF HYDRANGEA		24"	DECIDUOUS	42" O.C.	
16	IC	ILEX CHINENSIS	CHINESE HOLLY		36"	EVERGREEN	36" O.C.	
56	IDB	ILEX CORNUTA 'DWARF BURFORD'	DWARF BURFORD HOLLY		36"	EVERGREEN	4" O.C.	
143	IG	ILEX GLABRA	INKBERRY		36"	EVERGREEN	42" O.C.	
50	JC	JUNIPERUS CHINENSIS 'SPEARMINT'	SPEARMINT JUNIPER		40"	EVERGREEN	36" O.C.	
38	JH	JUNIPERUS HORIZONTALIS 'YOUNGSTOWN'	ANDORRA CREEPING JUNIPER		12" X 24"	EVERGREEN	36" O.C.	
34	MC	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS		3 GALLON	DECIDUOUS	SEE PLAN	
37	MSA	MISCANTHUS SINENSIS 'ADAGIO'	ADAGIO MAIDENHAIR GRASS		24"	AS SHOWN		
6	PLS	PRUNUS LAUROCERASUS 'SCHIPKAENSIS'	SCHIP LAUREL		36"	EVERGREEN	3" O.C.	
48	PO	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL		36"	EVERGREEN	4" O.C.	
37	RDC	ROSA 'MEDIOORA'	CORAL DRIFT ROSE		12" X 18"	DECIDUOUS	AS SHOWN	
27	TG	THUJA OCCIDENTALIS 'EMERALD GREEN'	EMERALD GREEN ARBORVITAE		5'-6"	EVERGREEN	36" O.C.	
37	TM	TAXUS X MEDIA 'DENSIFORMIS'	DENSE YEW		24" X 24"	EVERGREEN	36" O.C.	
31	VP	VIBURNUM X PRAGENSE	PRAGUE VIBURNUM		36"	EVERGREEN	4" O.C.	
10	WM	WIEGELA FLORIDA 'ELVERA'	MIDNIGHT WINE WIEGELA		12"	DECIDUOUS	18" O.C.	
PERENNIALS / GROUNDCOVERS								
445	ANJN	ANNUALS VARIETY			PLUG		9" O.C.	ROTATE SEASONALLY
760	ARC	ALISA REPTANS 'CHOCOLATE CHIP'	CHOCOLATE CHIP AJUGA		1 GAL		18" O.C.	
20	DF	DIANTHUS 'FEUERHEX'	FIREWITCH DIANTHUS		1 GAL		18" O.C.	
315	HG	HOSTA 'GUACAMOLE'	GUACAMOLE HOSTA		1 GAL		18" O.C.	
435	HHR	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY		4" POT		12" O.C.	
200	HRH	HELLEBORUS X 'HYBRIDUS ROYAL HERITAGE'	ROYAL HERITAGE LENTEN ROSE		1 GALLON		18" O.C.	
210	PS	PHLOX SUBULATA 'WHITE DELIGHT'	WHITE DELIGHT CREEPING PHLOX		1 GAL		18" O.C.	
610	RFG	RUDBECKIA FULGIDA VAR. SULLIVANTII	LITTLE GOLDSTAR BLACK EYED SUSAN		1 GAL		18" O.C.	
800	VHP	VERBENA HYBRIDA 'HOMESTEAD PURPLE'	HOMESTEAD PURPLE VERBENA		1 GAL		18" O.C.	

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NOTE: FINAL INSTALLED LANDSCAPE MAY DIFFER THAN LANDSCAPING SHOWN ON PLAN



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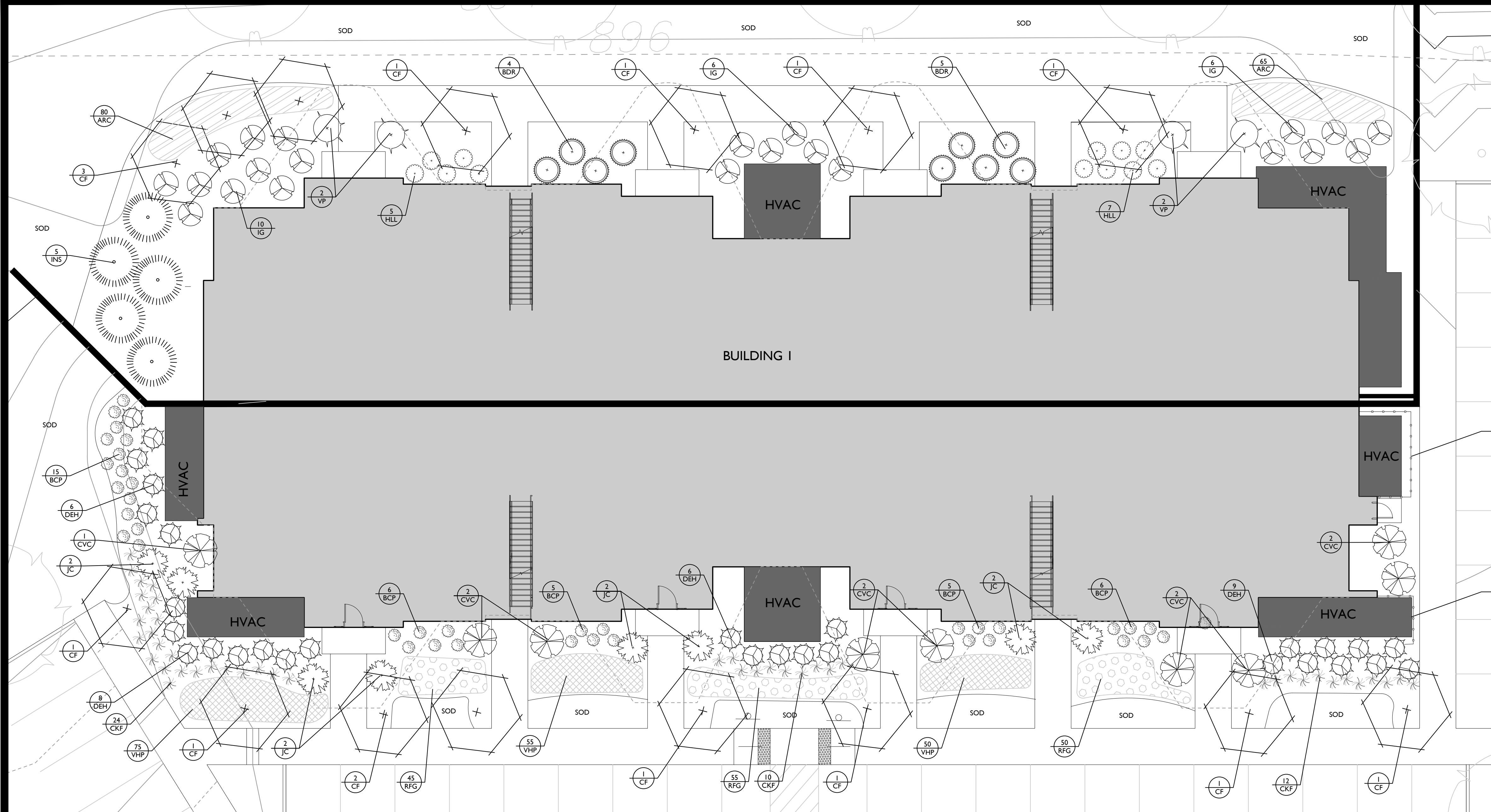
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PLANT SCHEDULE								
QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	LEAF	SPACING	NOTES
CANOPY TREES								
4	LT	LIRIODENDRON TULIPIFERA	TULIP POPLAR	3" CAL. B/B	14'-16'	DECIDUOUS	AS SHOWN	CENTRAL LEADER
22	QS	QUERCUS SHUMARDII	SHUMARD OAK	3" CAL. B/B	14'-16'	DECIDUOUS	AS SHOWN	CENTRAL LEADER
8	UV	ULMUS PARVIFOLIA 'BOSQUE'	BOSQUE ELM	3" CAL. B/B	14'-16'	DECIDUOUS	AS SHOWN	CENTRAL LEADER
14	ZS	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE JAPANESE ZELKOVA	3" CAL. B/B	14'-16'	DECIDUOUS	AS SHOWN	CENTRAL LEADER
UNDERSTORY TREES								
4	CC	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	2" CAL. B/B	8'-10'	DECIDUOUS	AS SHOWN	CENTRAL LEADER
1	CF	CORNUS FLORIDA 'CHEROKEE PRINCESS'	'CHEROKEE PRINCESS' DOGWOOD	2" CAL. B/B	10'-12'	DECIDUOUS	AS SHOWN	CENTRAL LEADER
14	IF	ILEX X ATTENUATA 'FOSTER'	FOSTER HOLLY	2" CAL. B/B	8'-10'	DECIDUOUS	AS SHOWN	FULL
15	INS	ILEX X 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY	2" CAL. B/B	6'-8'	EVERGREEN	AS SHOWN	BALANCED
33	IV	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	2" CAL. B/B	8'-10'	EVERGREEN	AS SHOWN	BALANCED
SHRUBS								
50	BWG	BUXUS SINICA VAR. 'INSULARIS' 'WINTERGREEN'	WINTERGREEN BOXWOOD	30" X 24"		EVERGREEN	36" O.C.	
33	TG	THUJA OCCIDENTALIS 'EMERALD GREEN'	EMERALD GREEN ARBORVITAE	5' X 4'		EVERGREEN	36" O.C.	
27	TM	TAXUS X MEDIA 'DENSIFORMIS'	DENSE YEW	24" X 24"		EVERGREEN	36" O.C.	

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WOODEN SCREEN

WOODEN SCREEN

PLANT SCHEDULE

QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	LEAF	SPACING	NOTES
UNDERSTORY TREES								
15	CF	CORNUS FLORIDA 'CHEROKEE PRINCESS'	'CHEROKEE PRINCESS' DOGWOOD	2" CAL. B/B	10'-12'	DECIDUOUS	AS SHOWN	CENTRAL LEADER
5	INS	ILEX X 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY	2" CAL. B/B	6'-8'	EVERGREEN	AS SHOWN	BALANCED
SHRUBS								
37	BCP	BERBERIS THUNBERGII 'ATROPURPUREA NANA'	CRIMSON PYGMY BARBERRY		12"	DECIDUOUS	24" O.C.	
9	BOK	BUXUS X 'DEE RUNK'	DEE RUNK BOXWOOD		36"	EVERGREEN	AS SHOWN	
46	CKF	CALAMAGOSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER GRASS	3 GALLON		DECIDUOUS	24" O.C.	
9	CVC	COTINUS COGGYGRIA 'VELVET CLOAK'	VELVET CLOAK SMOKEBUSH		40"	DECIDUOUS	40" O.C.	
29	DEH	DISTYLUM 'EMERALD HEIGHTS'	EMERALD HEIGHTS DISTYLUM		36"	EVERGREEN	36" O.C.	
5	HLL	HYDRANGEA PANICULATA 'LITTLE LIME'	LITTLE LIME HYDRANGEA		36"	DECIDUOUS	42" O.C.	
22	IG	ILEX GLABRA	INKBERRY		36"	EVERGREEN	42" O.C.	
8	JC	JUNIPERUS CHINENSIS 'SPEARMINT'	SPEARMINT JUNIPER		40"	EVERGREEN	36" O.C.	
2	VP	VIBURNUM X PRAGENSE	PRAGUE VIBURNUM		36"	EVERGREEN	4' O.C.	
PERRENIALS / GROUNDCOVERS								
145	ARC	AJUGA REPTANS 'CHOCOLATE CHIP'	CHOCOLATE CHIP AJUGA	1 GAL			18" O.C.	
150	RFG	RUDBECKIA FULGIDA VAR. SULLIVANTII	LITTLE GOLDSTAR BLACK EYED SUSAN	1 GAL			18" O.C.	
180	VHP	VERBENA HYBRIDA 'HONEYDEW PURPLE'	HONEYDEW PURPLE VERBENA	1 GAL			18" O.C.	

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GAMBLE
DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE

VINTAGE KNOXVILLE WEST
CONSTRUCTION DOCUMENTS

Knoxville, Tennessee

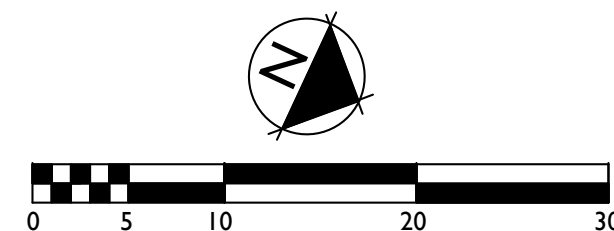


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BUILDING I
LANDSCAPE
SHEET

LS2.10



PLANT SCHEDULE								
QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	LEAF	SPACING	NOTES
UNDERSTORY TREES								
9	IDL	ILEX X AQUERNYI 'MESCHICK'	DRAGON LADY HOLLY	2" CAL. B/B	6'-8"	EVERGREEN	AS SHOWN	
10	LIN	LAGERSTROEMIA INDICA X FAURIEI	NATCHEZ CRAPE MYRTLE	2" CAL. B/B	10'-12"	DECIDUOUS	AS SHOWN	
SHRUBS								
24	AE	RHODODENDRON 'CONLEB'	EMBERS ENCORE AZALEA	18" X 24"		EVERGREEN	36" O.C.	
8	DEH	DISTILUM 'EMERALD HEIGHTS'	EMERALD HEIGHTS DISTILUM	36"		EVERGREEN	36" O.C.	
15	HR	HYDRANGEA 'PANDICULATA 'LIMELIGHT''	LIMELIGHT HYDRANGEA	36"		DECIDUOUS	42" O.C.	
19	HQA	HYDRANGEA QUERCIFOLIA 'ALICE'	ALICE OAKLEAF HYDRANGEA	24"		DECIDUOUS	42" O.C.	
20	IDB	ILEX CORNUTA 'DWARF BURFORD'	DWARF BURFORD HOLLY	36"		EVERGREEN	4" O.C.	
5	IG	ILEX GLABRA	INKBERRY	36"		EVERGREEN	42" O.C.	
4	IC	LUPERLUS CHINENSIS 'SPEARMINT'	SPEARMINT JUNPER	40"		EVERGREEN	18" O.C.	
1	MS	MISCANTHANUS SINENSIS 'ADAGIO'	ADAGIO MAINTENAI GRASS	24"			AS SHOWN	
33	PO	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	36"		EVERGREEN	4" O.C.	
21	RDC	ROSA 'MEDIORFORA'	CORAL DRIFT ROSE	12" X 18"		DECIDUOUS	AS SHOWN	
3	VP	VIBURNUM X PRAGENSE	PRAGUE VIBURNUM	36"		EVERGREEN	4" O.C.	
PERKENNALS / GROUNDCOVERS								
55	ARC	AJUGA REBULATA 'CHOCOLATE CHIP'	CHOCOLATE CHIP AJUGA	1 GAL			18" O.C.	
15	HB	HELENBORUS X HYBRIDUS 'ROYAL HERITAGE'	ROYAL HERITAGE HELENBORUS	1 GAL			18" O.C.	
140	PS	PHLOX SUBULATA 'WHITE DELIGHT'	WHITE DELIGHT CREEPING PHLOX	1 GAL			18" O.C.	

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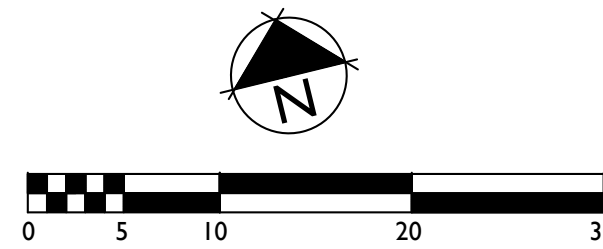
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VINTAGE KNOXVILLE WEST
CONSTRUCTION DOCUMENTS
Knoxville, Tennessee



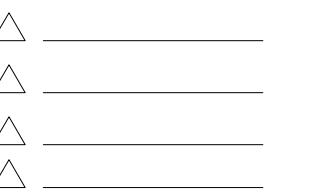
PLANT SCHEDULE								
QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	LEAF	SPACING	NOTES
UNDERSTORY TREES								
5	CF	CORNUS FLORIDA 'CHEROKEE PRINCESS'	'CHEROKEE PRINCESS' DOGWOOD	2" CAL.	B/B	10'-12"	DECIDUOUS	AS SHOWN CENTRAL LEADER
SHRUBS								
30	BCP	BERBERIS THUNBERGII 'ATROPURPUREA NANA'	CRIMSON PYGMY BARBERY			12"	DECIDUOUS	24" O.C.
4	CK	BRUXUS X 'DEE RUNK'	DEE RUNK BOXWOOD	36"		36"	EVERGREEN	AS SHOWN
4	CVC	CALAMAGOSTOS X ACUTIFOLIA KARL FORSTER	KARL FORSTER FEATHER GRASS		3	GALLON	DECIDUOUS	24" O.C.
4	CKF	COTINUS COGGYGRIA 'VELVET CLOAK'	VELVET CLOAK SMOKEBUSH		40"		DECIDUOUS	40" O.C.
31	DEH	DISTYLIUM 'EMERALD HEIGHTS'	EMERALD HEIGHTS DISTYLIUM				EVERGREEN	36" O.C.
16	GR	ORANGEA PANICULATA 'LITTLE LIME'	LITTLE LIME HYDRANGEA		36"		DECIDUOUS	42" O.C.
19	IG	ILEX GLABRA	INKBERRY				EVERGREEN	42" O.C.
5	JP	JUNIPERUS CHINENSIS 'SPEARMINT'	SPEARMINT JUNIPER			40"	EVERGREEN	36" O.C.
2	VP	VIBURNUM X PRAGENSE	PRAGUE VIBURNUM			36"	EVERGREEN	4' O.C.
PERENNIALS / GROUNDCOVERS								
65	ARC	AJUGA REPTANS 'CHOCOLATE CHIP'	CHOCOLATE CHIP AJUGA			1 GAL		18" O.C.
65	HG	HOSTA 'GUACAMOLE'	GUACAMOLE HOSTA			1 GAL		18" O.C.
135	BFG	PLUMBAGO FLUGATA VAR. SULLIVANTII	LITTLE GOLDSTAR BLACK EYE SUSAN			1 GAL		18" O.C.
135	VHP	VERBENA HYBRIDA 'HOMESTEAD PURPLE'	HOMESTEAD PURPLE VERBENA			1 GAL		18" O.C.

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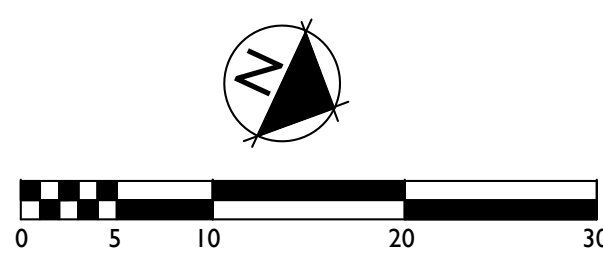
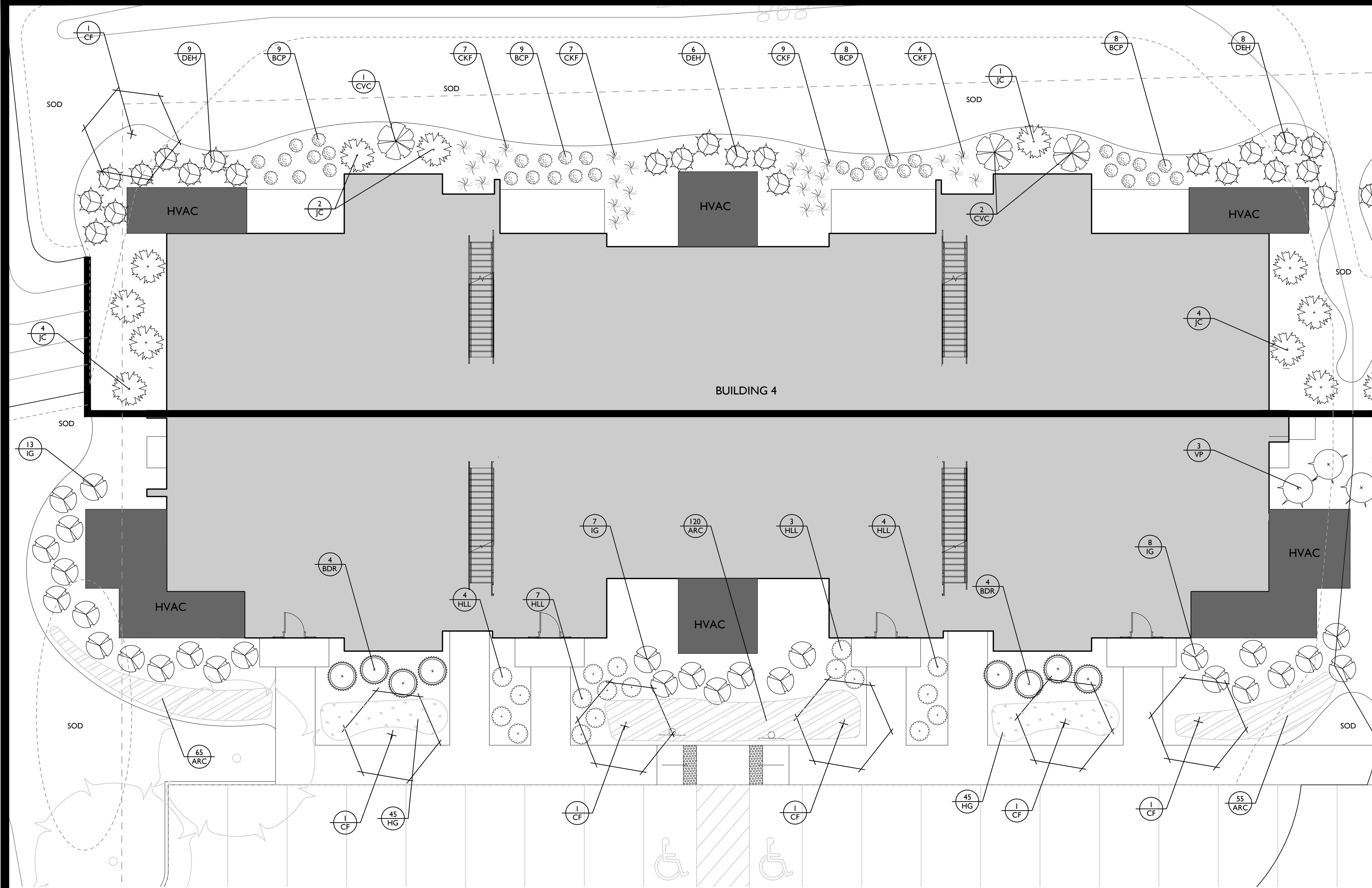
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BUILDING 3
LANDSCAPE
SHEET
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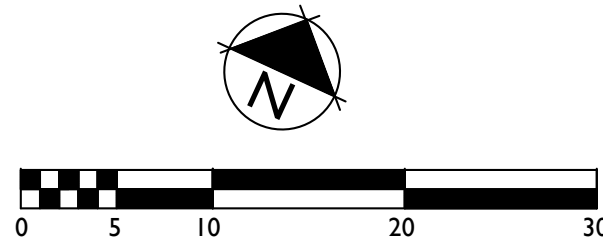
PLANT SCHEDULE								
QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	LEAF	SPACING	NOTES
UNDERSTORY TREES								
8	CF	CORNUS FLORIDA 'CHEROKEE PRINCESS'	'CHEROKEE PRINCESS' DOGWOOD	2" CAL. B/B	10'-12'	DECIDUOUS	AS SHOWN	CENTRAL LEADER
SHRUBS								
34	BCP	BERBERIS THUNBERGII 'ATROPURPUREA NANA'	CRIMSON PYGMY BARBERRY		12"	DECIDUOUS	24" O.C.	
8	BDR	BUXUS X 'DEE RUNK'	DEE RUNK BOXWOOD		36"	EVERGREEN	AS SHOWN	
20	CKF	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER GRASS	3 GALLON		DECIDUOUS	24" O.C.	
3	CVC	COTINUS COGGYGRIA 'VELVET CLOAK'	VELVET CLOAK SMOKEBUSH	40"		DECIDUOUS	40" O.C.	
23	DEH	DISTYLUM 'EMERALD HEIGHTS'	EMERALD HEIGHTS DISTYLUM		36"	EVERGREEN	36" O.C.	
18	HLL	HYDRANGEA PANICULATA 'LITTLE LIME'	LITTLE LIME HYDRANGEA		36"	DECIDUOUS	42" O.C.	
28	IG	ILEX GLABRA	INKBERRY		36"	EVERGREEN	42" O.C.	
11	JC	JUNIPERUS CHINENSIS 'SPEARMINT'	SPEARMINT JUNIPER		40"	EVERGREEN	36" O.C.	
3	VP	VIBURNUM X PRAGENSE	PRAGUE VIBURNUM		36"	EVERGREEN	4' O.C.	
PERENNIALS / GROUNDCOVERS								
240	ARC	AJUGA REPTANS 'CHOCOLATE CHIP'	CHOCOLATE CHIP AJUGA	1 GAL			18" O.C.	
90	HG	HOSTA 'GUACAMOLE'	GUACAMOLE HOSTA	1 GAL			18" O.C.	

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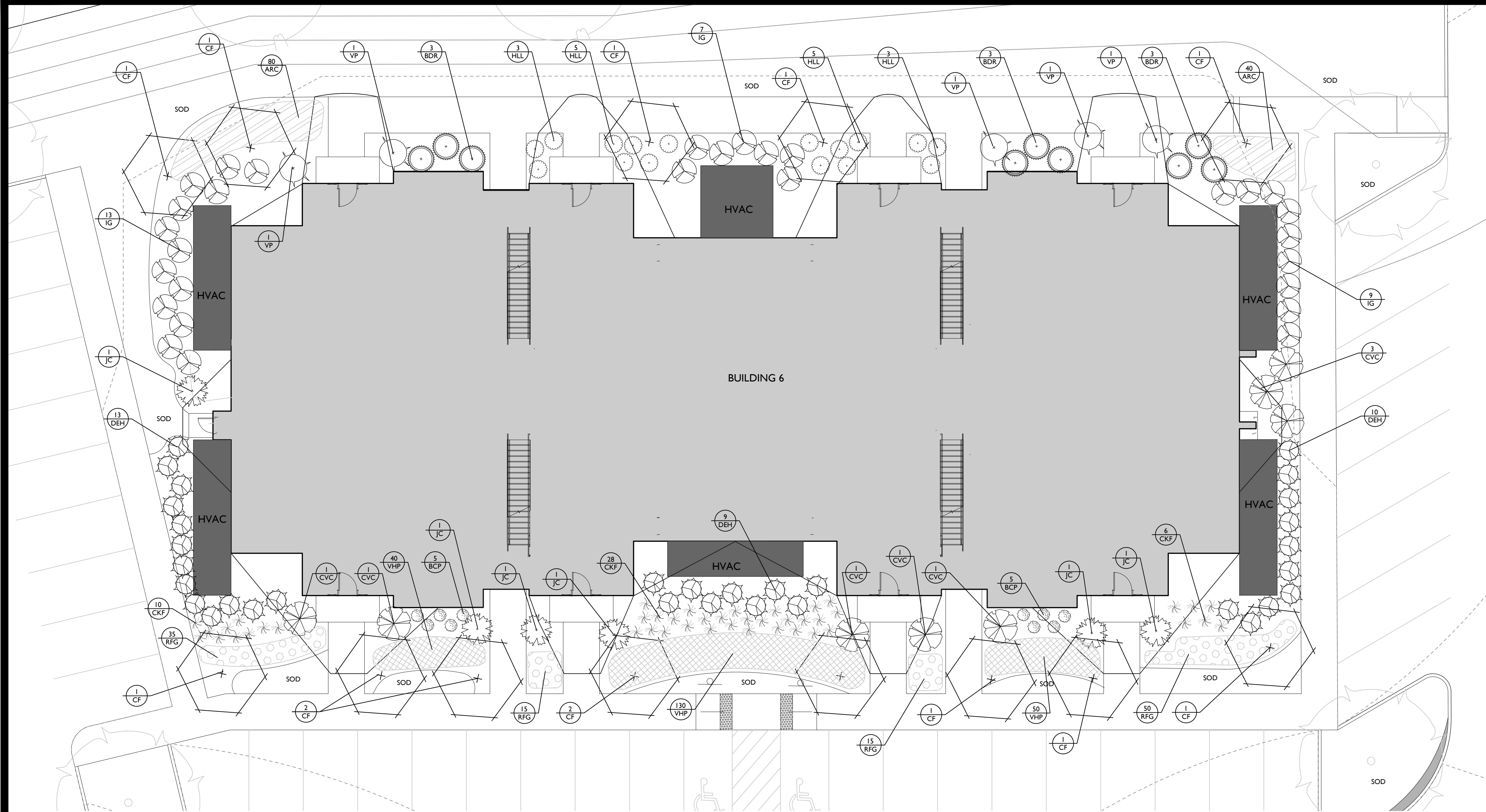
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QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	LEAF	SPACING	NOTES	
UNDERSTORY TREES									
8	CF	CORNUS FLORIDA 'CHEROKEE PRINCESS'	'CHEROKEE PRINCESS' DOGWOOD	2" CAL. B/B	10'-12'	DECIDUOUS	AS SHOWN	CENTRAL LEADER	
SHRUBS									
26	BCP	BERBERIS THUNBERGII 'ATROPURPUREA NANA'	CRIMSON PYGMY BARBERRY		12"	DECIDUOUS	24" O.C.		
18	CKF	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER GRASS		3 GALLON	DECIDUOUS	24" O.C.		
6	CVC	COTINUS COGGYGRIA 'VELVET CLOAK'	VELVET CLOAK SMOKEBUSH		40"	DECIDUOUS	40" O.C.		
25	DEH	DISTYLIS 'EMERALD HEIGHTS'	EMERALD HEIGHTS DISTYLIS		36"	EVERGREEN	36" O.C.		
4	HLL	HYDRANGEA PANICULATA 'LITTLE LIME'	LITTLE LIME HYDRANGEA		36"	DECIDUOUS	42" O.C.		
21	IG	ILEX GLABRA	INKBERRY		36"	EVERGREEN	42" O.C.		
9	JC	JUNIPERUS CHINENSIS 'SPEARMINT'	SPEARMINT JUNIPER		40"	EVERGREEN	36" O.C.		
6	VP	VIBURNUM X PRAGENSE	PRAGUE VIBURNUM		36"	EVERGREEN	4" O.C.		
PERENNIALS / GROUNDCOVERS									
85	HG	HOSTA 'GUACAMOLE'	GUACAMOLE HOSTA	1 GAL			18" O.C.		
115	RFG	RUDBECKIA FULGIDA VAR. SULLIVANTII	LITTLE GOLDSTAR BLACK EYED SUSAN	1 GAL			18" O.C.		
145	VHP	VERBENA HYBRIDA 'HOMESTEAD PURPLE'	HOMESTEAD PURPLE VERBENA	1 GAL			18" O.C.		

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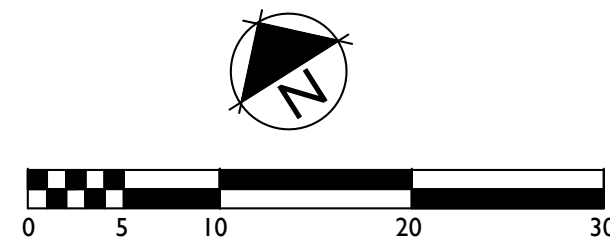
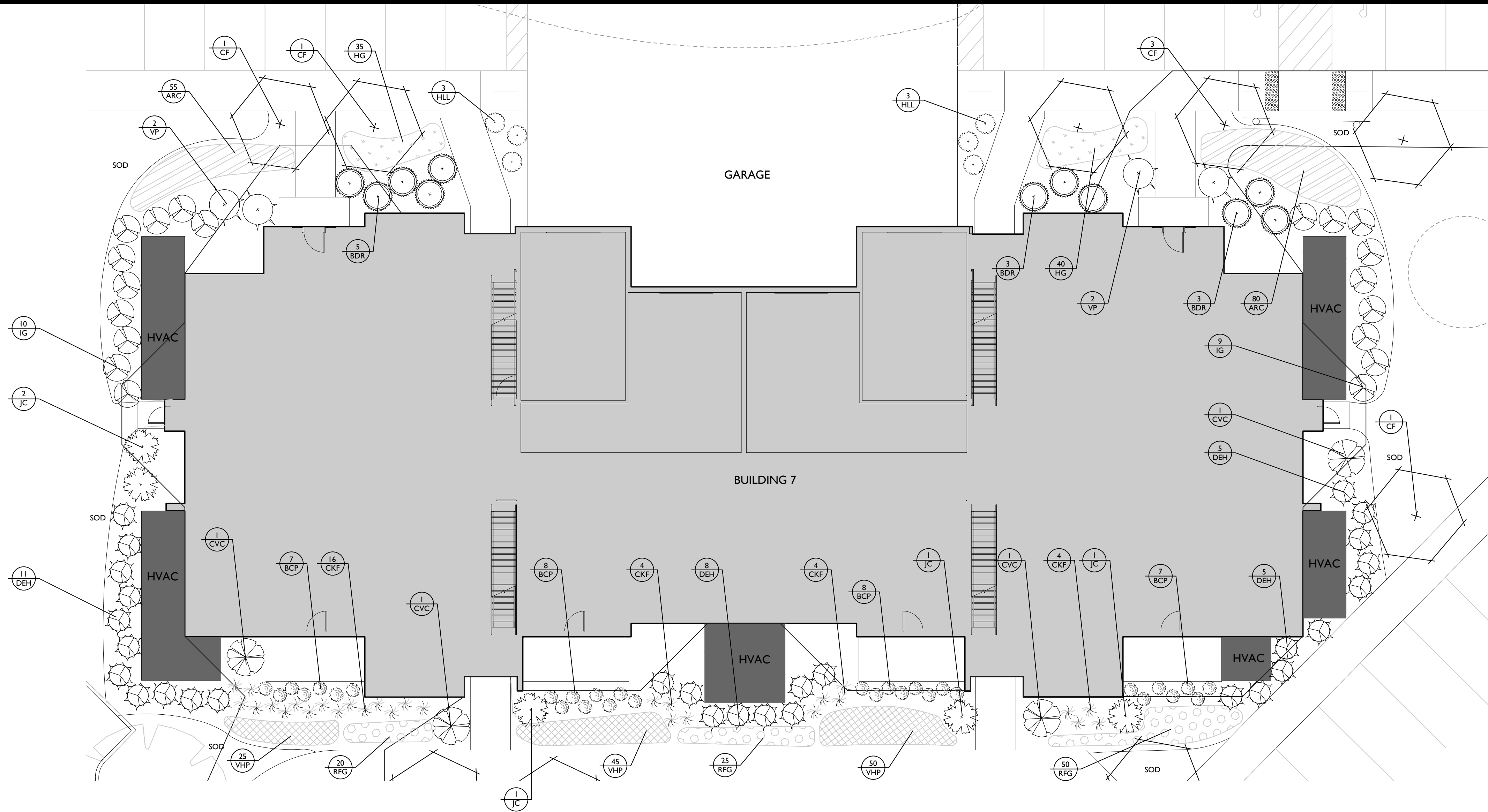
PLANT SCHEDULE								
QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	LEAF	SPACING	NOTES
UNDERSTORY TREES								
13	CF	CORNUS FLORIDA 'CHEROKEE PRINCESS'	'CHEROKEE PRINCESS' DOGWOOD	2" CAL. B/B	10'-12'	DECIDUOUS	AS SHOWN	CENTRAL LEADER
SHRUBS								
10	BCP	BERBERIS THUNBERGII 'ATROPURPUREA NANA'	CRIMSON PYGMY BARBERRY		12"	DECIDUOUS	24" O.C.	
9	BDR	BUXUS X 'DEE RUNK'	DEE RUNK BOXWOOD		36"	EVERGREEN	AS SHOWN	
44	CKF	CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER	KARL FOERSTER FEATHER GRASS	3 GALLON		DECIDUOUS	24" O.C.	
8	CVC	COTINUS COGGYGRIA 'VELVET CLOAK'	VELVET CLOAK SMOKEBUSH	40"		DECIDUOUS	40" O.C.	
32	DEH	DISTYLIUM 'EMERALD HEIGHTS'	EMERALD HEIGHTS DISTYLIUM		36"	EVERGREEN	36" O.C.	
16	HLL	HYDRANGEA PANICULATA 'LITTLE LIME'	LITTLE LIME HYDRANGEA		36"	DECIDUOUS	42" O.C.	
29	IG	ILEX GLABRA	INKBERRY		36"	EVERGREEN	42" O.C.	
6	JC	JUNIPERUS CHINENSIS 'SPEARMINT'	SPEARMINT JUNIPER	40"		EVERGREEN	36" O.C.	
5	VP	VIBURNUM X PRAGENSE	PRAGUE VIBURNUM		36"	EVERGREEN	4' O.C.	
PERENNIALS / GROUNDCOVERS								
120	ARC	AJUGA REPTANS 'CHOCOLATE CHIP'	CHOCOLATE CHIP AJUGA	1 GAL			18" O.C.	
115	RFG	RUDBECKIA FULGIDA VAR. SULLIVANTII	LITTLE GOLDSTAR BLACK EYED SUSAN	1 GAL			18" O.C.	
220	VHP	VERBENA HYBRIDA 'HOMESTEAD PURPLE'	HOMESTEAD PURPLE VERBENA	1 GAL			18" O.C.	

NOTE: LANDSCAPE MATERIAL TO BE FIELD ADJUSTED TO AVOID CONFLICTS WITH UTILITIES AND DRIVEWAYS. NO LANDSCAPE MATERIAL SHALL BE BETWEEN FIRE HYDRANT AND STREET OR WITHIN 3' IN OTHER DIRECTIONS

NOTE: FINAL INSTALLED LANDSCAPE MAY DIFFER THAN LANDSCAPING SHOWN ON PLAN



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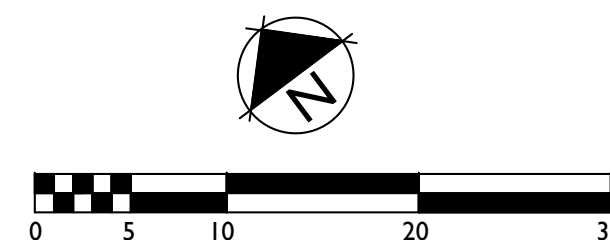
PLANT SCHEDULE								
QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	LEAF	SPACING	NOTES
UNDERSTORY TREES								
6	CF	CORNUS FLORIDA 'CHEROKEE PRINCESS'	'CHEROKEE PRINCESS' DOGWOOD	2" CAL. B/B	10'-12'	DECIDUOUS	AS SHOWN	CENTRAL LEADER
SHRUBS								
30	BCP	BERBERIS THUNBERGII 'ATROPURPUREA NANA'	CRIMSON PYGMY BARBERRY		12"	DECIDUOUS	24" O.C.	
11	BDR	BUXUS X 'DEE RUNK'	DEE RUNK BOXWOOD		36"	EVERGREEN	AS SHOWN	
18	CKF	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER GRASS	3 GALLON		DECIDUOUS	24" O.C.	
4	CVC	COTINUS COGGYGRIA 'VELVET CLOAK'	VELVET CLOAK SMOKEBUSH		40"	DECIDUOUS	40" O.C.	
29	DEH	DISTYLUM 'EMERALD HEIGHTS'	EMERALD HEIGHTS DISTYLUM		36"	EVERGREEN	36" O.C.	
6	HLL	HYDRANGEA PANICULATA 'LITTLE LIME'	LITTLE LIME HYDRANGEA		36"	DECIDUOUS	42" O.C.	
19	IG	ILEX GLABRA	INKBERRY		36"	EVERGREEN	42" O.C.	
5	JC	JUNIPERUS CHINENSIS 'SPEARMINT'	SPEARMINT JUNIPER		40"	EVERGREEN	36" O.C.	
4	VP	VIBURNUM X PRAGENSE	PRAGUE VIBURNUM		36"	EVERGREEN	4' O.C.	
PERENNIALS / GROUNDCOVERS								
135	ARC	AJUGA REPTANS 'CHOCOLATE CHIP'	CHOCOLATE CHIP AJUGA	1 GAL		18" O.C.		
75	HG	HOSTA 'GUACAMOLE'	GUACAMOLE HOSTA	1 GAL		18" O.C.		
95	RFG	RUDBECKIA FULGIDA VAR. SULLIVANTII	LITTLE GOLDSTAR BLACK EYED SUSAN	1 GAL		18" O.C.		
120	VHP	VERBENA HYBRIDA 'HOMESTEAD PURPLE'	HOMESTEAD PURPLE VERBENA	1 GAL		18" O.C.		

NOTE: LANDSCAPE MATERIAL TO BE FIELD ADJUSTED TO AVOID CONFLICTS WITH UTILITIES AND DRIVEWAYS. NO LANDSCAPE MATERIAL SHALL BE BETWEEN FIRE HYDRANT AND STREET OR WITHIN 3' IN OTHER DIRECTIONS.

NOTE: FINAL INSTALLED LANDSCAPE MAY DIFFER THAN LANDSCAPING SHOWN ON PLAN



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PLANT SCHEDULE								
QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	LEAF	SPACING	NOTES
UNDERSTORY TREES								
16	IDL	ILEX X AQUIPERNI 'MESCHICK'	DRAGON LADY HOLLY	2" CAL. B/B	6'-8"	EVERGREEN	AS SHOWN	
16	LIN	LAGERSTROEMIA INDICA X FAURIEI	NATCHEZ CRAPE MYRTLE	2" CAL. B/B	10'-12"	DECIDUOUS	AS SHOWN	
SHRUBS								
42	AE	RHODODENDRON 'CONLEB'	EMBERS ENCORE AZALEA	18" X 24"	EVERGREEN	36" O.C.		
18	CKF	CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER	KARL FOERSTER FEATHER GRASS	3 GALLON	DECIDUOUS	24" O.C.		
11	HPL	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA	36"	DECIDUOUS	24" O.C.		
20	HQA	HYDRANGEA QUERCIFOLIA 'ALICE'	ALICE OAKLEAF HYDRANGEA	24"	DECIDUOUS	42" O.C.		
2	JC	ILEX CORNUTA 'DWARF BURFORD HOLLY'	DWARF BURFORD HOLLY	36"	EVERGREEN	36" O.C.		
2	JC	JUNIPERUS CHINENSIS 'SPEARMINT'	SPEARMINT JUNIPER	40"	EVERGREEN	36" O.C.		
15	MSA	MISCANTHUS SINENSIS 'ADAGIO'	ADAGIO MAIDENHAIR GRASS	24"	AS SHOWN			
35	PO	PRUNUS LAUROCEASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	12" X 18"	EVERGREEN	4" O.C.		
35	RDC	ROSA 'MEIDIFORA'	CORAL DRIFT ROSE	12" X 18"	DECIDUOUS	AS SHOWN		
PERENNIALS / GROUNDCOVERS								
20	DF	DIANTHUS 'FEUERHEXE'	FIREWITCH DIANTHUS	1 GAL	18" O.C.			
435	HHR	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	4" POT	12" O.C.			
100	HRH	HELLEBORUS X HYBRIDUS 'ROYAL HERITAGE'	ROYAL HERITAGE LENTIL ROSE	1 GALLON	18" O.C.			
100	HRH	HELLEBORUS X HYBRIDUS 'WHITE DELIGHT'	WHITE DELIGHT CREEPER	1 GALLON	18" O.C.			
100	HRH	HELLEBORUS X HYBRIDUS 'WHITE DELIGHT'	WHITE DELIGHT CREEPER	1 GALLON	18" O.C.			

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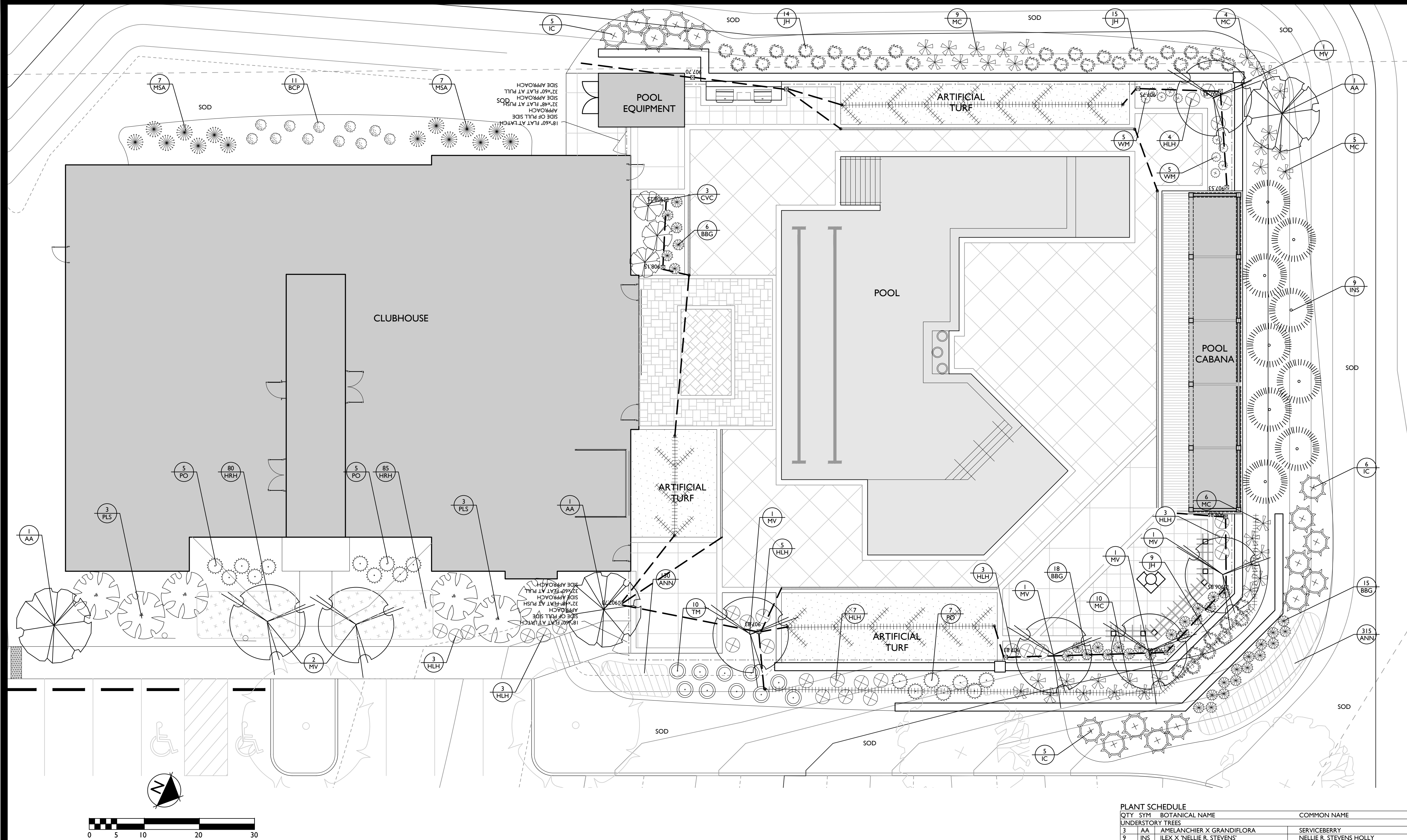
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PLANT SCHEDULE								
QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	LEAF	SPACING	NOTES
UNDERSTORY TREES								
3	AA	AMELANCHIER X GRANDIFLORA	SERVICEBERRY	2" CAL. B/B	6'-8"	DECIDUOUS	AS SHOWN	BALANCED CANOPY
9	INS	ILEX X 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY	2" CAL. B/B	6'-8"	EVERGREEN	AS SHOWN	BALANCED
7	MV	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	2" CAL. B/B	6'-8"	DECIDUOUS	AS SHOWN	BALANCED CANOPY
SHRUBS								
39	BBG	BUXUS MICROPHYLLA VAR. JAPONICA 'GREGG'	BABY GEM BOXWOOD		18"	EVERGREEN	20" O.C.	
11	BCP	BENBERIS THUNBERGII 'ATROPURPUREA NANA'	CRIMSON PYGMY BARBERRY		12"	DECIDUOUS	24" O.C.	
3	CVC	COTINUS COGGYGRIA 'VELVET CLOAK'	VELVET CLOAK SMOKEBUSH		40"	DECIDUOUS	40" O.C.	
28	HLH	HYDRANGEA 'LITTLE HONEY'	LITTLE HONEY HYDRANGEA		36"	DECIDUOUS	36" O.C.	
16	IC	ILEX CHINENSIS	CHINESE HOLLY		36"	EVERGREEN	36" O.C.	
38	JH	JUNIPERUS HORIZONTALIS 'YOUNGSTOWN'	ANDORRA CREEPING JUNIPER		12" X 24"	EVERGREEN	36" O.C.	
34	MC	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	3 GALLON		DECIDUOUS	SEE PLAN	
14	MSA	MISCANTHUS SINENSIS 'ADAGIO'	ADAGIO MAIDENHAIR GRASS		24"		AS SHOWN	
6	PLS	PRUNUS LAURO-CERASUS 'SCHIPKAENSIS'	SCHIP LAUREL		36"	EVERGREEN	3" O.C.	
17	PO	PRUNUS LAURO-CERASUS 'OTTO LUTKEN'	OTTO LUTKEN LAUREL		36"	EVERGREEN	4" O.C.	
10	TM	TAXUS X MEDIA 'DENSIFORMIS'	DENSE YEW		24" X 24"	EVERGREEN	36" O.C.	
10	WM	WEIGELA FLORIDA 'ELVERA'	MIDNIGHT WINE WEIGELA		12"	DECIDUOUS	18" O.C.	
PERENNIALS / GROUNDCOVERS								
445	ANN	ANNUALS, VARIETY			PLUG		9" O.C.	ROTATE SEASONALLY
165	HRH	HELLEBORUS X HYBRIDUS 'ROYAL HERITAGE'	ROYAL HERITAGE LENTEN ROSE		1 GALLON		18" O.C.	

NOTE: LANDSCAPE MATERIAL TO BE FIELD ADJUSTED TO AVOID CONFLICTS WITH UTILITIES AND DRIVEWAYS. NO LANDSCAPE MATERIAL SHALL BE BETWEEN FIRE HYDRANT AND STREET OR WITHIN 3' IN OTHER DIRECTIONS

NOTE: FINAL INSTALLED LANDSCAPE MAY DIFFER THAN LANDSCAPING SHOWN ON PLAN



GAMBLE
DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE

VINTAGE KNOXVILLE WEST
CONSTRUCTION DOCUMENTS
Knoxville, Tennessee



Revision Date
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CLUBHOUSE &
AMENITY
LANDSCAPE
SHEET
LS3.00

CITY OF KNOXVILLE LANDSCAPE NOTES:

1. ANY PLANT MATERIAL THAT DIES, TURNS BROWN OR DEFOOLIATES SHALL BE REPLACED WITHIN ONE YEAR OR BY THE NEXT GROWING SEASON, WHICH EVER COMES FIRST. OTHER DEFECTIVE LANDSCAPE MATERIAL SHALL BE REPLACED WITHIN THREE MONTHS.
2. ALL TREES SHALL MEET KNOXVILLE'S MINIMUM SIZE AND QUALITY STANDARDS. ALL PLANTS SHALL BE HEALTHY, VIGOROUS MATERIAL, FREE OF PEST AND DISEASE. ALL ROOTBALLS, CONTAINERS, AND HEIGHT TO WIDTH RATIOS SHALL CONFORM TO THE SIZE STANDARDS SET FORTH IN THE AMERICAN STANDARDS FOR NURSERY STOCK, CURRENT EDITION.
3. ALL REQUIRED TREES AND SHRUBS SHALL MEET THE MINIMUM SIZE AND QUANTITY AS LISTED IN THE PLANT SCHEDULE.
4. PLANT MATERIAL SHALL NOT OBSCURE TRAFFIC OR PARKING SIGNS/SIGNALS OR VEHICULAR SIGHT LINES.
5. TREE TOPPING IS NOT PERMITTED.
6. ADDITIONAL SCREENING MAY BE REQUIRED IF THE INSPECTION FOR THE RELEASE OF THE PERFORMANCE SURETY REVEALS THAT THE REQUIRED SCREENING IS NOT EFFECTIVE.
7. ALL REQUIRED TREE PROTECTION FENCING SHALL BE INSTALLED AND INSPECTED BY THE CODES DEPARTMENT PRIOR TO LAND DISTURBING ACTIVITIES.
8. ANY SITE OR LANDSCAPE CHANGES (INCLUDING BUT NOT LIMITED TO A CHANGE IN DESIGN, A REDUCTION IN SIZE OR NUMBER OF PLANT MATERIAL, OR THE RELOCATION OF OVERHEAD OR UNDERGROUND UTILITIES) SHALL REQUIRE A REVISED LANDSCAPE PLAN TO BE SUBMITTED AND APPROVAL PRIOR TO THE LANDSCAPE INSTALLATION.
9. EXISTING TREES ACCEPTED IN PARTIAL COMPLIANCE OF THE LANDSCAPE REQUIREMENTS FOR THIS SITE SHALL BE ACCESSIBLE AND FLAGGED PRIOR TO ALL LANDSCAPE INSPECTIONS.
10. ANY EXISTING TREE, SHOWN AS BEING PRESERVED ON APPROVED PLANS THAT IS REMOVED, DIES OR IS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED AS REQUIRED IN THE ZONING ORDINANCE.
11. SCREENING PROPOSED AROUND ANY UTILITY BOX OR TRANSFORMER IS REQUIRED TO BE EVERGREEN AND ADEQUATELY SCREEN THE OBJECT. THE PROPOSED EVERGREEN PLANT MATERIAL SHALL BE REPLACED IF IT IS NOT OF A HEIGHT SUFFICIENT TO SCREEN THE OBJECT.
12. ALL PLANT MATERIAL SHALL BE FROM THE KNOXVILLE PLANT LIST UNLESS PRIOR APPROVAL IS RECEIVED FROM THE CITY.
13. ALL TREE-PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING PERMIT AND SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETED. ANY REQUIRED EROSION CONTROL MEASURES SHALL BE PLACED OUTSIDE OF ANY TREE PROTECTION FENCING.
14. TOP SOIL USED IN ALL LANDSCAPE AREAS SHALL BE SCREENED PRIOR TO DEPOSITION IN PLANTING AREAS AND ISLANDS.
15. ANY PLANT MATERIAL LOCATED ADJACENT TO A PARKING AREA SHALL BE PLANTED SO AS TO ALLOW FOR A TWO AND A HALF FOOT VEHICULAR BUMPER OVERHANG FROM THE FACE OF CURB TO THE EDGE OF THE MATURE ADJACENT PLAN MATERIAL.
16. THE OWNER ACKNOWLEDGES THAT PLANTING LANDSCAPE MATERIAL IN A DEDICATED EASEMENT DOES NOT WAIVE OR MODIFY THE CITY OF KNOXVILLE'S RIGHTS AS THE EASEMENT HOLDER. THE OWNER UNDERSTANDS THAT THE CITY OF KNOXVILLE, ITS AUTHORIZED CONTRACTOR OR APPLICABLE PRIVATE UTILITY MAY AT ANY TIME AND FOR ANY REASON PERFORM WORK WITHIN THE DEDICATED EASEMENT. THE CITY, ITS AUTHORIZED CONTRACTOR OR APPLICABLE PRIVATE UTILITY SHALL HAVE NO LIABILITY TO THE OWNER FOR ANY DAMAGE TO THE LANDSCAPE MATERIAL IN THE EASEMENT WHEN SAID DAMAGE IS DUE TO WORK WITHIN THE EASEMENT. THE OWNER MAY BE HELD RESPONSIBLE FOR THE REMOVAL OF THE LANDSCAPE MATERIAL TO ENABLE WORK TO BE DONE. THE OWNER SHALL BE SOLELY RESPONSIBLE FOR ANY COST INCURRED IN REPAIRING AND/OR REPLACING THE REQUIRED LANDSCAPE MATERIAL.

CITY OF KNOXVILLE MINIMUM PLANT QUALITY AND SIZE STANDARDS

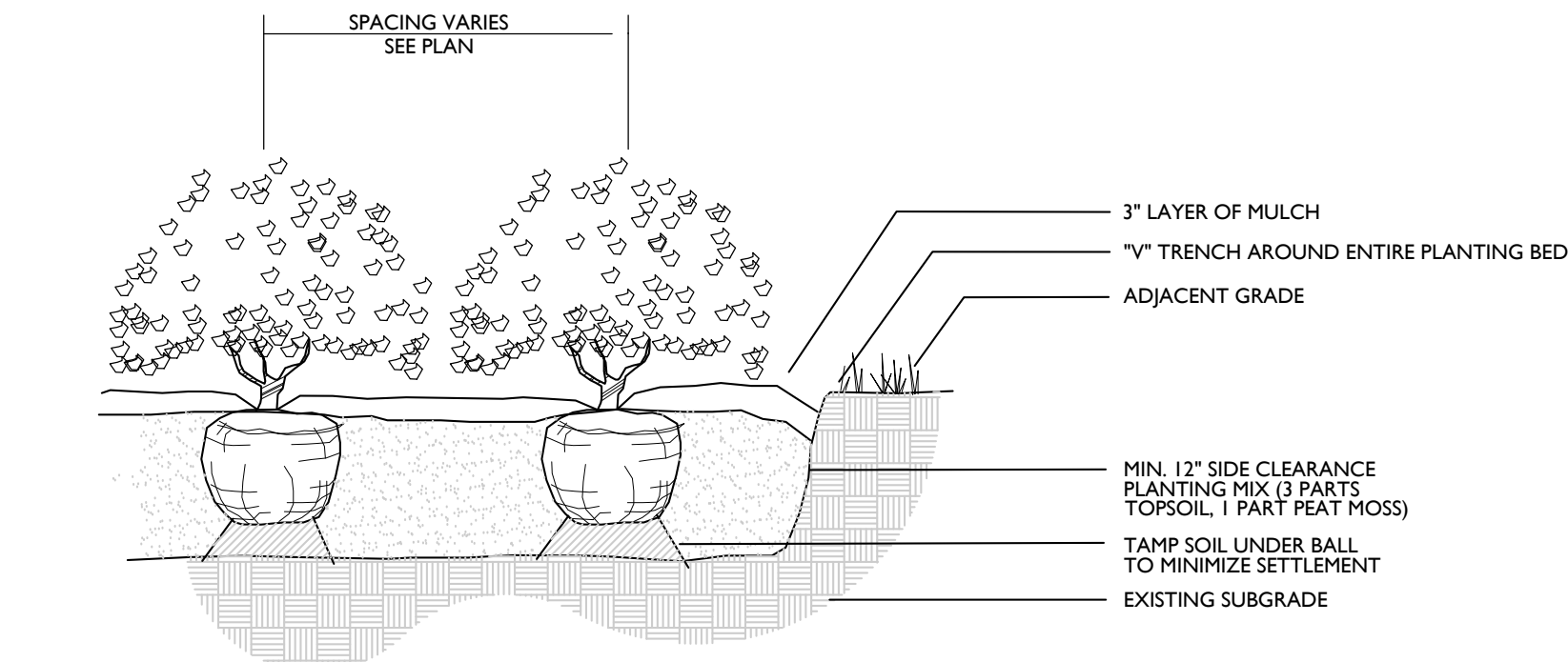
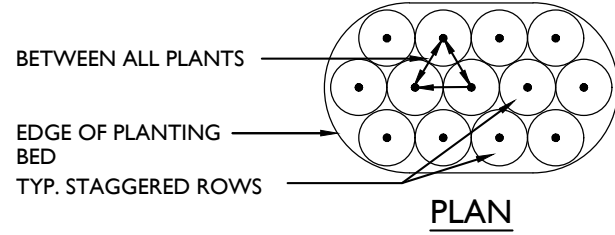
1. ALL NEWLY PLANTED LANDSCAPE PLANT MATERIALS SHALL CONFORM TO THE LATEST VERSIONS OF THE AMERICAN STANDARD OF NURSERY STOCK (ANSI Z60).
2. ALL TYPE 1, 2, AND 3 TREES (AS DEFINED IN ANSI Z60.1) USED TO MEET THE REQUIREMENTS OF THIS SUBSECTION SHALL HAVE THE FOLLOWING CHARACTERISTICS:
 - A. DECIDUOUS TREES SHALL HAVE ONE DOMINANT TRUNK WITH THE TIP OF THE LEADER ON THE MAIN TRUNK LEFT INTACT AND THE TERMINAL BUD ON THE CENTRAL LEADER AT THE HIGHEST POINT ON THE TREE.
 - B. TREES WITH FORKED TRUNKS ARE ACCEPTABLE IF ALL THE FOLLOWING CONDITIONS ARE MET:
 1. THE FORK OCCURS IN THE UPPER ONE-THIRD OF THE TREE.
 2. ONE FORK IS LESS THAN TWO-THIRDS OF THE TREE.
 3. THE TOP ONE-THIRD OF THE SMALLER FORK IS REMOVED AT THE TIME OF PLANTING.
 - C. NO BRANCH IS GREATER THAN TWO-THIRDS THE DIAMETER OF THE TRUNK DIRECTLY ABOVE THE BRANCH.
 - D. SEVERAL BRANCHES ARE LARGER IN DIAMETER AND OBVIOUSLY MORE DOMINANT.
 - E. BRANCHING HABIT IS MORE HORIZONTAL THAN VERTICAL AND NO BRANCHES ARE ORIENTED NEARLY VERTICAL TO THE TRUNK.
 - F. BRANCHES ARE EVENLY DISTRIBUTED AROUND THE TRUNK WITH NO MORE THANK ONE MAJOR BRANCH LOCATED DIRECTLY ABOVE ANOTHER AND THE CROWN IS FULL OF FOLIAGE THAT IS EVENLY DISTRIBUTED AROUND THE TREE.

TREE PROTECTION GENERAL NOTES:

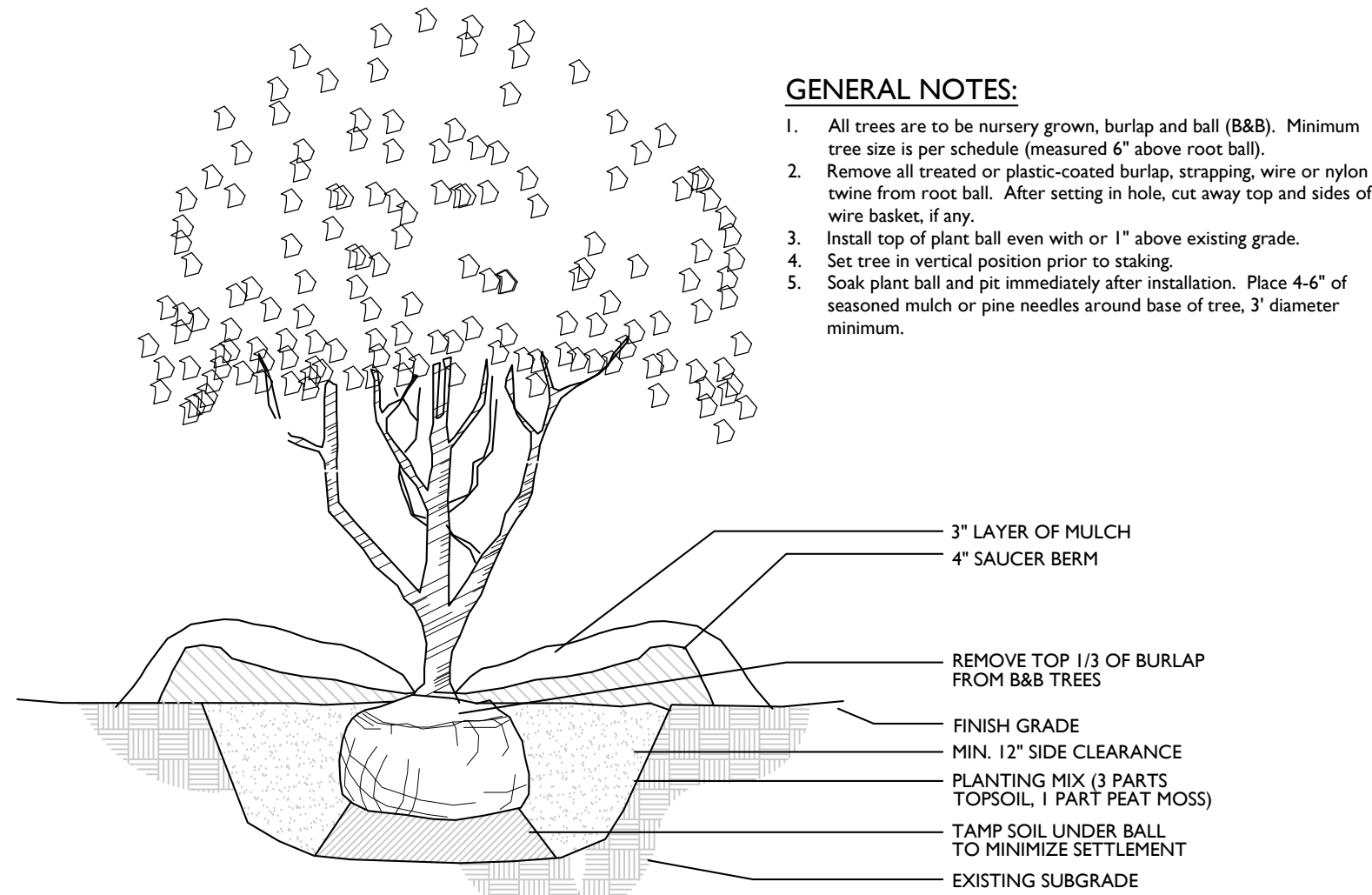
1. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL STAKE THE LIMITS OF THE TREE PRESERVATION AREAS AND ASSOCIATED TREE CANOPY.
2. TREE PROTECTION FENCING, ORANGE PLASTIC BARRIER CONSTRUCTION FENCING, SHALL BE INSTALLED AND MAINTAINED AT THE LIMITS OF THE TREE PRESERVATION AREAS PRIOR TO CONSTRUCTION. REVIEW AND APPROVAL OF THE FENCING BY THE CITY OF KNOXVILLE IS REQUIRED PRIOR TO GRADING PERMIT.
3. ALL GRADING WITHIN THE ROOT ZONE OF TREES WITHIN THE TREE PRESERVATION AREAS SHALL BE DONE BY HAND OR WITH SMALL EQUIPMENT TO REDUCE DAMAGE TO THE TREE ROOTS.
4. EQUIPMENT STORAGE AND/OR MATERIALS STORAGE WITHIN THE TREE PRESERVATION AREA IS STRICTLY PROHIBITED.
5. ROOTS EXPOSED BY CONSTRUCTION ACTIVITES SHALL BE PRUNED FLUSH WITH THE GROUND AND/OR BACKFILLED WITH TOP SOIL AS SOON AS POSSIBLE.

LANDSCAPE PLANTING GENERAL NOTES

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THE QUANITIES OF ALL MATERIALS, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT LIST.
2. SUBSTITUTIONS OF TYPE, SIZE, OR SPACING OF PLANTS MAY NOT BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER'S LANDSCAPE ARCHITECT, AND MAY RESULT IN THE RESUBMITTAL OF LANDSCAPE PLANS TO THE CITY OF KNOXVILLE FOR APPROVAL PRIOR TO INSTALLATION.
3. ALL CONSTRUCTION ACTIVITY SHALL BE COORDINATED WITH TENNESSEE ONE CALL PRIOR TO DIGGING. ALL DAMAGE TO UTILITES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE PER UTILITY PROVIDER'S STANDARDS.
4. THE PLANT LIST SPECIFICATIONS PROVIDED WITHIN THE PLANT LIST FOR HEIGHT AND SIZE ARE MINIMUMS.
5. ALL PLANT BEDS SHALL BE RAKED AND CLEARED OF LARGE ROCKS. ALL LARGE DIRT CLOUDS SHALL BE PULVERIZED OR REMOVED PRIOR TO PLANTING.
6. ALL LARGE DIRT CLOUDS RESULTING FROM PLANTING SHALL BE PULVERIZED AND REMOVED PRIOR TO MULCHING.
7. PRE-EMERGENT HERBICIDE SHALL BE APPLIED AFTER INSTALLATION AND IMMEDIATELY PRIOR TO MULCHING.
8. ALL PLANT BEDS ARE TO BE MULCHED WITH A MINIMUM OF 4 INCHES OF SHREDDED PINE BARK. ALL ANNUAL BEDS SHALL BE MULCHED WITH A MINIMUM OF 2 INCHES OF SOIL CONDITIONER, PINE BARK FINES.
9. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL OR ANY DEFECTIVE WORKMANSHIP.
10. ALL SOD AREAS SHALL BE TILLED AND RAKED SMOOTH, WITH LARGE DIRT CLOUDS AND ROCKS REMOVED, PRIOR TO SOD INSTALLATION.
11. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL STAKING AND LAYOUT OF PLANT BEDS.
12. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DRAINAGE OF ALL TREE AND SHRUB PITS. A PVC OR GRAVEL SUMP AT THE BASE OF THE TREE WELL MAY BE REQUIRED IN AREAS WHERE CLAY SOILS DO NOT ADEQUATELY DRAIN.
13. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT WHEN THE PLANT MATERIALS ARE AT THE JOB SITE FOR REVIEW PRIOR TO INSTALLATION.

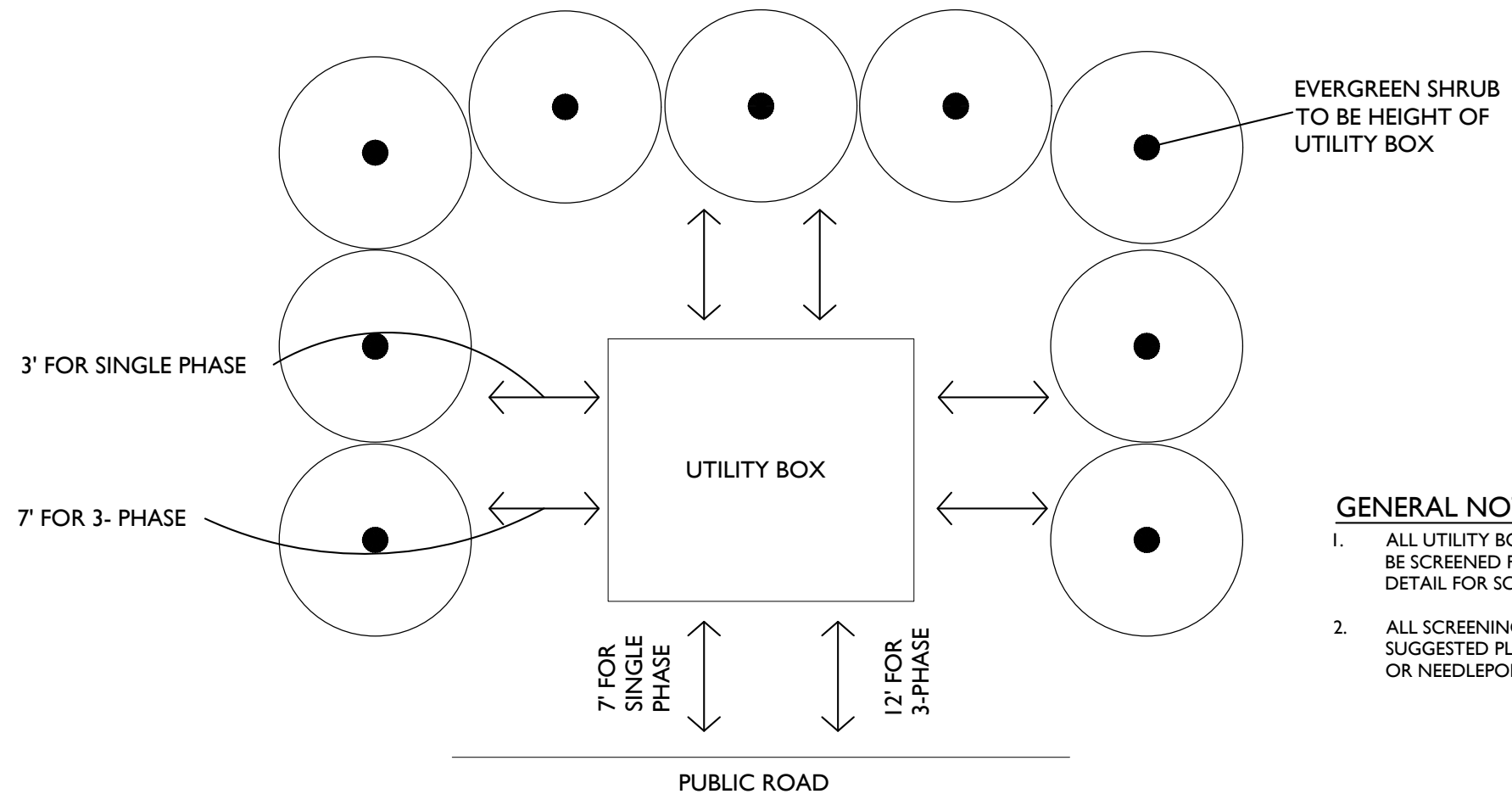


SHRUB PLANTING



UNDERSTORY TREE

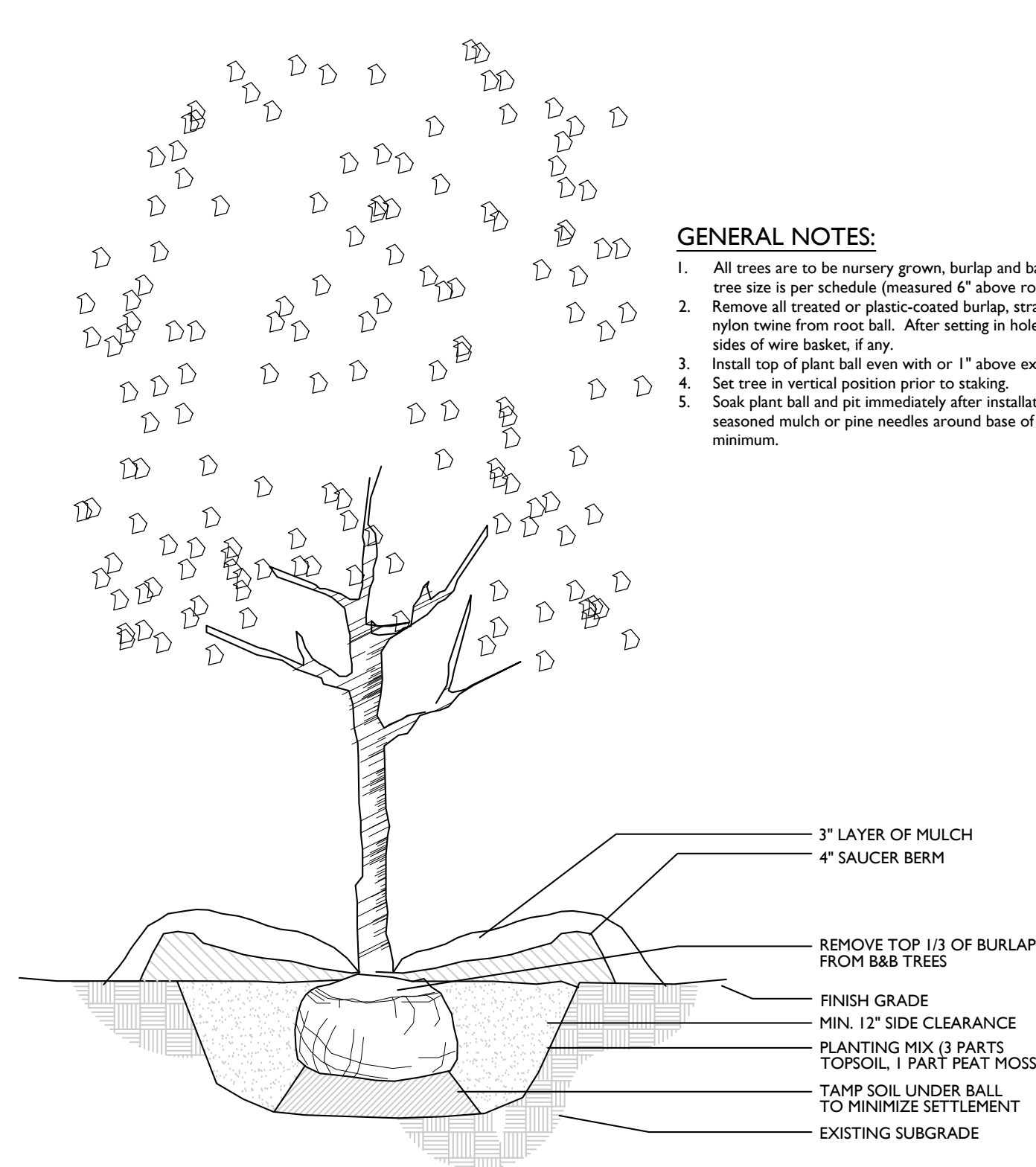
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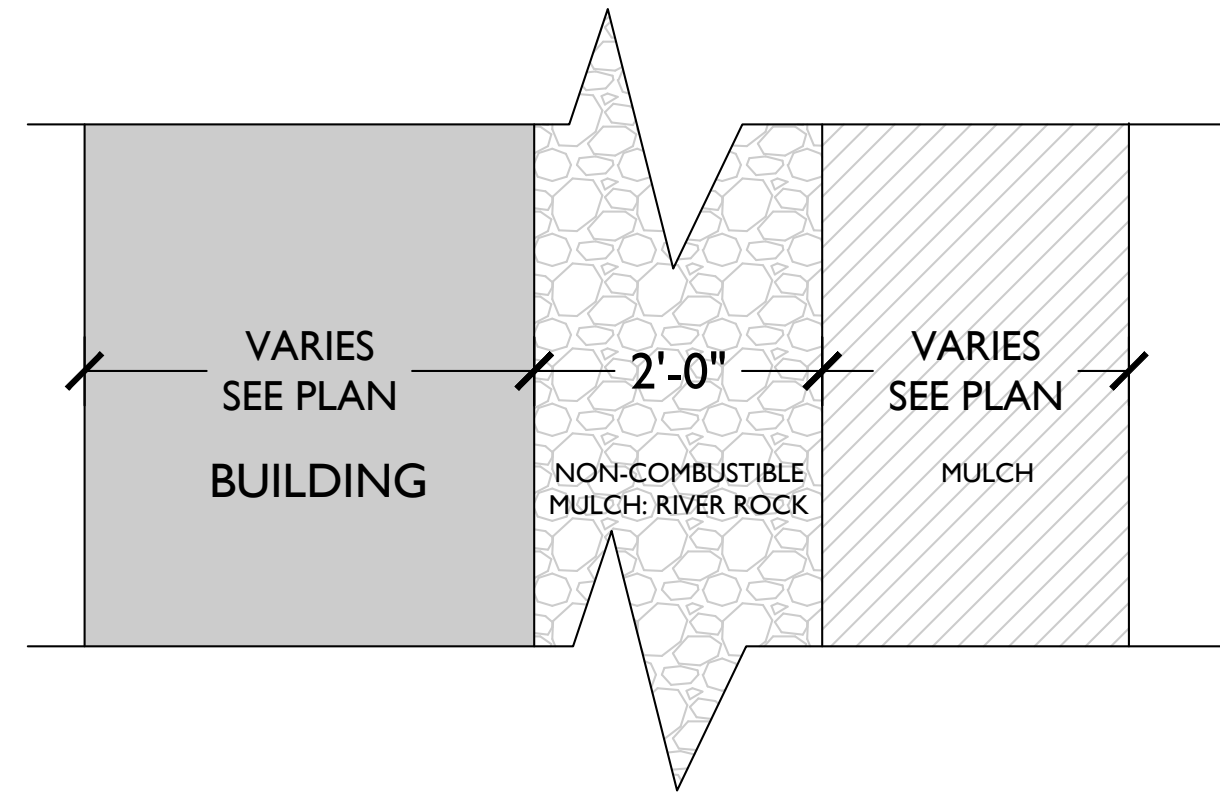
UTILITY BOX SCREEN

GENERAL NOTES:

1. Install top of plant ball 2" above adjacent grade.
2. Tamp planting mix firmly as pit is filled around each plant ball.
3. Soak each plant ball and pit immediately after installation.

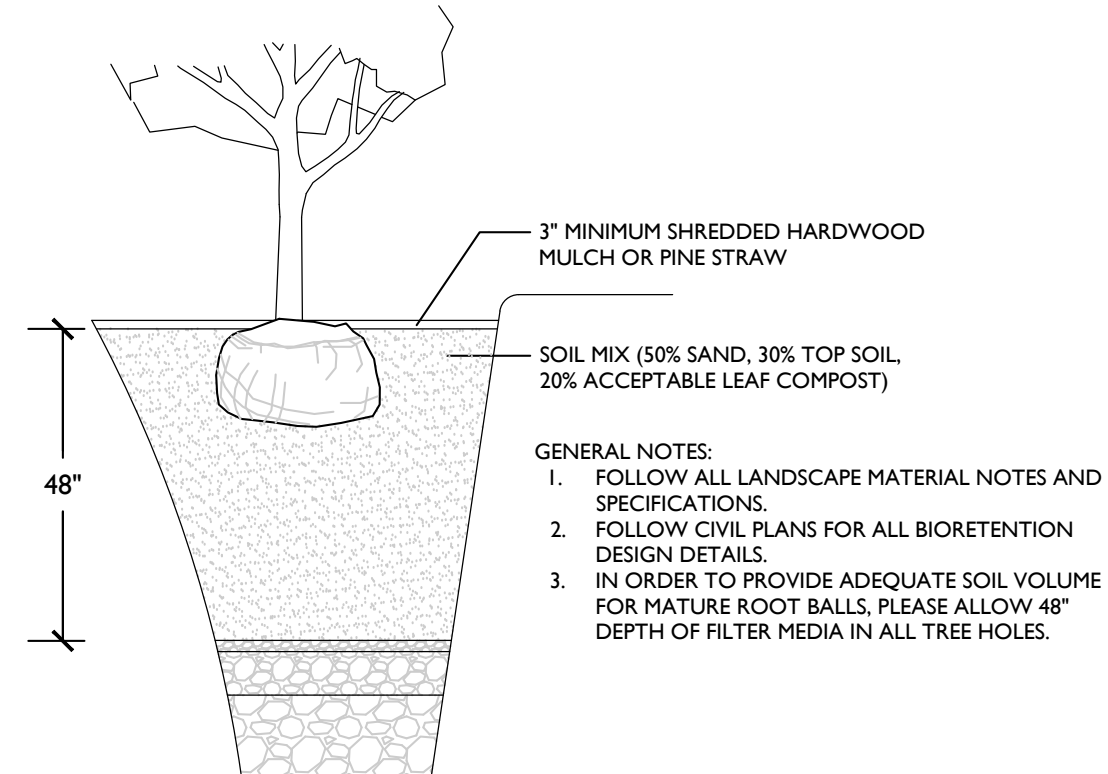


SINGLE TRUNK DECIDUOUS TREE



Sec. 7-231. - Combustible mulch.
Combustible mulch shall not be applied or maintained within two feet of any building around entire exterior perimeter, except one and two family dwellings, buildings with exterior walls and exterior wall coverings constructed of noncombustible materials

NON-COMBUSTIBLE MULCH



BIORETENTION TREE PLANTING

GENERAL NOTES:

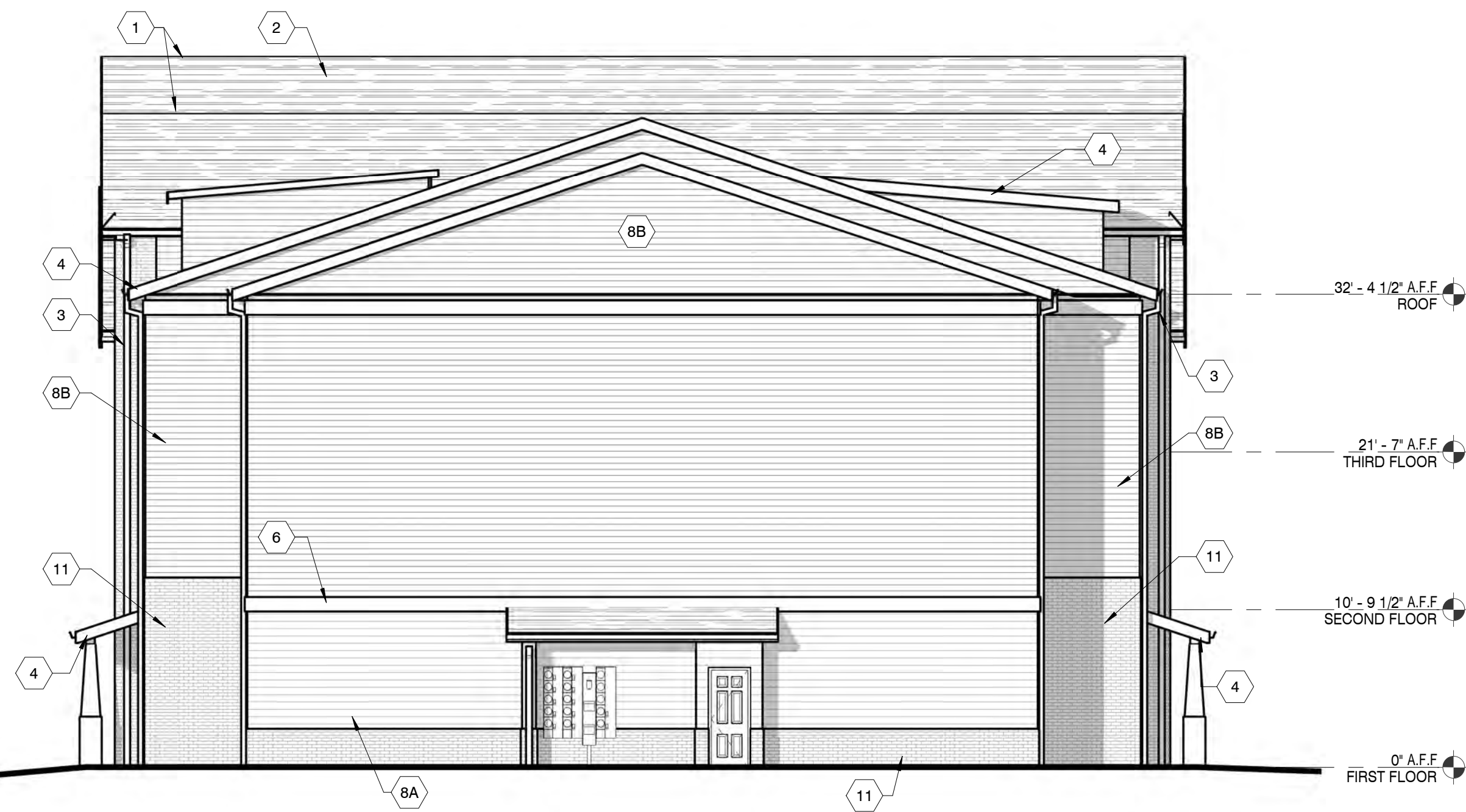
1. ALL UTILITY BOXES AND METERS MUST BE SCREENED FROM VIEW. PLEASE USE THIS STANDARD DETAIL FOR SCREENING REQUIREMENTS.
2. ALL SCREENING PLAN MATERIAL SHALL BE EVERGREEN. SUGGESTED PLAN MATERIAL TO INCLUDE INKERRY HOLLY OR NEEDLEPOINT HOLLY.



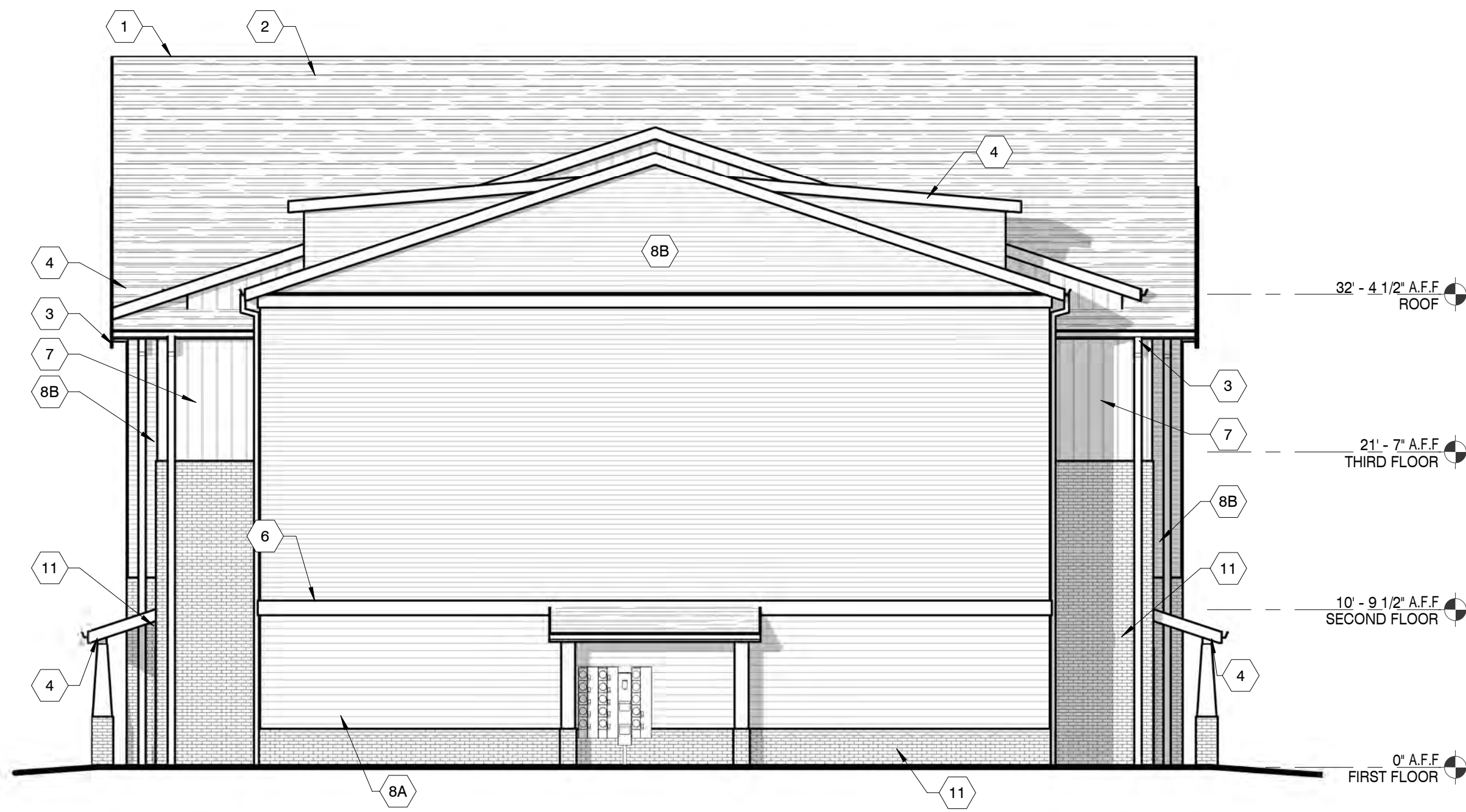
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1 BLDG A - FRONT ELEVATION
1/8" = 1'-0"



2 BLDG A - LEFT ELEVATION
1/8" = 1'-0"



4 BLDG A - RIGHT ELEVATION
1/8" = 1'-0"



3 BLDG A - REAR ELEVATION
1/8" = 1'-0"

ELEVATION KEYNOTES

1. CONTINUOUS RIDGE VENT (TYP.)
2. ROOF SHINGLES OVER (2) LAYERS 15# FELT OVER ROOF DECK OVER PRE-ENGINEERED WOOD ROOF TRUSSES
3. PRE-FIN. ALUM. GUTTER W/ DOWNSPOUTS
4. PRE-FINISHED ALUMINUM OVER FASCIA BOARD
5. ORNAMENTAL BRACKET (TYP.)
6. FIBER CEMENT TRIM BOARD
7. VERTICAL FIBER CEMENT SIDING
- 8A. HORIZONTAL FIBER CEMENT SIDING - 7'
- 8B. HORIZONTAL FIBER CEMENT SIDING - 5'
9. VINYL WINDOWS - SEE SCHEDULE
10. BRICK HEADER (TYP.)
11. BRICK VENEER
12. BRICK SILL (TYP.)
13. STEEL RAILING SYSTEM AT 3'-6" A.F.F. WITH 1/2" VERTICAL PICKETS AT 4'-0" O.C
14. METAL ROOF OVER HEAVY TIMBER BRACKET
15. 8 X 8 TIMBER COLUMN W/ BRICK BASE
16. STANDING SEAM METAL ROOF.

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A NEW DEVELOPMENT FOR:

VINTAGE KNOXVILLE WEST

EVERETTE RD
KNOXVILLE, TN

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- ☒ REVIEW ONLY
☐ PERMITTING ONLY
☐ SCHEMATIC DESIGN
☐ DESIGN DEVELOPMENT
☐ CONSTRUCTION DOCUMENTS

Drawing Title:
EXTERIOR ELEVATIONS
BUILDING TYPE A

Date: 10/18/2021

Comm. No.

21026

Revisions:

No.	Date

Sheet No.

A4.1

TAC
The Architecture Collaborative
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KNOXVILLE, TN 37919
www.tac-45.com 865.342.7505



① BLDG A2 - FRONT ELEVATION
1/8" = 1'-0"



③ BLDG A2 - REAR ELEVATION
1/8" = 1'-0"

ELEVATION KEYNOTES

1. CONTINUOUS RIDGE VENT (TYP.)
2. ROOF SHINGLES OVER (2) LAYERS 15# FELT OVER ROOF DECK OVER PRE-ENGINEERED WOOD ROOF TRUSSES
3. PRE-FIN. ALUM. GUTTER W/ DOWNSPOUTS
4. PRE-FINISHED ALUMINUM OVER FASCIA BOARD
5. ORNAMENTAL BRACKET (TYP.)
6. FIBER CEMENT TRIM BOARD
7. VERTICAL FIBER CEMENT SIDING
- 8A. HORIZONTAL FIBER CEMENT SIDING - 7"
- 8B. HORIZONTAL FIBER CEMENT SIDING - 5"
9. VINYL WINDOWS - SEE SCHEDULE
10. BRICK HEADER (TYP.)
11. BRICK VENEER
12. BRICK SILL (TYP.)
13. STEEL RAILING SYSTEM AT 3'-6" A.F.F. WITH 1/2" VERTICAL PICKETS AT 4'-0" O.C.
14. METAL ROOF OVER HEAVY TIMBER BRACKET
15. 8 X 8 TIMBER COLUMN W/ BRICK BASE
16. STANDING SEAM METAL ROOF.

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VINTAGE KNOXVILLE WEST

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KNOXVILLE, TN

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Drawing Title:
EXTERIOR ELEVATIONS
BUILDING TYPE A2

Date: 10/18/2021

Comm. No.
21026

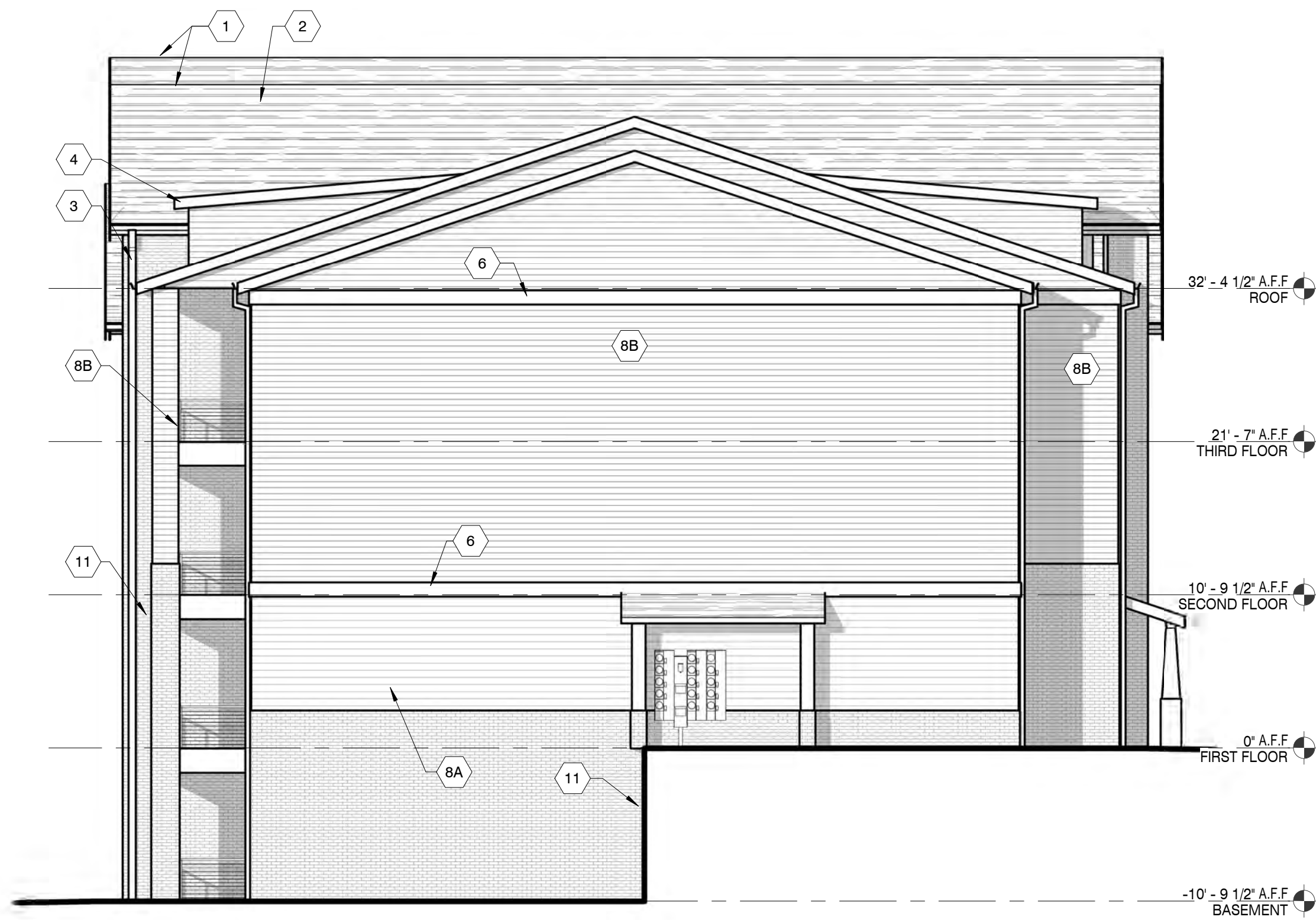
Revisions:

No.	Date

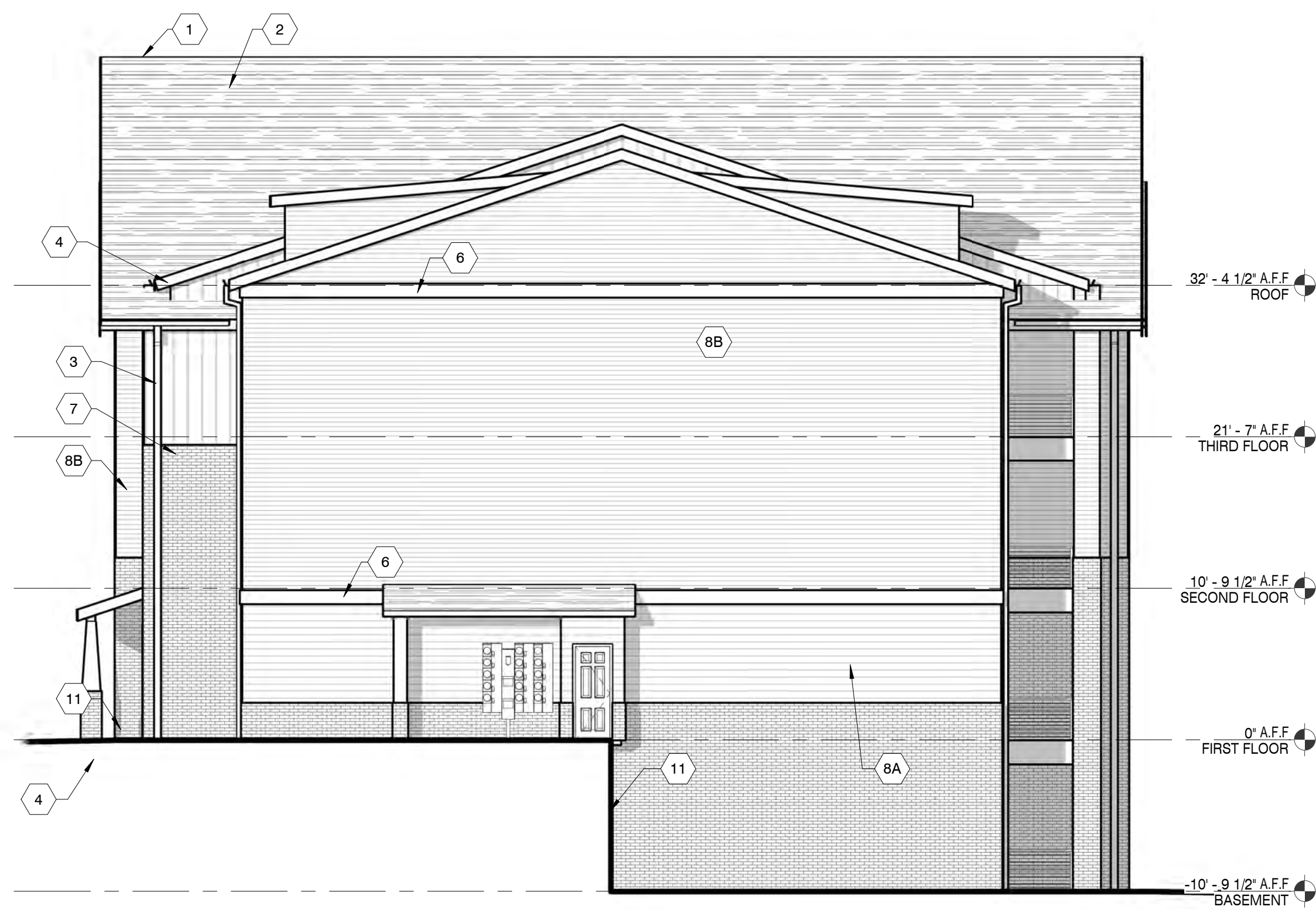
Sheet No.

A4.3-A

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① BLDG A2 - LEFT ELEVATION
1/8" = 1'-0"



② BLDG A2 - RIGHT ELEVATION
1/8" = 1'-0"

ELEVATION KEYNOTES

1. CONTINUOUS RIDGE VENT (TYP.)
2. ROOF SHINGLES OVER (2) LAYERS 15# FELT OVER ROOF DECK OVER PRE-ENGINEERED WOOD ROOF TRUSSES
3. PRE-FIN. ALUM. GUTTER W/ DOWNSPOUTS
4. PRE-FINISHED ALUMINUM OVER FASCIA BOARD
5. ORNVAMENTAL BRACKET (TYP.)
6. FIBER CEMENT TRIM BOARD
7. VERTICAL FIBER CEMENT SIDING
- 8A. HORIZONTAL FIBER CEMENT SIDING - 7"
- 8B. HORIZONTAL FIVER CEMENT SIDING - 5"
9. VINYL WINDOWS - SEE SCHEDULE
10. BRICK HEADER (TYP.)
11. BRICK VENEER
12. BRICK SILL (TYP.)
13. STEEL RAILING SYSTEM AT 3'-6" A.F.F. WITH 1/2" VERTICAL PICKETS AT 4'-0" O.C.
14. METAL ROOF OVER HEAVY TIMBER BRACKET
15. 8 X 8 TIMBER COLUMN W/ BRICK BASE
16. STANDING SEAM METAL ROOF.

No.	Date



1 BLDG A3 - FRONT ELEVATION - PART A
1/8" = 1'-0"



2 BLDG A3 - FRONT ELEVATION - PART B
1/8" = 1'-0"

ELEVATION KEYNOTES

1. CONTINUOUS RIDGE VENT (TYP.)
2. ROOF SHINGLES OVER (2) LAYERS 15# FELT OVER ROOF DECK OVER PRE-ENGINEERED WOOD ROOF TRUSSES
3. PRE-FIN. ALUM. GUTTER W/ DOWNSPOUTS
4. PRE-FINISHED ALUMINUM OVER FASCIA BOARD
5. ORNAMENTAL BRACKET (TYP.)
6. FIBER CEMENT TRIM BOARD
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12. BRICK SILL (TYP.)
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14. METAL ROOF OVER HEAVY TIMBER BRACKET
15. 8 X 8 TIMBER COLUMN W/ BRICK BASE
16. STANDING SEAM METAL ROOF.

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Drawing Title:
EXTERIOR ELEVATIONS
BUILDING TYPE A3

Date: 10/18/2021

Comm. No.

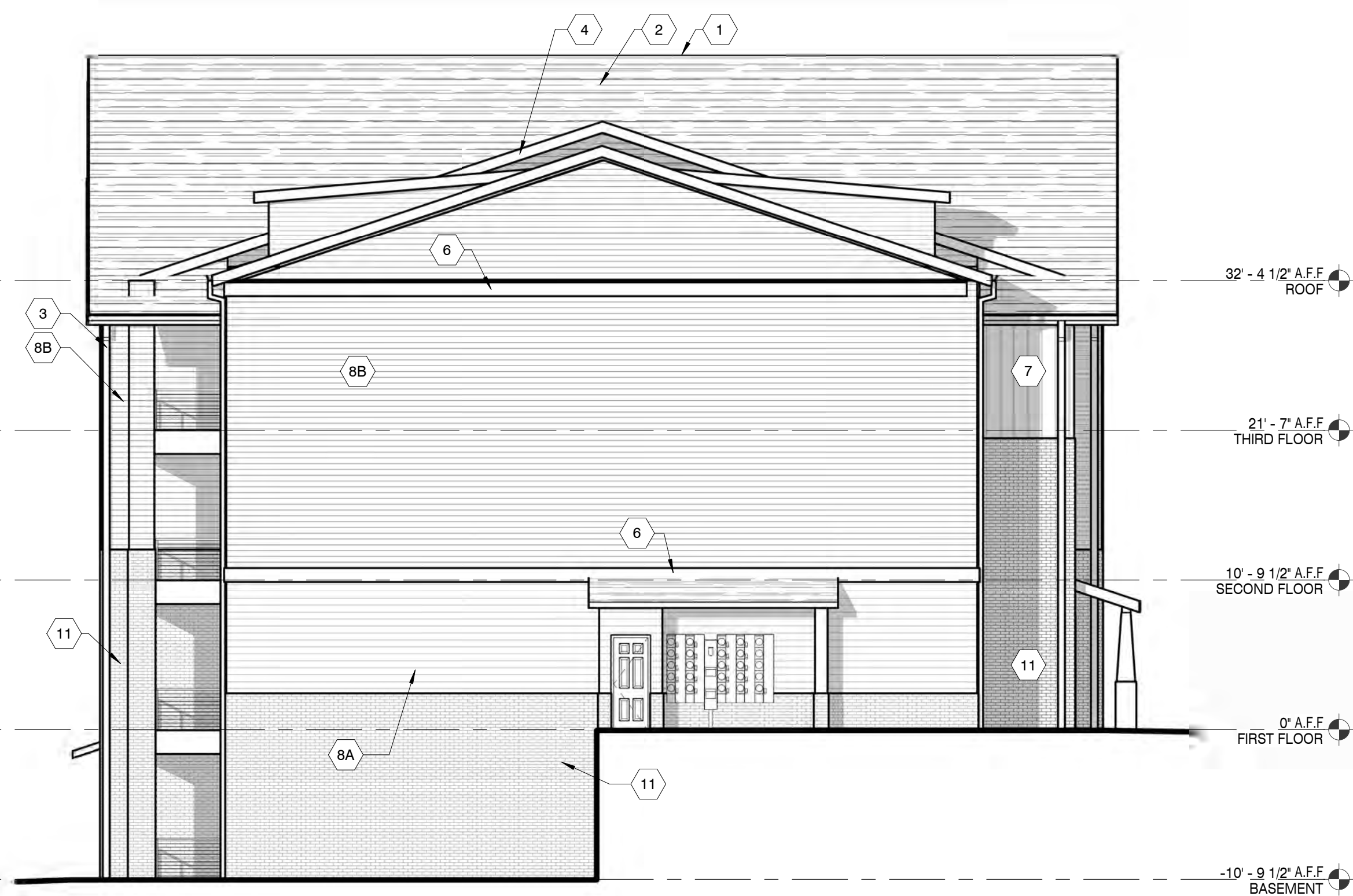
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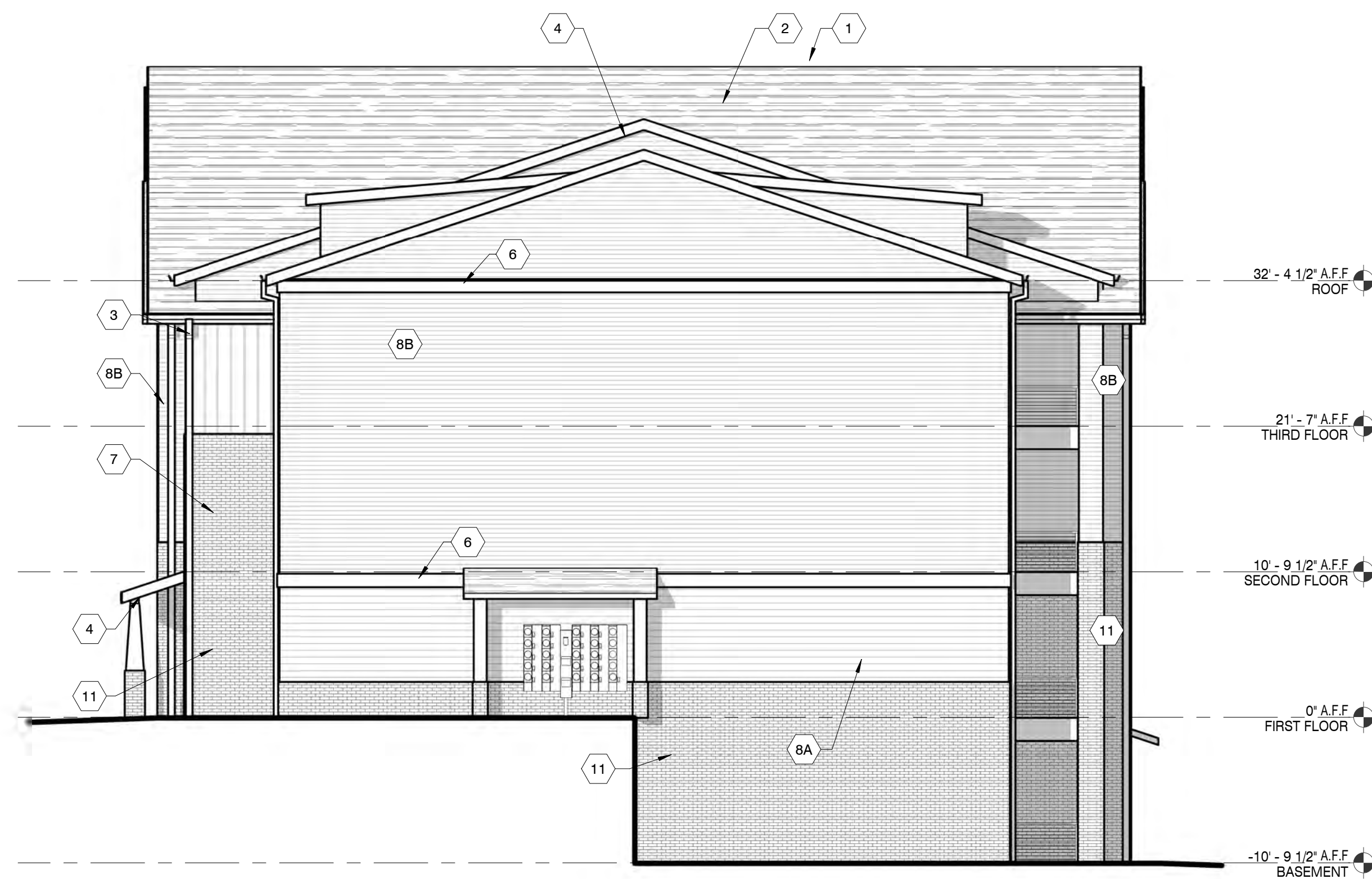
No.	Date

Sheet No.

A4.4-A



1 BLDG A3 - LEFT ELEVATION
1/8" = 1'-0"



2 BLDG A3 - RIGHT ELEVATION
1/8" = 1'-0"



1 BLDG A3 - REAR ELEVATION - PART A
1/8" = 1'-0"



2 BLDG A3 - REAR ELEVATION - PART B
1/8" = 1'-0"

ELEVATION KEYNOTES

1. CONTINUOUS RIDGE VENT (TYP.)
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15. 8 X 8 TIMBER COLUMN W/ BRICK BASE
16. STANDING SEAM METAL ROOF.

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KNOXVILLE, TN

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EXTERIOR ELEVATIONS
BUILDING TYPE A3

Date: 10/18/2021

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Sheet No.

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1 BLDG A4 - FRONT ELEVATION - PART A
1/8" = 1'-0"



2 BLDG A4 - FRONT ELEVATION - PART B
1/8" = 1'-0"

ELEVATION KEYNOTES

1. CONTINUOUS RIDGE VENT (TYP.)
2. ROOF SHINGLES OVER (2) LAYERS 15# FELT OVER ROOF DECK OVER PRE-ENGINEERED WOOD ROOF TRUSSES
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Drawing Title:
EXTERIOR ELEVATIONS
BUILDING TYPE A4

Date: 10/18/2021

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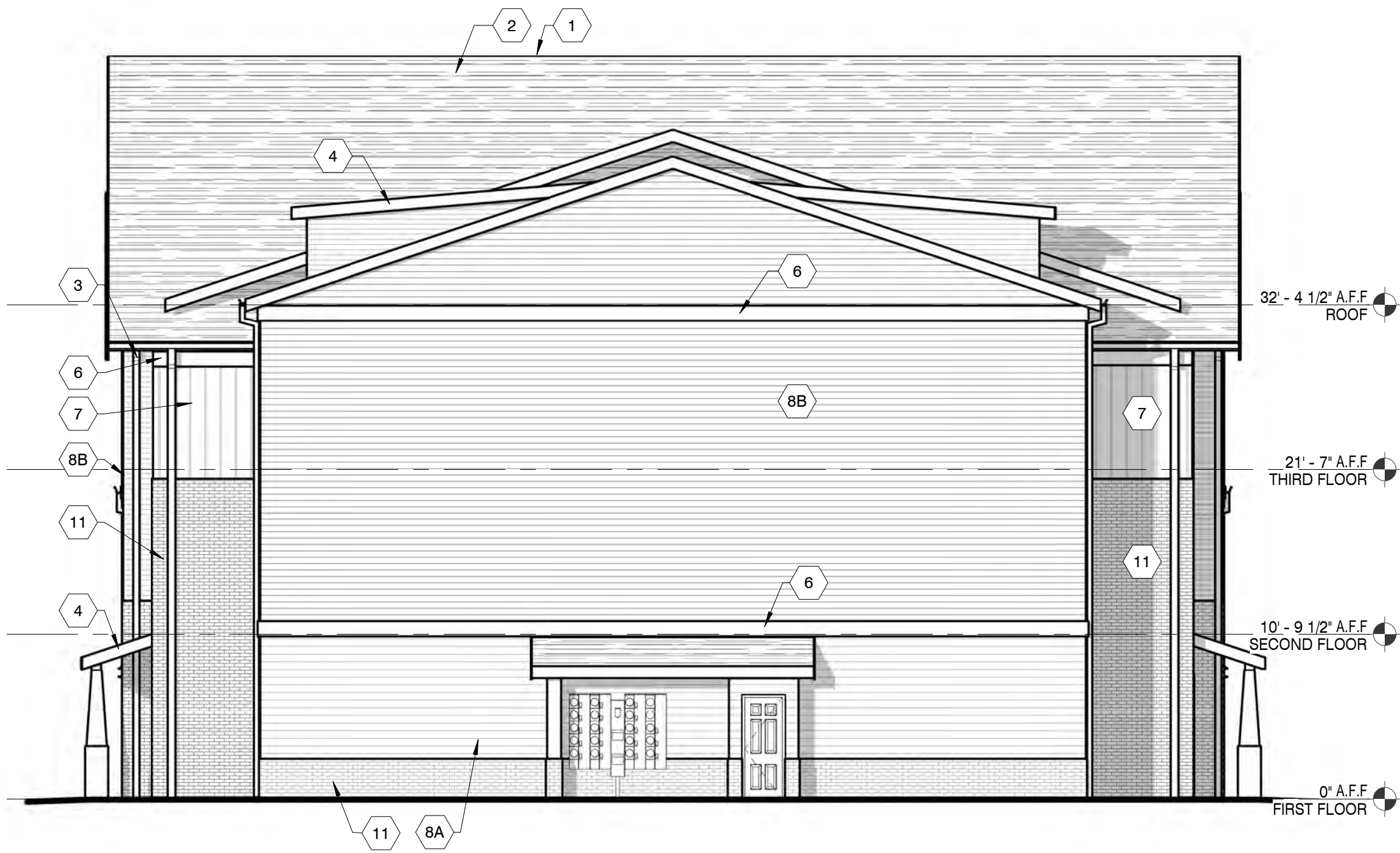
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No.	Date

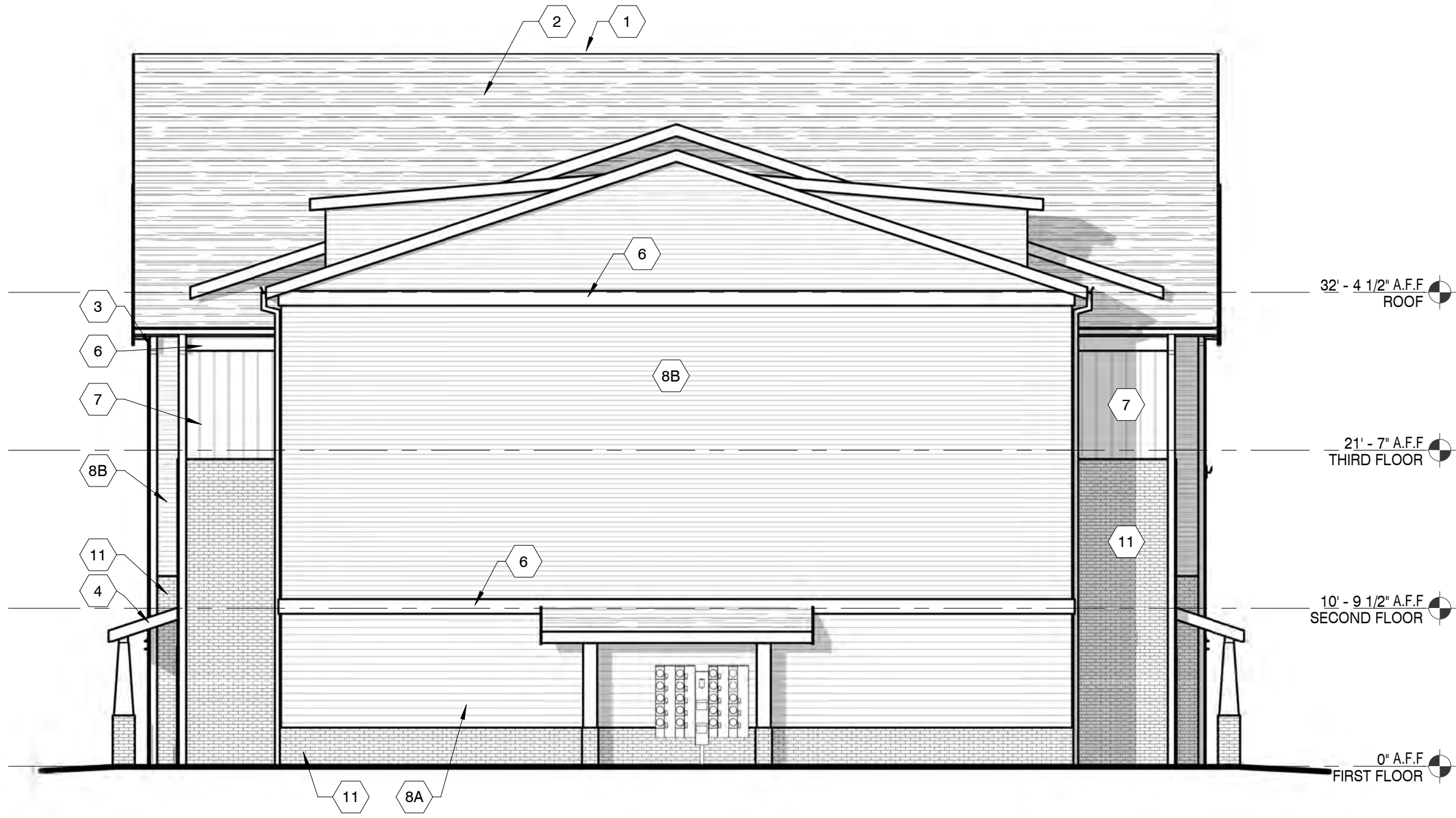
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A4.5-A

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1 BLDG A4 - LEFT ELEVATION
1/8" = 1'-0"



2 BLDG A4 - RIGHT ELEVATION
1/8" = 1'-0"

ELEVATION KEYNOTES

1. CONTINUOUS RIDGE VENT (TYP.)
2. ROOF SHINGLES OVER (2) LAYERS 15# FELT OVER ROOF DECK OVER PRE-ENGINEERED WOOD ROOF TRUSSES
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12. BRICK SILL (TYP.)
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14. METAL ROOF OVER HEAVY TIMBER BRACKET
15. 8 X 8 TIMBER COLUMN W/ BRICK BASE
16. STANDING SEAM METAL ROOF.

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EXTERIOR ELEVATIONS
BUILDING TYPE A4

Date: 10/18/2021

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21026

Revisions:

No.	Date

Sheet No.
A4.5-B



1 BLDG A4 - REAR ELEVATION - PART A
1/8" = 1'-0"



2 BLDG A4 - REAR ELEVATION - PART B
1/8" = 1'-0"

ELEVATION KEYNOTES

1. CONTINUOUS RIDGE VENT (TYP.)
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EXTERIOR ELEVATIONS
BUILDING TYPE A4

Date: 10/18/2021

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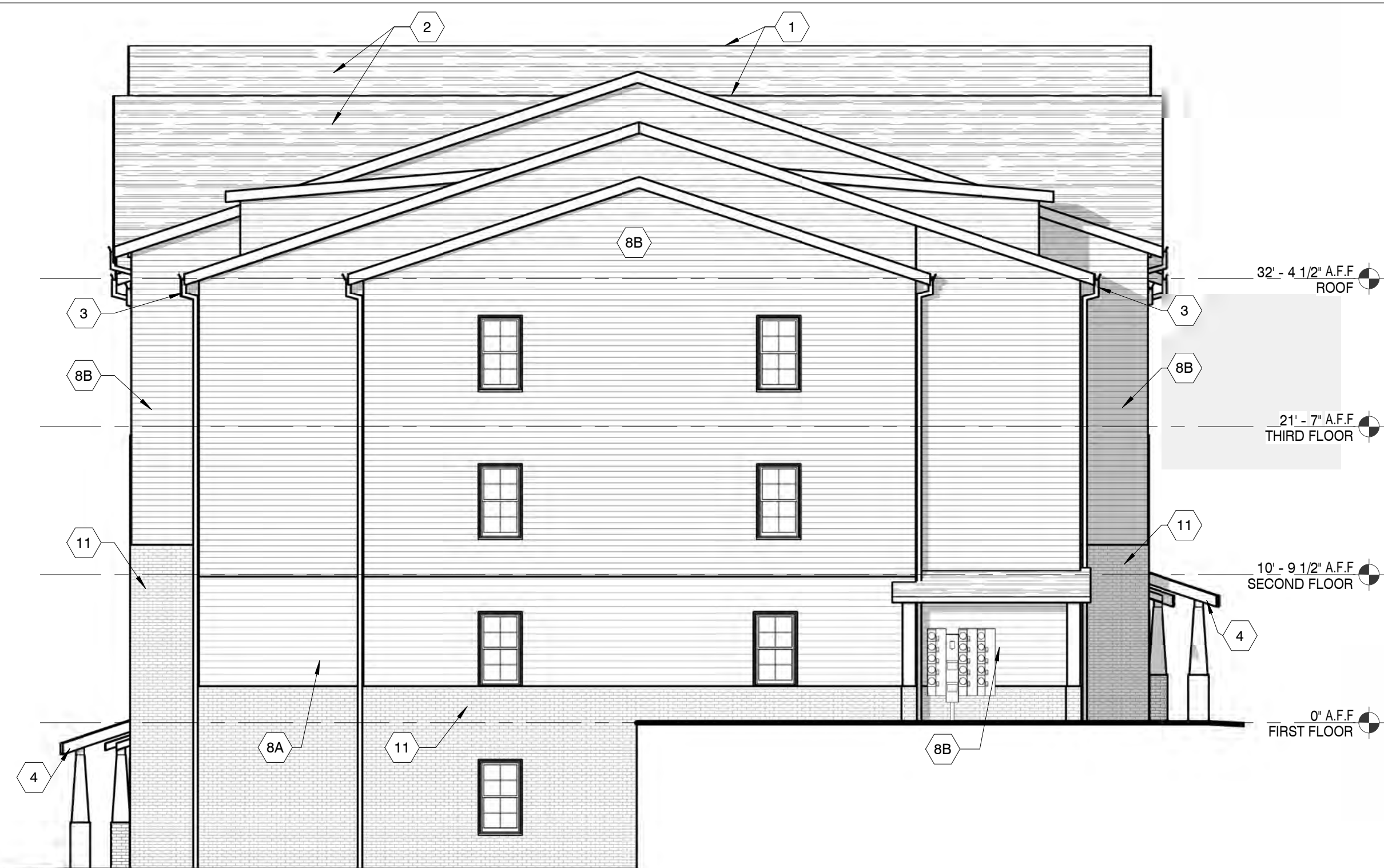
No.	Date

Sheet No.

A4.5-C



1 BLDG B - FRONT ELEVATION
1/8" = 1'-0"



2 BLDG B - LEFT ELEVATION
1/8" = 1'-0"



4 BLDG B - RIGHT ELEVATION
1/8" = 1'-0"



3 BLDG B - REAR ELEVATION
1/8" = 1'-0"

ELEVATION KEYNOTES

1. CONTINUOUS RIDGE VENT (TYP.)
2. ROOF SHINGLES OVER (2) LAYERS 15# FELT OVER ROOF DECK OVER PRE-ENGINEERED WOOD ROOF TRUSSES
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BUILDING TYPE B

Date: 10/18/2021

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A4.6

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1 BLDG B1 - FRONT ELEVATION
1/8" = 1'-0"



2 BLDG B1 - LEFT ELEVATION
1/8" = 1'-0"



4 BLDG B1 - RIGHT ELEVATION
1/8" = 1'-0"



3 BLDG B1 - REAR ELEVATION
1/8" = 1'-0"

ELEVATION KEYNOTES

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14. METAL ROOF OVER HEAVY TIMBER BRACKET
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16. STANDING SEAM METAL ROOF.

A NEW DEVELOPMENT FOR:

VINTAGE KNOXVILLE WEST
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Drawing Title:
EXTERIOR ELEVATIONS
BUILDING TYPE B1

Date: 10/18/2021

Comm. No.

21026

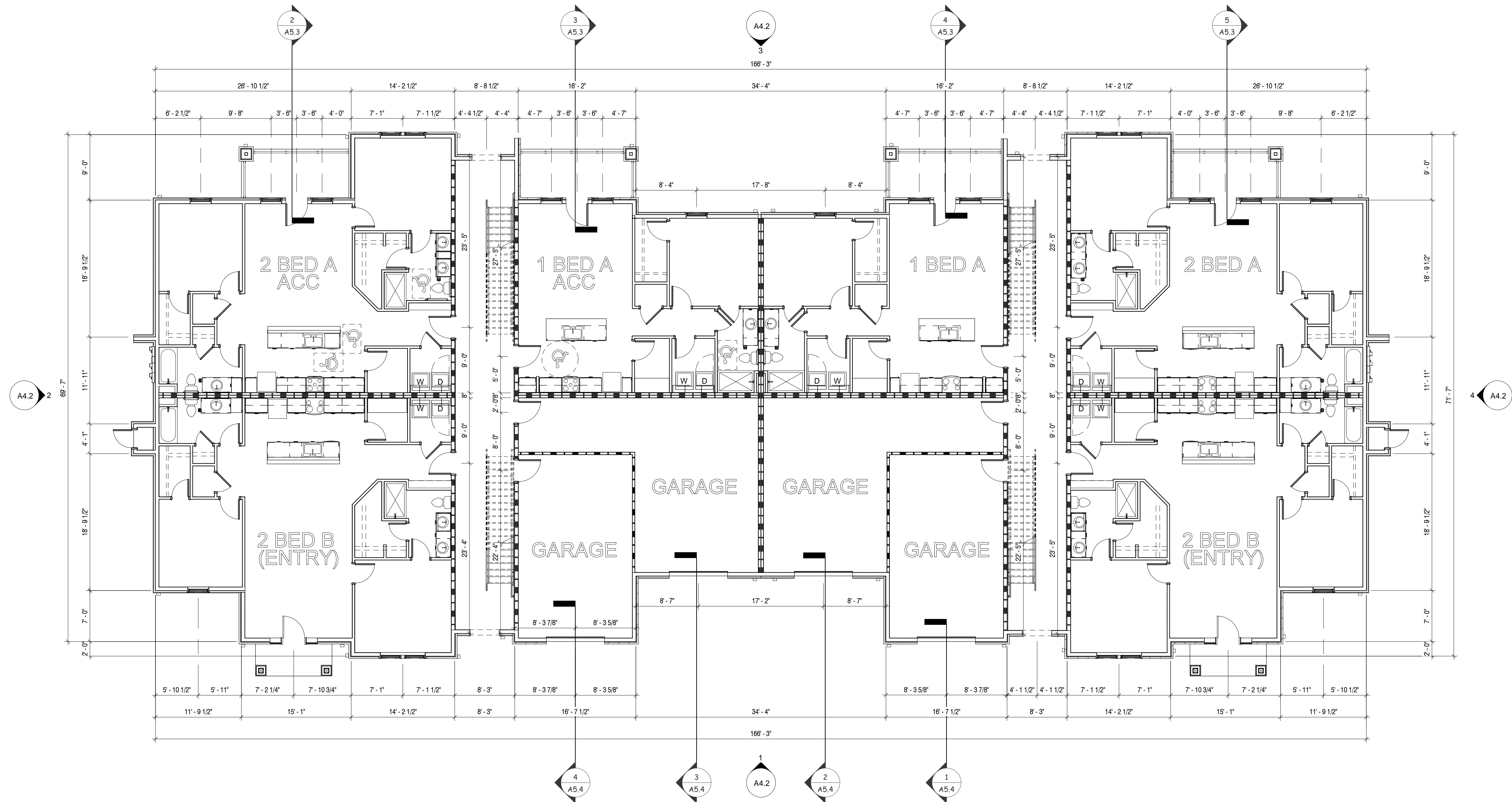
Revisions:

No.	Date

Sheet No.

A4.7

1 FIRST FLOOR PLAN
1/8" = 1'-0"



OPAQUE THERMAL ENVELOPE REQUIREMENTS

MINIMUM THERMAL REQUIREMENTS

R-49	ATTICS AND OTHER ROOFS
R-20	WOOD FRAMED WALLS ABOVE GRADE
R-10	CRAWL SPACE WALLS
R-30	FLOOR JOIST OVER CRAWL SPACE
U-0.32	OPAQUE DOORS
U-0.40	GLAZING
U-0.55	SKYLIGHTS

- ALL UNHEATED SLABS ON GRADE ARE TO HAVE R-10 RIGID PERIMETER INSULATION FULL HEIGHT OF FOUNDATION WALL AND 24" MINIMUM VERTICALLY BELOW SLAB.
- PROVIDE 15-MIL POLY VAPOR BARRIER UNDER ALL SLABS ON GRADE AND IN ALL CRAWL SPACES.
- ALL HVAC DUCTS ARE TO BE INSULATED.
- ALL REFRIGERANT LINES ARE TO BE INSULATED.
- ALL HOT WATER PIPES ARE TO BE INSULATED.

WALL LEGEND

	EXTERIOR WALL BRICK VENEER OVER HOUSE WRAP OVER 1/2" EXTERIOR SHEATHING ON 2X6 WOOD STUDS W/ 1/2" GYP. BD. ON INTERIOR. PROVIDE R-20 BATT INSULATION. REFER TO EXTERIOR ELEVATIONS FOR STONE VENEER HEIGHTS
	EXTERIOR WALL FIBER CEMENT SIDING OVER HOUSE WRAP OVER 1/2" EXTERIOR SHEATHING ON 2X6 WOOD STUDS W/ 1/2" GYP. BD. ON INTERIOR. PROVIDE R-20 BATT INSULATION.
	1 HOUR RATED BREEZEWAY WALL FIBER CEMENT SIDING OVER HOUSE WRAP OVER 1/2" EXTERIOR SHEATHING ON 2X6 WOOD STUDS W/ 5/8" FIRE RATED GYP. BD. ON INTERIOR. PROVIDE R-20 BATT INSULATION. BUILD IN ACCORDANCE WITH UL#956
	1 HOUR TENANT SEPARATION WALL DOUBLE 2x6 STUD WALL W/ 1 LAYER FIRE RATED 5/8" GYP. BD. ON OUTER SIDES AND 1 LAYER 1/2" PLYWOOD ON INSIDE OF ONE WALL. PROVIDE TWO LAYERS R-13 BATT INSULATION. BUILD WALL IN ACCORDANCE W/ UL #341.
	INTERIOR WALL PARTITION 2X4 WOOD STUDS MAX W/ 1 LAYER OF 1/2" GYP. BD. EACH SIDE.
	INTERIOR WALL PARTITION 2X6 WOOD STUDS MAX W/ 1 LAYER OF 1/2" GYP. BD. EACH SIDE.

EJ = EXPANSION JOINT

NOTES:

- REFER TO STRUCTURAL DRAWINGS FOR STUD SPACING ON ALL WALLS.
- 1/2" GYP. BD. IS TO BE USED IN LIEU OF 5/8" GYP. BD. AT ALL NON-RATED PARTITIONS
- SEE A6 SHEETS FOR ENLARGED UNIT PLANS

1A 1 - HOUR RATED WALL, UL# U356

1B 1 - HOUR RATED WALL, UL# U341

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Drawing Title:
BUILDING TYPE A1 - 1ST
FLOOR PLAN

Date: 10/18/2021

Comm. No.

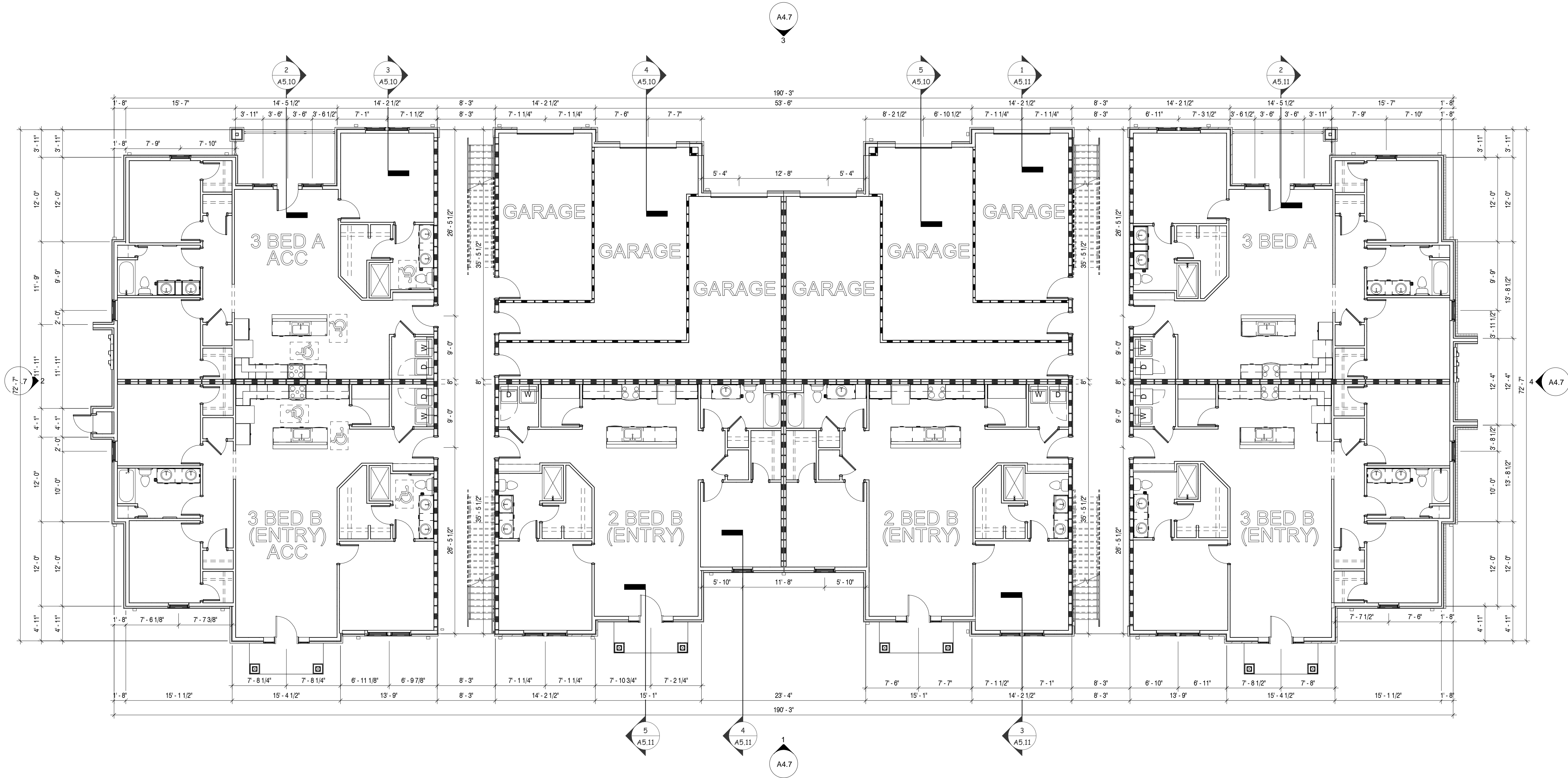
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A1.3



1 FIRST FLOOR PLAN
1/8" = 1'-0"

OPAQUE THERMAL ENVELOPE REQUIREMENTS

MINIMUM THERMAL REQUIREMENTS

R-49	ATTICS AND OTHER ROOFS
R-20	WOOD FRAMED WALLS ABOVE GRADE
R-10	CRAWL SPACE WALLS
R-30	FLOOR JOIST OVER CRAWL SPACE
U-0.32	OPAQUE DOORS
U-0.40	GLAZING
U-0.55	SKYLIGHTS

- ALL UNHEATED SLABS ON GRADE ARE TO HAVE R-10 RIGID PERIMETER INSULATION FULL HEIGHT OF FOUNDATION WALL AND 24" MINIMUM VERTICALLY BELOW SLAB.
- PROVIDE 15 MIL POLY VAPOR BARRIER UNDER ALL SLABS ON GRADE AND IN ALL CRAWL SPACES.
- ALL HVAC DUCTS ARE TO BE INSULATED.
- ALL REFRIGERANT LINES ARE TO BE INSULATED.
- ALL HOT WATER PIPES ARE TO BE INSULATED.

WALL LEGEND

	EXTERIOR WALL BRICK VENEER OVER HOUSE WRAP OVER 1/2" EXTERIOR SHEATHING ON 2X6 WOOD STUDS W/ 1/2" GYP. BD. ON INTERIOR. PROVIDE R-20 BATT INSULATION. REFER TO EXTERIOR ELEVATIONS FOR STONE VENEER HEIGHTS
	EXTERIOR WALL FIBER CEMENT SIDING OVER HOUSE WRAP OVER 1/2" EXTERIOR SHEATHING ON 2X6 WD STUDS W/ 5/8" FIRE RATED GYP. BD. ON INTERIOR. PROVIDE R-20 BATT INSULATION. BUILD IN ACCORDANCE WITH UL#356
	1 HOUR RATED BREEZEWAY WALL FIBER CEMENT SIDING OVER HOUSE WRAP OVER 1/2" EXTERIOR SHEATHING ON 2X6 WD STUDS W/ 5/8" FIRE RATED GYP. BD. ON INTERIOR. PROVIDE R-20 BATT INSULATION. BUILD IN ACCORDANCE WITH UL#356
	1 HOUR TENANT SEPARATION WALL DOUBLE 2x6 STUD WALL W/ 1 LAYER FIRE RATED 5/8" GYP. BD. ON OUTER SIDES AND 1 LAYER 1/2" PLYWOOD ON INSIDE OF ONE WALL. PROVIDE TWO LAYERS R-13 BATT INSULATION. BUILD WALL IN ACCORDANCE W/ UL #341.
	INTERIOR WALL PARTITION 2X4 WOOD STUDS MAX W/ 1 LAYER OF 1/2" GYP. BD. EACH SIDE.
	INTERIOR WALL PARTITION 2X6 WOOD STUDS MAX W/ 1 LAYER OF 1/2" GYP. BD. EACH SIDE.

EJ = EXPANSION JOINT

NOTES:

- REFER TO STRUCTURAL DRAWINGS FOR STUD SPACING ON ALL WALLS.
- 1/2" GYP. BD. IS TO BE USED IN LIEU OF 5/8" GYP. BD. AT ALL NON-RATED PARTITIONS
- SEE A6 SHEETS FOR ENLARGED UNIT PLANS

- 1A — 1 - HOUR RATED WALL, UL# U356
- 1B — 1 - HOUR RATED WALL, UL# U341

THIS DRAWING IS ISSUED FOR:

- ☒ REVIEW ONLY
☐ PERMITTING ONLY
☐ SCHEMATIC DESIGN
☐ DESIGN DEVELOPMENT
☐ CONSTRUCTION DOCUMENTS

Drawing Title:
BUILDING TYPE B1 - 1ST
FLOOR PLAN

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