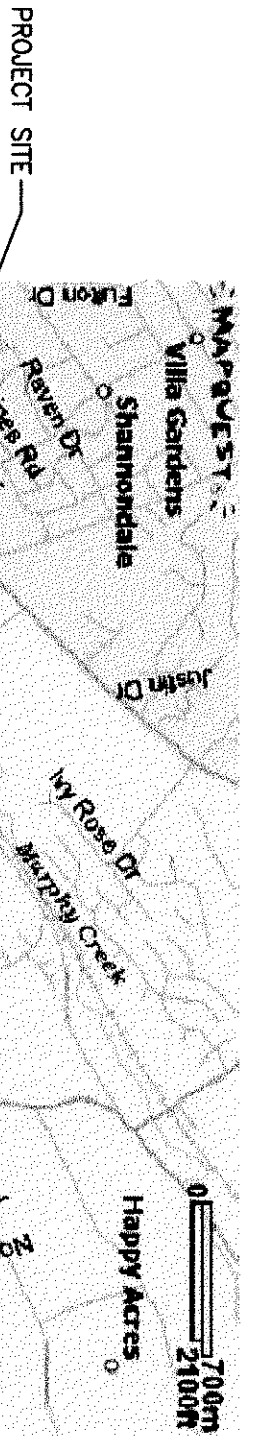
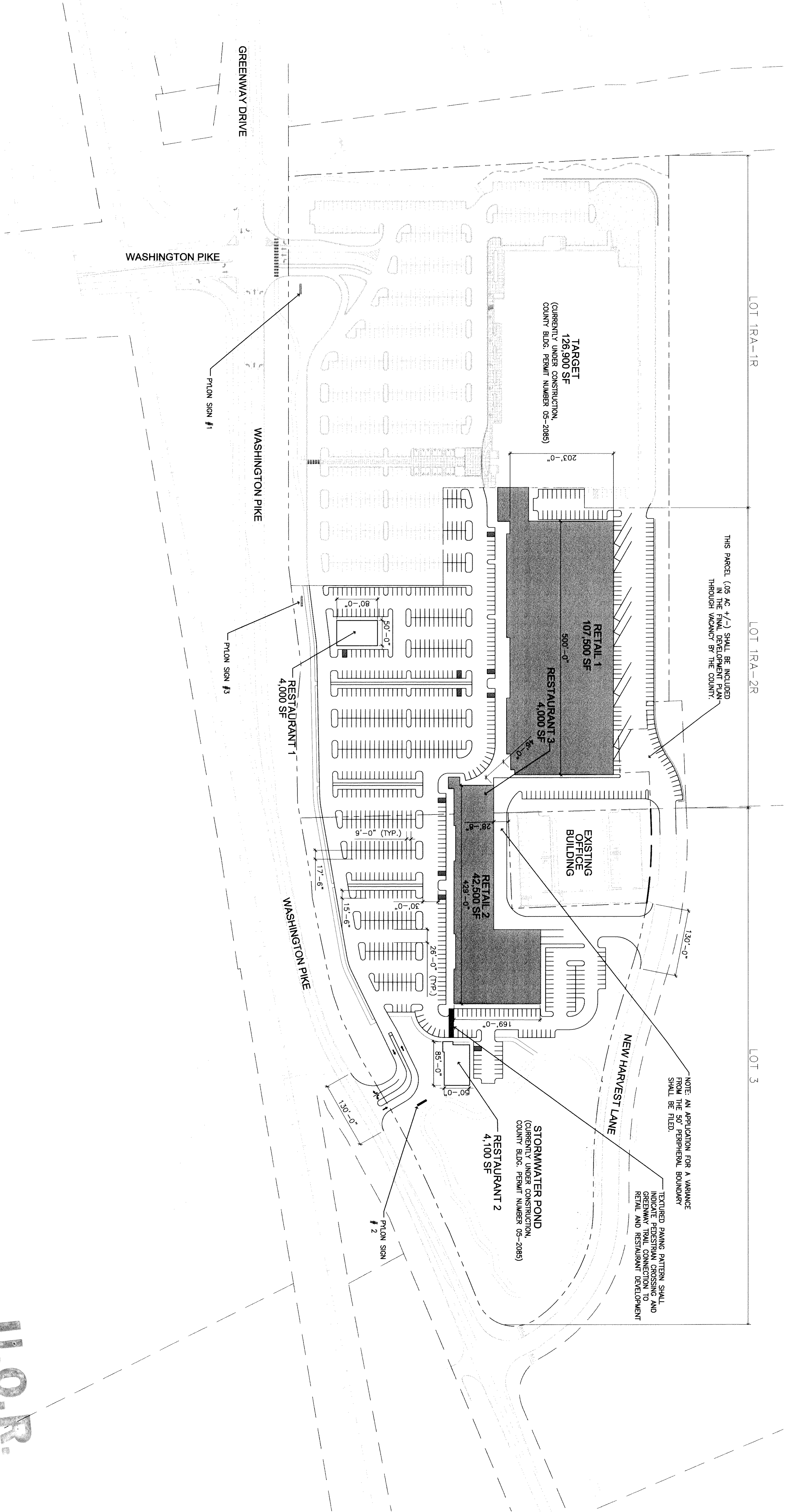


7 DEVELOPMENT PLAN
SCALE: 1/8"=1'-0"

- GENERAL NOTES
1. THE DEVELOPER WILL HAVE THE RIGHT TO INCLUDE THE AREA TRACT AS PART OF THE RETAIL DEVELOPMENT IF FUNDING NEGOTIATIONS ARE SUCCESSFUL AND RECONFIGURE RETAIL.
 2. PRIMARY BUILDINGS WILL NOT EXCEED 35' IN HEIGHT.
 3. NON-PRIMARY BUILDINGS WILL NOT EXCEED 25' IN HEIGHT.
 4. DEVELOPER RESERVES THE RIGHT TO INCREASE GLA TO A PARKING RATIO OF 4.5 CARS/1000 WITH NO ENCROACHMENT OF EXISTING RIGHT LINES.
 5. SITE UTILITIES TO BE AS PER RLK DRAWINGS.
 6. SETBACKS AS REQUIRED BY ZONING.
 7. STORMWATER POND RELOCATED APPROXIMATELY 150' EAST OF PROJECT LOCATION INDICATED ON RLK DRAWINGS.
 8. FINAL TRUCK LOADING DOCK REQUIREMENTS TO BE DETERMINED WITH TENANT REQUIREMENTS.



VICINITY MAP

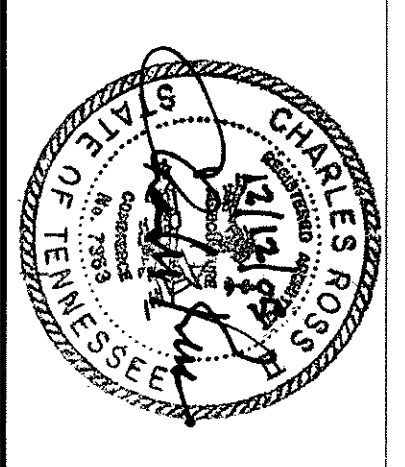
BUILDING SQUARE FOOTAGE	
RETAIL 1	107,500
RETAIL 2	42,500
TOTAL RETAIL SQUARE FOOTAGE	
150,000	
RESTAURANT 1	4,000
RESTAURANT 2	4,100
RESTAURANT 3	4,000
TOTAL RESTAURANT SQUARE FOOTAGE	
12,100	

PROPOSED PARKING SPACES	
PARKING AT FRONT	618
PARKING AT REAR	179
TOTAL PROPOSED PARKING SPACES	
797	
REQUIRED PARKING SPACES	
TOTAL RETAIL AT 4.5/1000 SQUARE FEET	
150,000 X 4.5/1000 =	675
TOTAL RESTAURANT AT 10/1000 SQUARE FEET	
12,100 X 10/1000 =	121
TOTAL REQUIRED PARKING SPACES	
796	
DIFFERENCE	
+1	

U.O.R.
DATE: 1-11-06
REVISED 12-13-05

LEVICOR, INC.
3800 OLD LATT ROAD
HOUSTON, TEXAS 77058
TARGET CENTER
WASHINGTON PIKE
KNOWLE, TEXAS 75081

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Architecture
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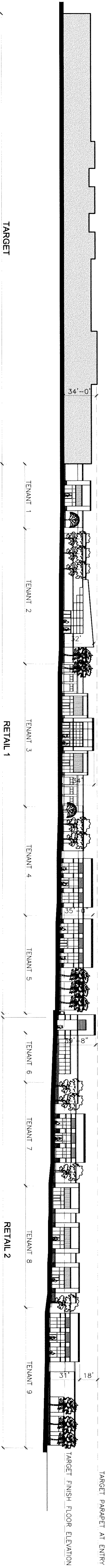
Revision
1. AS PER MPC STAFF COMMENTS
12-30-05

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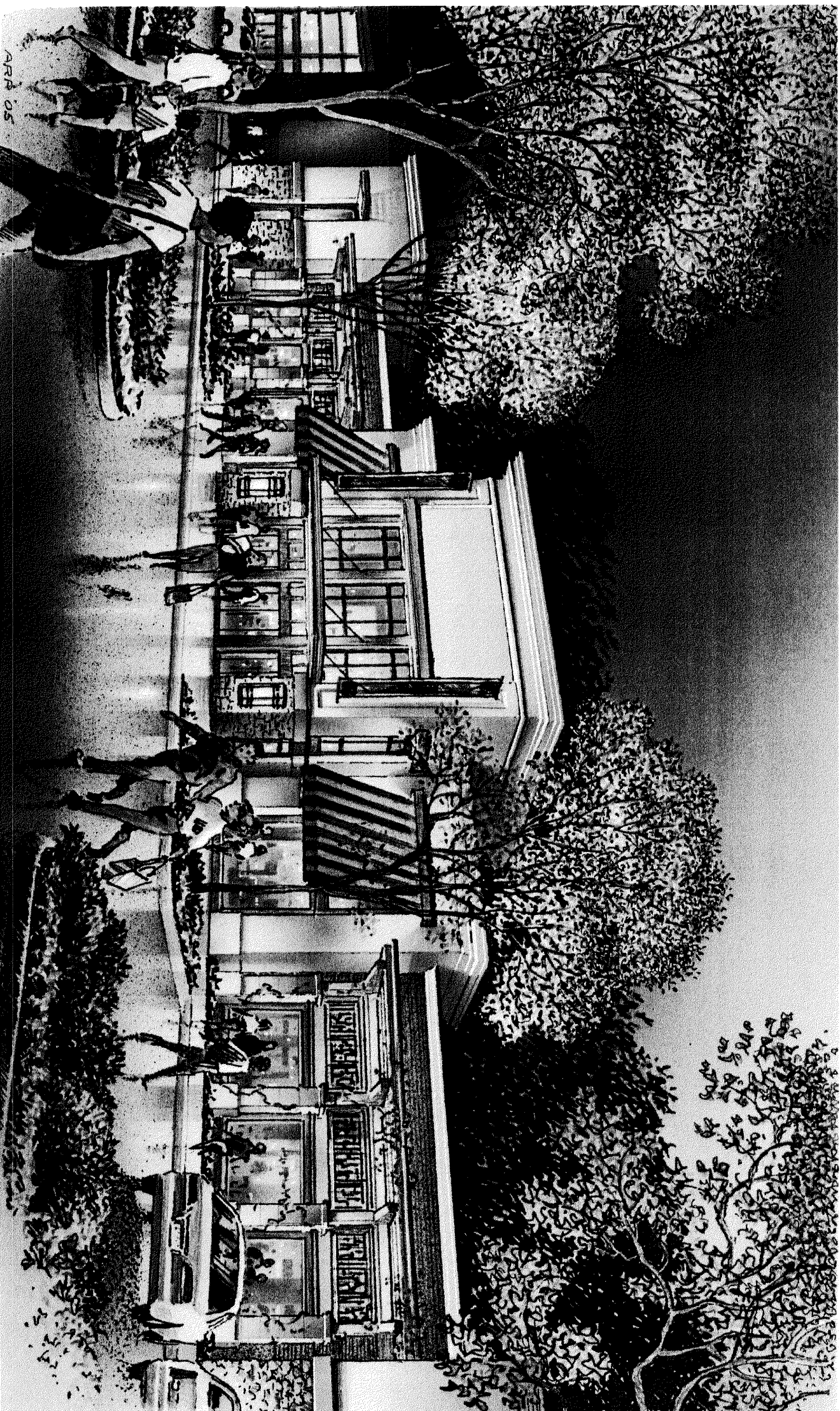
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Drawing Number: 08014
Drawing Title: 50% SITE PLAN
Date: DECEMBER 12, 2005

DEVELOPMENT
PLAN

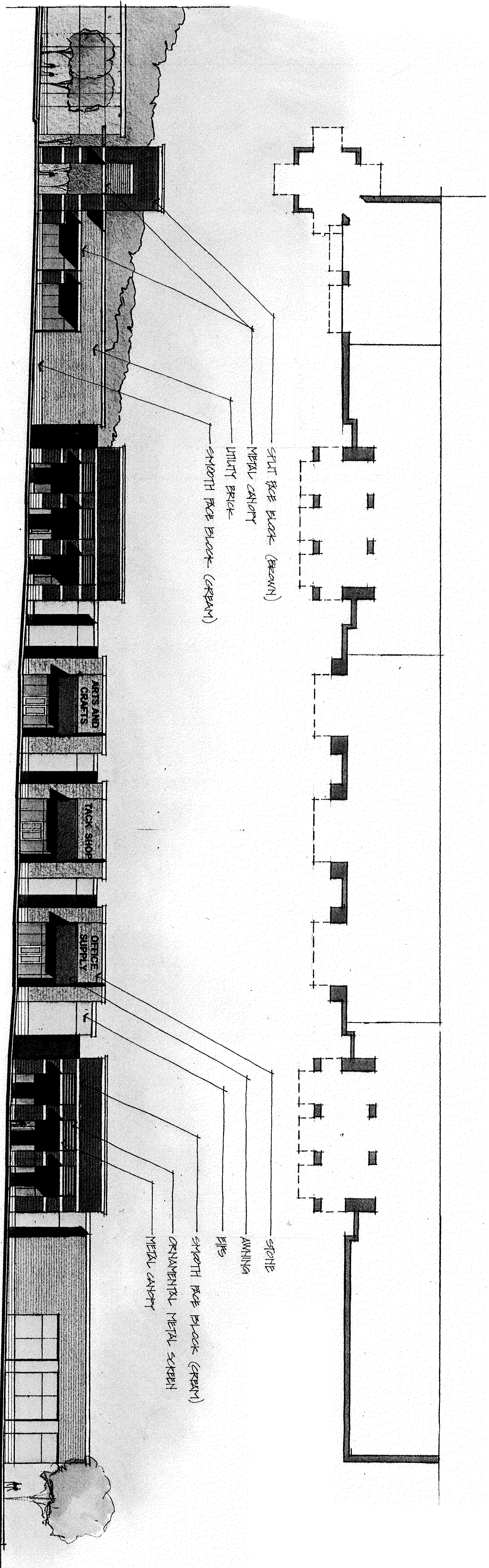
SD1.1



1 OUTLINE ELEVATION 1
SCALE: 1/8" = 1'-0"



2 RENDERING
SCALE: N.T.S.



3 ELEVATION AT RETAIL 2 (ELEVATION AT RETAIL 1 SIMILAR)
SCALE: 1/8" = 1'-0"

REVISED 12/30/05
U.O.R.
DATE 1-11-06 U.R.

LEVCOR, INC.
200 OLD FORT ROAD
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Revisions
1. AS PER MPC STAFF COMMENTS
12-30-05

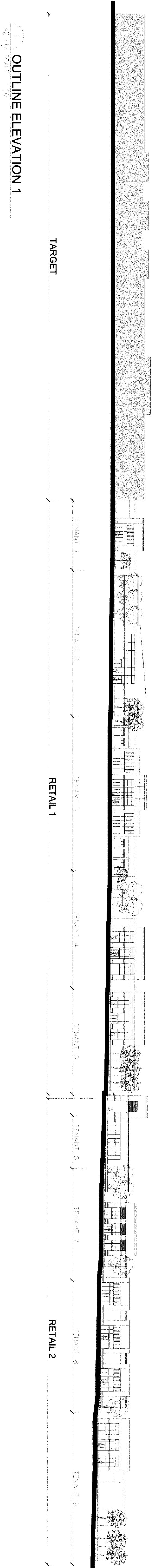
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Project: TARGET CENTER
Number: 08014
Flt/perm: 5/14-5/18/2005

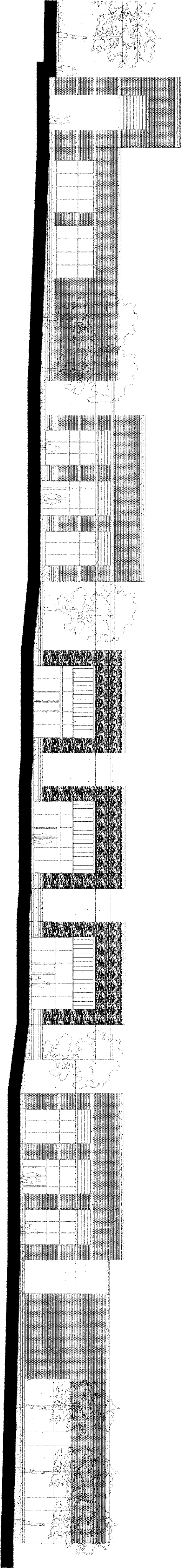
Date: DECEMBER 12, 2005

EXTERIOR ELEVATION

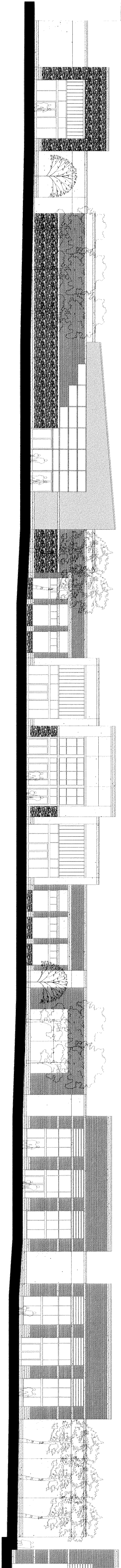
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1
OUTLINE ELEVATION 1



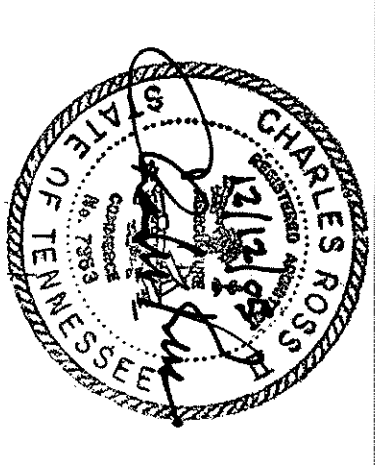
2
ELEVATION AT RETAIL 1



3
ELEVATION AT RETAIL 2

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AS PER AEC STAFF COMMENTS
12-30-05

Project: Target Center
Number: 35014
Drawing: 3014-04-11.dwg
Date: DECEMBER 12, 2005

EXTERIOR ELEVATION

REVIS
12/30/05

DATE
1-11-06-UR

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A2.11