

FOR REVIEW - NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION
1	12/22/19	MPC COMM.

SITE LAYOUT, PAVING, STRIPING & UTILITY PLAN

CASTAIC LANE DEVELOPMENT

1904 CASTAIC LANE
KNOX CO., TENNESSEE
CLT MAP 103 PARCELS 119.11
CLT 1-J-20-UR & 1-B-20-TOB



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ORIGINAL ISSUE:

OCT. 2, 2019

SHEET NO.

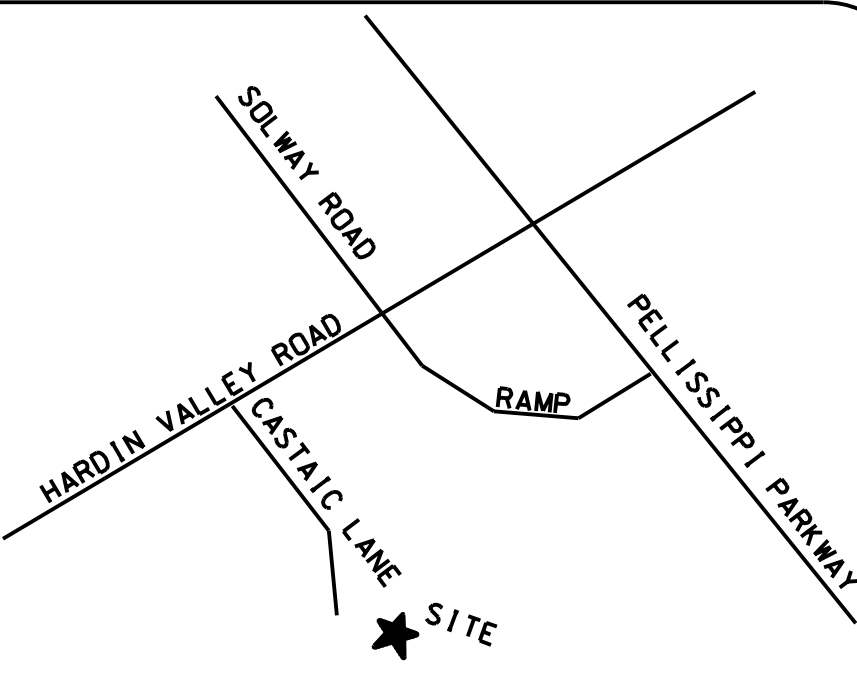
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JOB NO. 1813(2)

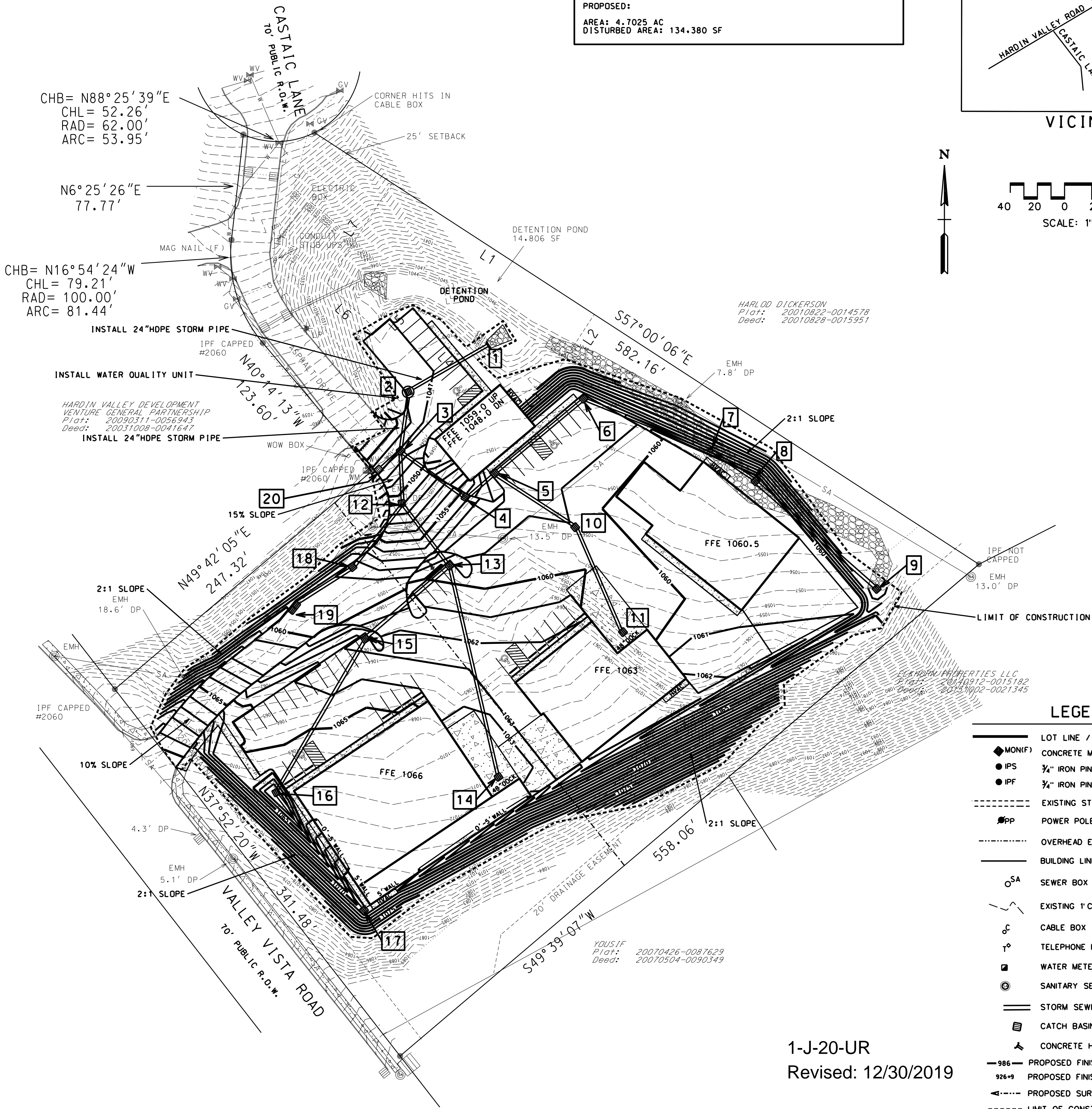
SITE DATA:

EXISTING:
ZONING: PC/TD

PROPOSED:
AREA: 4.7025 AC
DISTURBED AREA: 134,380 SF



VICINITY MAP
N.T.S.



DRAINAGE NOTES:

FOR ALL BUILDINGS:
TIE ROOF DRAINS TO EITHER CURB FACE OR CONCRETE SWALES USING 4" PVC PIPE @ 1% MIN. SLOPE AND FITTINGS.
NO ROOF WATER SHALL BE DISCHARGED ONTO PERVIOUS SURFACES.

ALL BUILDINGS SHALL HAVE 6" VERTICAL GRADE DROP TO ADJACENT GRASS AREAS. ALL GRASS AREAS SHALL SLOPE AWAY FROM THE BUILDING AT 2% SLOPE WHERE POSSIBLE AND 1% MINIMUM SLOPE.

IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE POSITIVE DRAINAGE AWAY FROM THE BUILDINGS THROUGHOUT AND AT THE END OF CONSTRUCTION.

EXCAVATE PERMANENT STORMWATER DETENTION BASIN AS FIRST ITEM OF CONSTRUCTION. PLUG LOWER LEVEL ORIFICES AND USE AS SEDIMENTATION BASINS DURING CONSTRUCTION. REMOVE ACCUMULATED SEDIMENT, AND LANDSCAPE THE BASIN WHEN THE UPSTREAM DRAINAGE AREA IS STABILIZED. SEE SWPPP.

GENERAL NOTES:

BORROW MATERIAL TO BE USED FOR FILL WILL BE TESTED FOR MAXIMUM DRY DENSITY AND OPTIMUM MOISTURE CONTENT (STANDARD PROCTOR ASTM D698) PRIOR TO PLACEMENT OF FILL.

FILL SOILS WILL BE COMPACTED IN LAYERS 8 INCHES OR LESS IN THICKNESS TO A MINIMUM OF 98 PERCENT STANDARD PROCTOR MAXIMUM DRY DENSITY AND WITHIN PLUS OR MINUS 3 PERCENT OPTIMUM MOISTURE CONTENT. SIX (6) DENSITY TESTS SHOULD BE PERFORMED NO LESS THAN EVERY 10,000 SQUARE FEET OF AREA PER 8-INCH LIFT (APPROX. 1 TEST PER EVERY 50 FEET).

A SOIL REPORT BY A LICENSED GEOTECHNICAL SHALL SUPERCEDE THE ABOVE RECOMMENDATIONS.

PRIOR TO DIGGING, CALL TENNESSEE ONE CALL TO LOCATE UTILITIES 3 OR MORE DAYS IN ADVANCE.

SEE 02 FOR TYPICAL PIPE BEDDING DETAIL. (02/4)

SEE 02 FOR TYPICAL ENVIRONMENTAL STATEMENT TO BE PLACED ON ALL STORM SEWER INLETS / MANHOLES. (02/3)

All stormwater pipes must be installed correctly with adequate pipe bedding, backfill and stormwater joint techniques.

See the following for proper installation practices:

Reinforced Concrete Pipe (RCP) - ASTM C 1479-01
Double Walled High-Density Polyethylene (HDPE) - ASTM D 2321

GRADING NOTES (SEE SWP1-4 FOR EROSION CONTROL NOTES):

- SUBGRADE FOR PAVED AND PAD AREAS SHALL BE 1.0 FOOT AND 8", RESPECTIVELY, BELOW FINISHED GRADE AND COMPACTED TO STANDARD PROCTOR ASTM D698. FILL SHALL BE ROCK OR SUITABLE SOIL ONLY, PLACED IN LIFTS OF 8" OR LESS FOR SOIL AND 2' OR LESS FOR ROCK. A GEOTECHNICAL ENGINEER SHOULD BE USED FOR COMPACTION TESTING. A SOIL REPORT BY A LICENSED GEOTECHNICAL SHALL SUPERCEDE THE ABOVE RECOMMENDATIONS.
- ALL SLOPES TO BE 3'H:1'V UNLESS OTHERWISE NOTED. NO SLOPE SHALL BE GREATER THAN 2'H:1'V.
- FINAL CONSTRUCTION PLANS TO BE APPROVED BY APPROPRIATE REVIEW AGENCIES AND PERMITS OBTAINED PRIOR TO CONSTRUCTION. PLAN SUBJECT TO CHANGE PER COMMENTS BY REVIEW AGENCIES.
- THE CONTRACTOR SHALL NOTIFY ENGINEER OF VARIANCES FROM EXISTING CONDITIONS PLAN PRIOR TO DISTURBANCES.
- ALL GRADING AND DRAINAGE ORDINANCES OF KNOX COUNTY SHALL BE FOLLOWED INCLUDING ALL OSHA REQUIREMENTS.
- NO TREES ARE TO BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR GRADING PURPOSES. TREES, STUMPS, ROOTS, DEBRIS, JUNK, AND OTHERWISE DELETERIOUS MATERIAL SHALL NOT BE BURIED OR DISPOSED OF ON SITE.
- A REPORT BY GEOTEK ENGINEERING CO., INC., 2909 ELIZABETH ST., NASHVILLE, TN 37211, PHONE 615-833-3800 HAS BEEN PROVIDED WITH DETAILS ON UNDERCUTTING EXISTING SOILS AND SHALL BE FOLLOWED. REUSABLE TOPSOIL IS TO BE STOCKPILED IN THE LOCATIONS AS DESIGNATED BY THE OWNER. EXCESS TOPSOIL, DIRT, DEBRIS, ETC. SHALL BE HAULED OFF.
- A STORM WATER POLLUTION PREVENTION PLAN HAS BEEN PREPARED FOR THIS SITE AND SHALL BE FOLLOWED AT ALL TIMES AND PRIOR TO ANY OTHER WORK.
- FINISHED FLOOR ELEVATION
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH A.D.A. GRADES ALONG ACCESSIBLE ROUTES SHALL NOT EXCEED 5%. GRADES ALONG HANDICAP RAMPS SHALL NOT EXCEED 8.33%.

LEGEND

- MON(F) LOT LINE / ROW
- CONCRETE MONUMENT (OLD)
- 1/4" IRON PIN SET (NEW)
- 1/4" IRON PIN FOUND (OLD)
- EXISTING STORM PIPE
- POWER POLE
- OVERHEAD ELECTRIC
- BUILDING LINES
- SEWER BOX
- EXISTING 1' CONTOURS
- CABLE BOX
- TELEPHONE BOX
- WATER METER
- SANITARY SEWER MANHOLE
- STORM SEWER
- CATCH BASIN
- CONCRETE HEADWALL
- 986 PROPOSED FINISHED GRADE CONTOUR
- 926+9 PROPOSED FINISHED GRADE ELEVATION
- PROPOSED SURFACE DRAINAGE DIRECTION (MIN 1%)
- LIMIT OF CONSTRUCTION
- RIPRAP APRON
- 4 STORM STRUCTURE NUMBER

1-J-20-UR

Revised: 12/30/2019

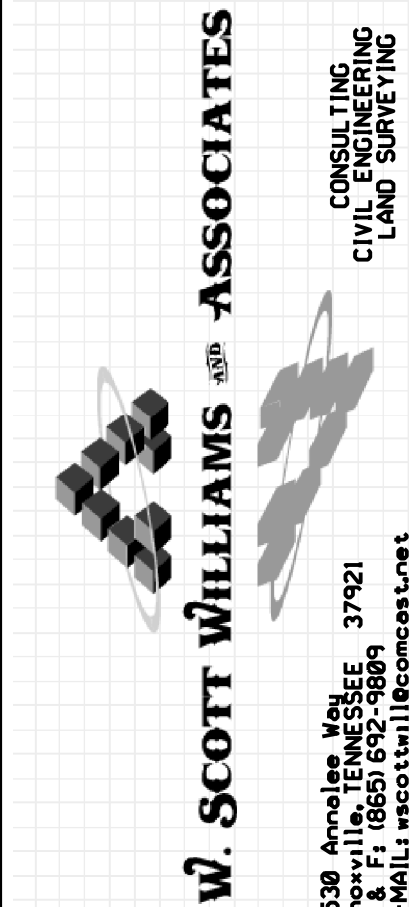
REVISIONS

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1	12/22/19	MPC COMM.

GRADING & DRAINAGE
PLAN

CASTAIC LANE DEVELOPMENT

1904 CASTAIC LANE
KNOX CO., TENNESSEE
CLT MAP 103 PARCELS 119.11
CLT 1-J-20-UR & 1-B-20-T0B



CLIENT:
V & V Construction

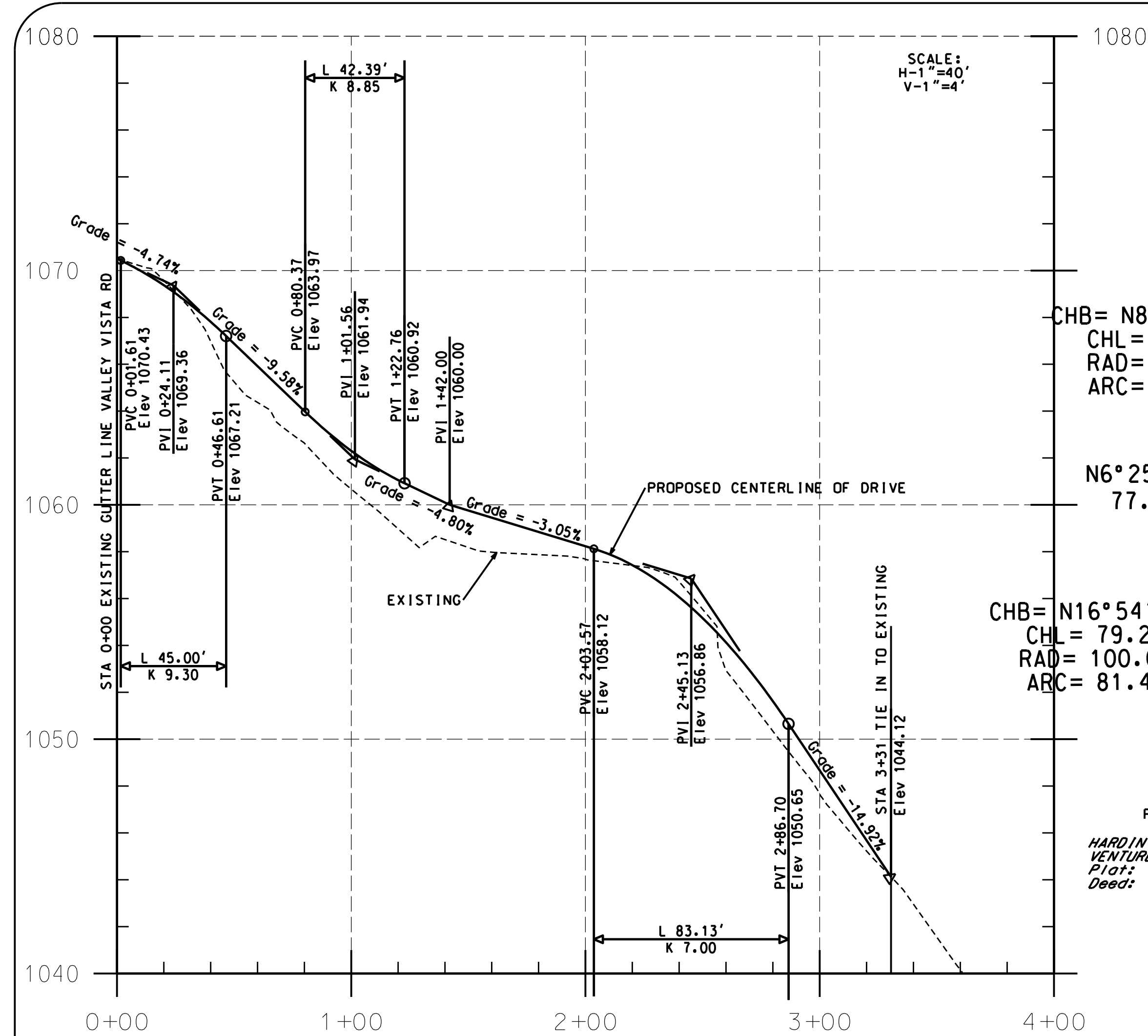
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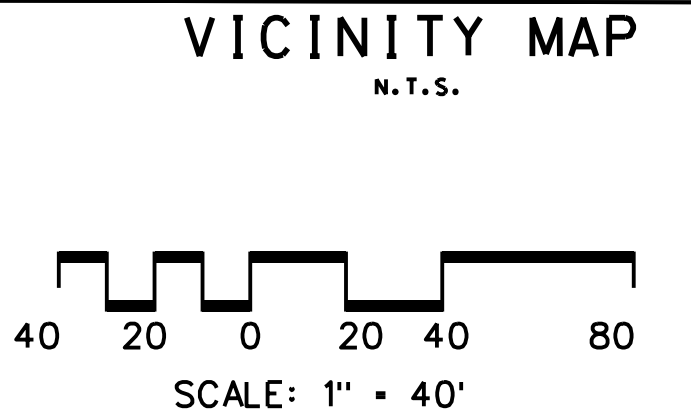
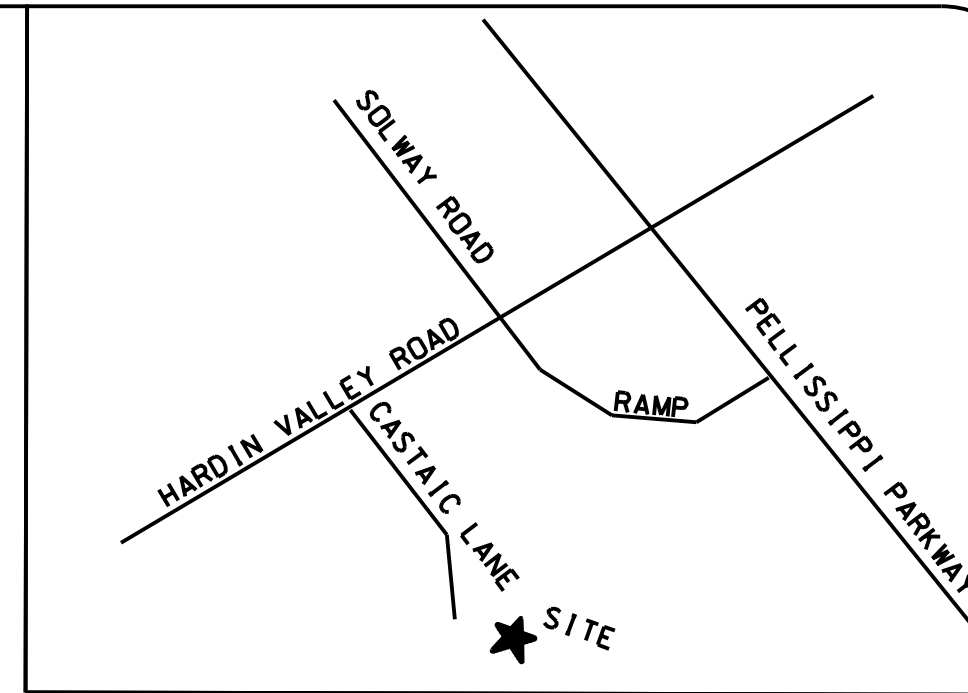
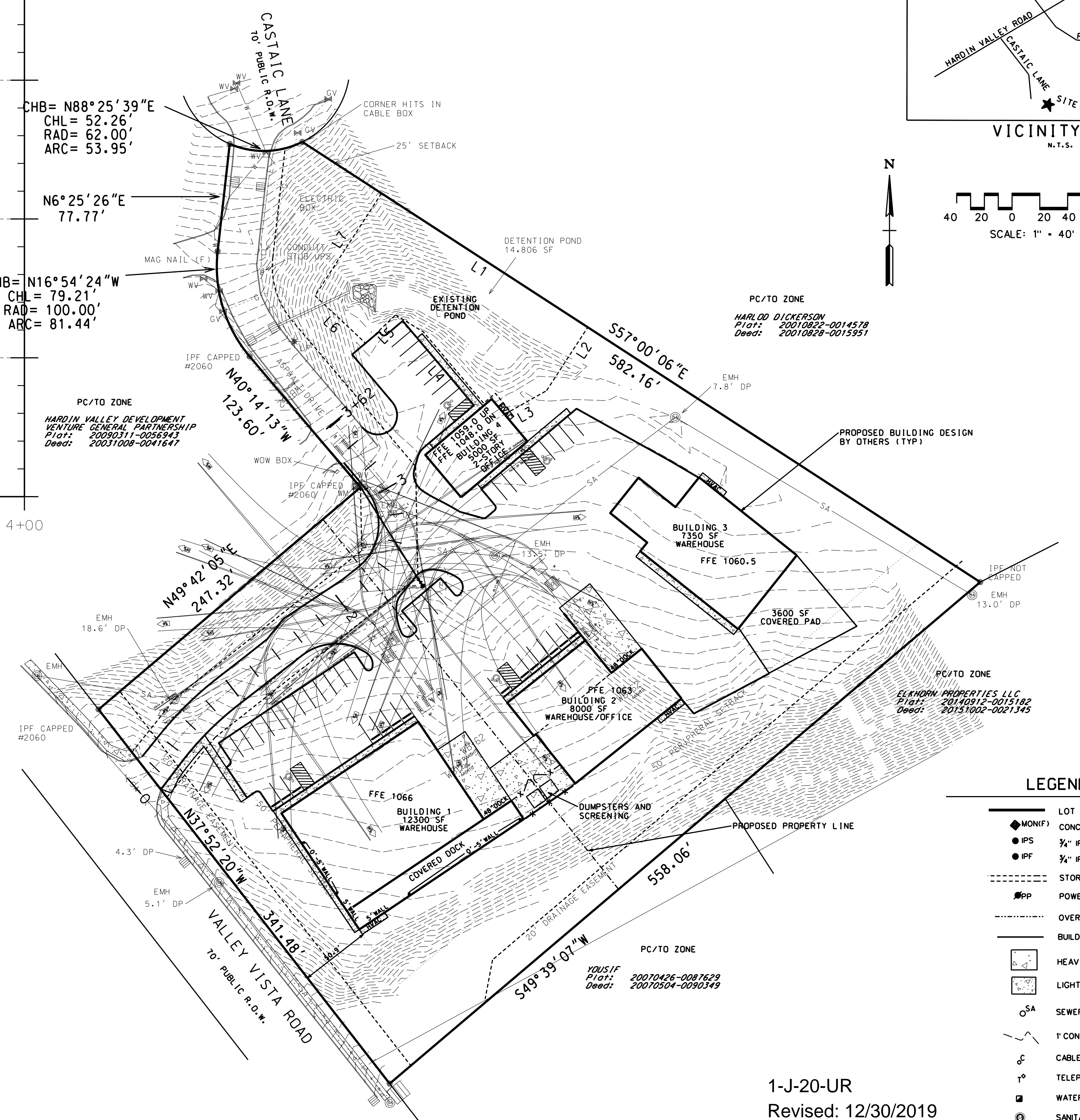
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JOB NO. 1813(2)



DRIVEWAY PROFILE



- LEGEND**
- LOT LINE / ROW
 - CONCRETE MONUMENT (OLD)
 - 3/4" IRON PIN SET (NEW)
 - 3/4" IRON PIN FOUND (OLD)
 - STORM PIPE
 - POWER POLE
 - OVERHEAD ELECTRIC
 - BUILDING LINES
 - HEAVY DUTY CONCRETE
 - LIGHT DUTY CONCRETE
 - SEWER BOX
 - 1' CONTOURS
 - CABLE BOX
 - TELEPHONE BOX
 - WATER METER
 - SANITARY SEWER MANHOLE
 - PARKING SPACE COUNT

1-J-20-UR
Revised: 12/30/2019

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TRUCK TEMPLATE PLAN & ROAD PROFILE

CASTAIC LANE DEVELOPMENT

1904 CASTAIC LANE
KNOX CO., TENNESSEE
CLT MAP 103 PARCELS 119.11
CLT 1-J-20-UR & 1-B-20-T0B

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REGISTERED ENGINEER
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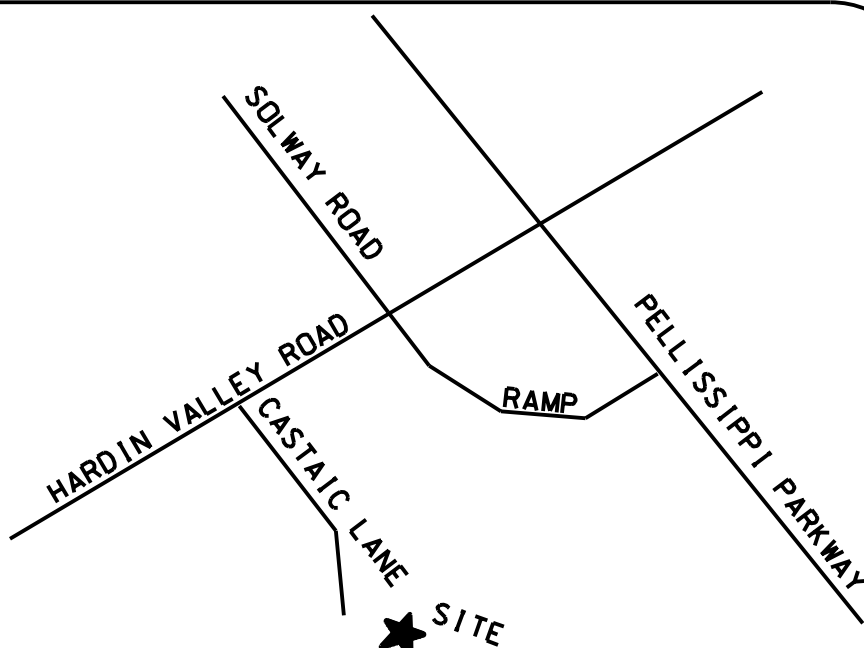
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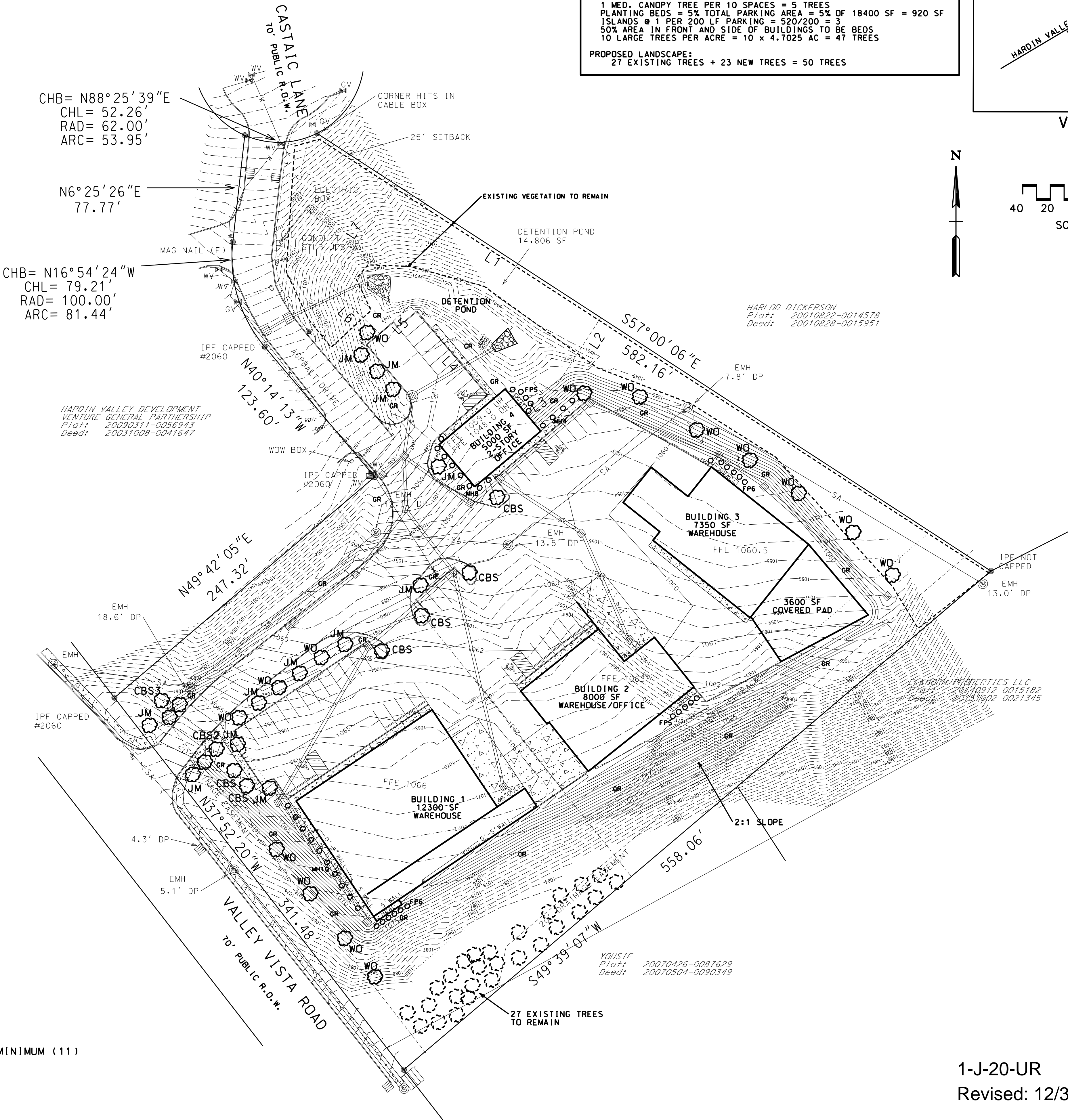
JOB NO. 1813(2)

SITE DATA:

EXISTING:
ZONING: PC/TO
REQUIRED LANDSCAPE:
1 MED. CANOPY TREE PER 10 SPACES = 5 TREES
PLANTING BEDS = 5% TOTAL PARKING AREA = 5% OF 18400 SF = 920 SF
ISLANDS @ 1 PER 200 LF PARKING = 520/200 = 3
50% AREA IN FRONT AND SIDE OF BUILDINGS TO BE BEDS
10 LARGE TREES PER ACRE = 10 x 4.7025 AC = 47 TREES
PROPOSED LANDSCAPE:
27 EXISTING TREES + 23 NEW TREES = 50 TREES



VICINITY MAP
N.T.S.



LANDSCAPING NOTES:
CONTRACTOR TO PROVIDE PLANT LIST TO OWNER FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
ALL LANDSCAPING TO COMPLY WITH TTCDA AND KNOX COUNTY LANDSCAPE REQUIREMENTS.

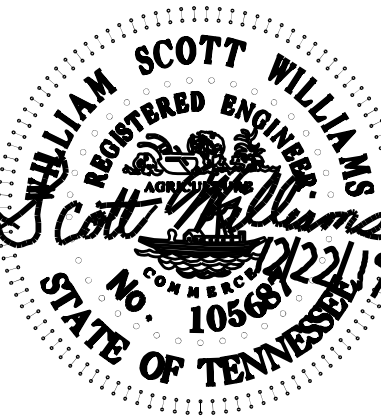
- LANDSCAPE LEGEND
- FP FIREPOWER (Nandina domestica)
 - MH MANHATTAN (Euonymus kiautschovicus)
 - JM JAPANESE MAPLE (Acer palmatum) 2 INCH CALIPER MINIMUM (12)
 - CBS COLORADO BLUE SPRUCE (Picea pungens glauca(v)) 2 INCH CALIPER MINIMUM (11)
 - WO WILLOW OAK (Quercus phellos) 2 INCH CALIPER MINIMUM (15)
 - PROPOSED TREE
 - PROPOSED GRASS / LANDSCAPE AREA
 - PROPOSED BUSH
 - PERVIOUS AREA / OPEN SPACE

1-J-20-UR
Revised: 12/30/2019

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LANDSCAPE PLAN
CASTAIC LANE DEVELOPMENT
1904 CASTAIC LANE
KNOX CO., TENNESSEE
CLT MAP 103 PARCELS 119.11
1-J-20-UR & 1-B-20-T0B



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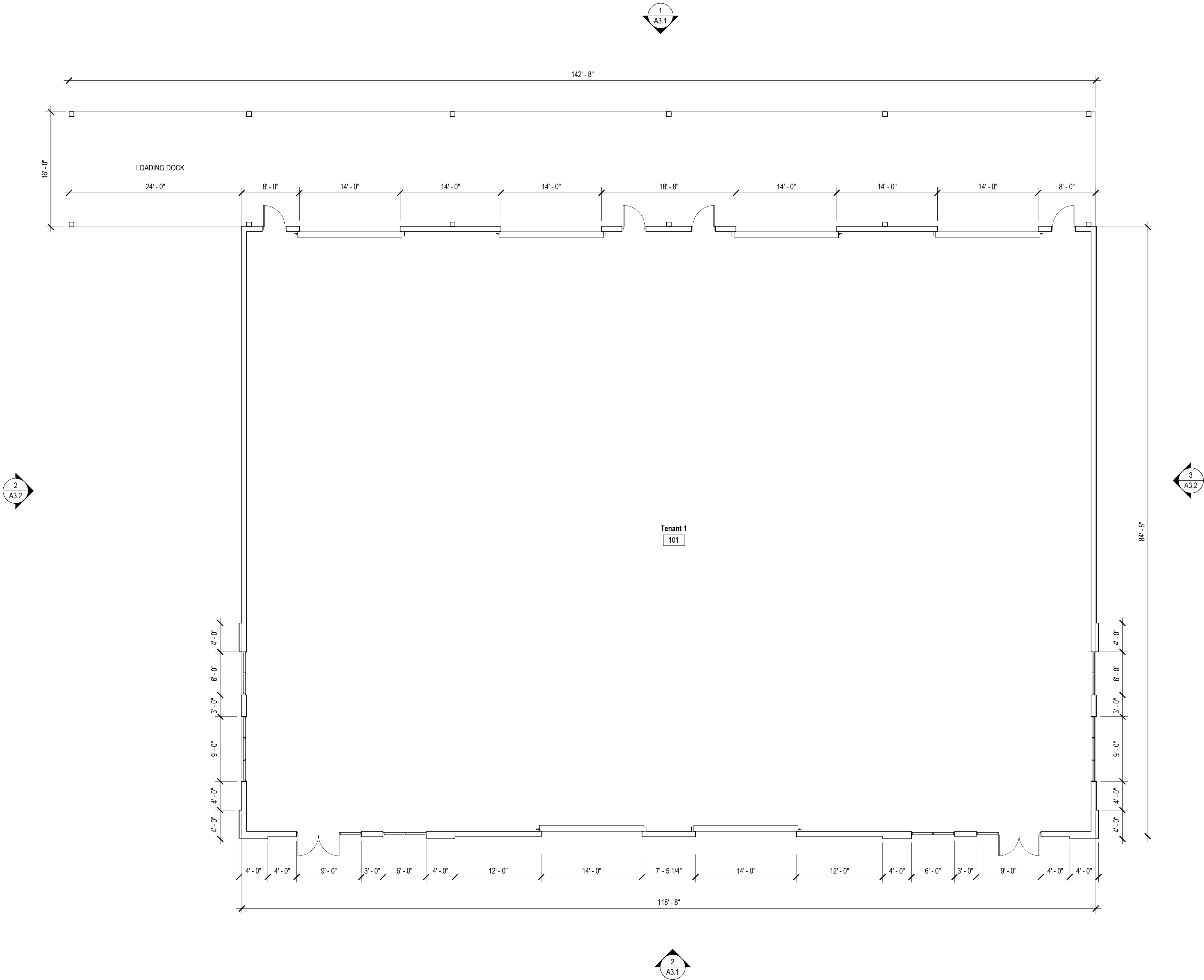
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18651 Lovell Rd.
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1 Level 1
1/8" = 1'-0"



1-J-20-UR
Revised: 12/30/2019

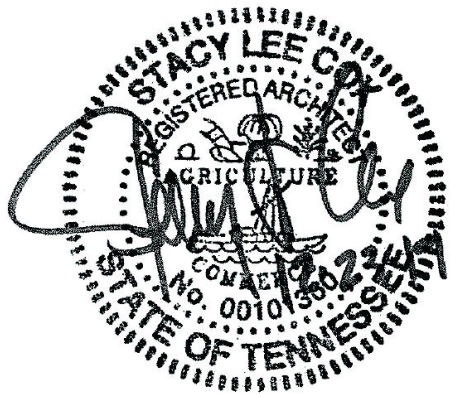


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1904 Castaic Lane
Building 1
1904 Castaic Lane
Knoxville, TN 37932



Project Phase: Schematic Design

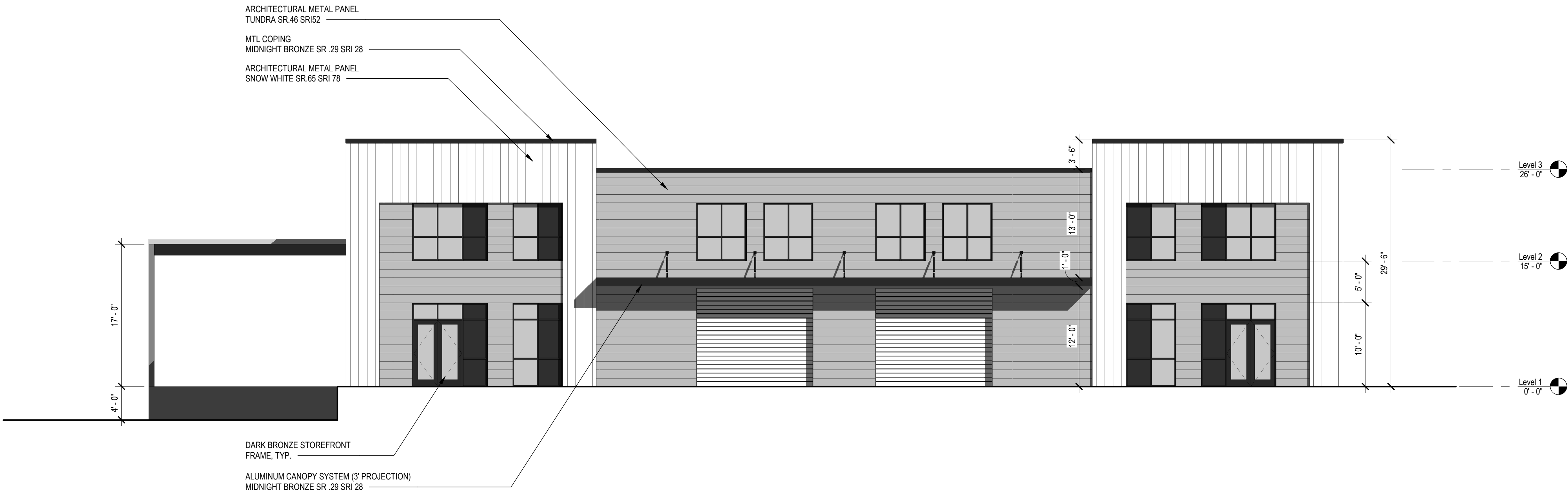
Issue Date: 11/25/19		
Revisions		
No.	Description	Date

Job Number: 19077.01
First Floor Plan

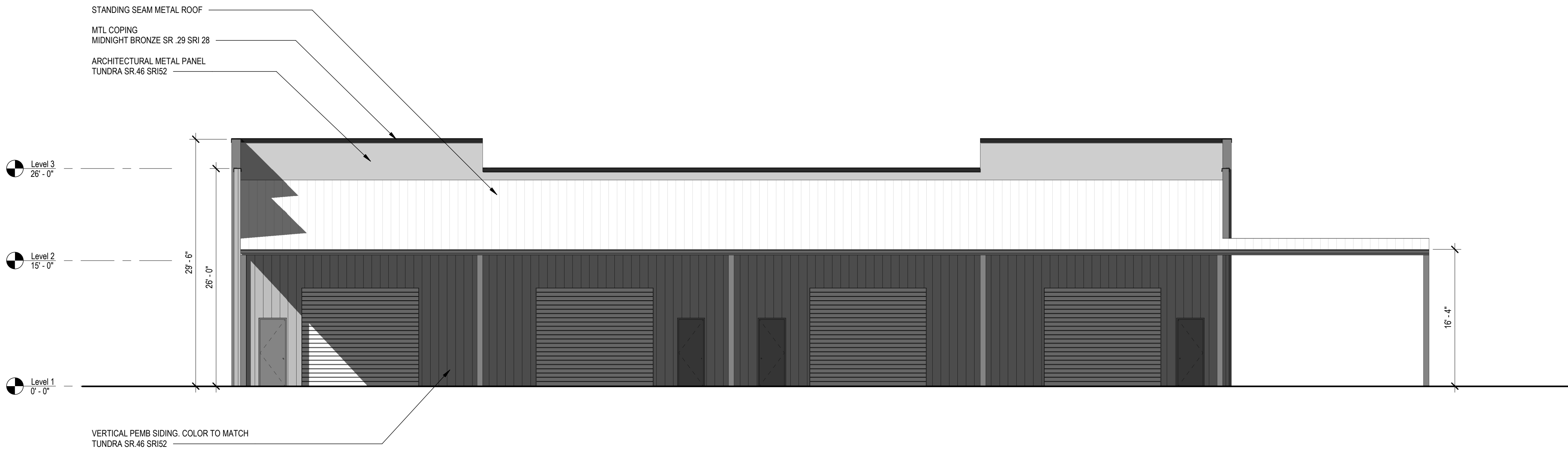
A1.1

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2 Building 1 - North Elevation
1/8" = 1'-0"



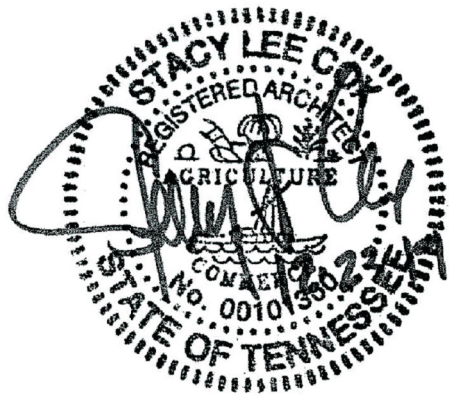
1 Building 1 - South Elevation
1/8" = 1'-0"

1-J-20-UR
Revised: 12/30/2019

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1904 Castaic Lane
Building 1
1904 Castaic Lane
Knoxville, TN 37932



Project Phase: Schematic Design

Issue Date: 11/25/19

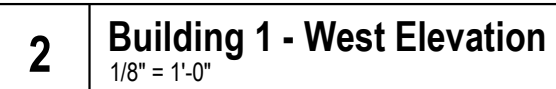
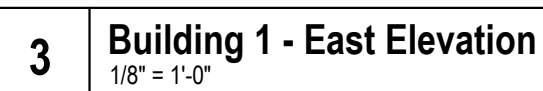
Revisions

No.	Description	Date

Job Number: 19077.01

Elevations

A3.1



Exterior Materials Legend

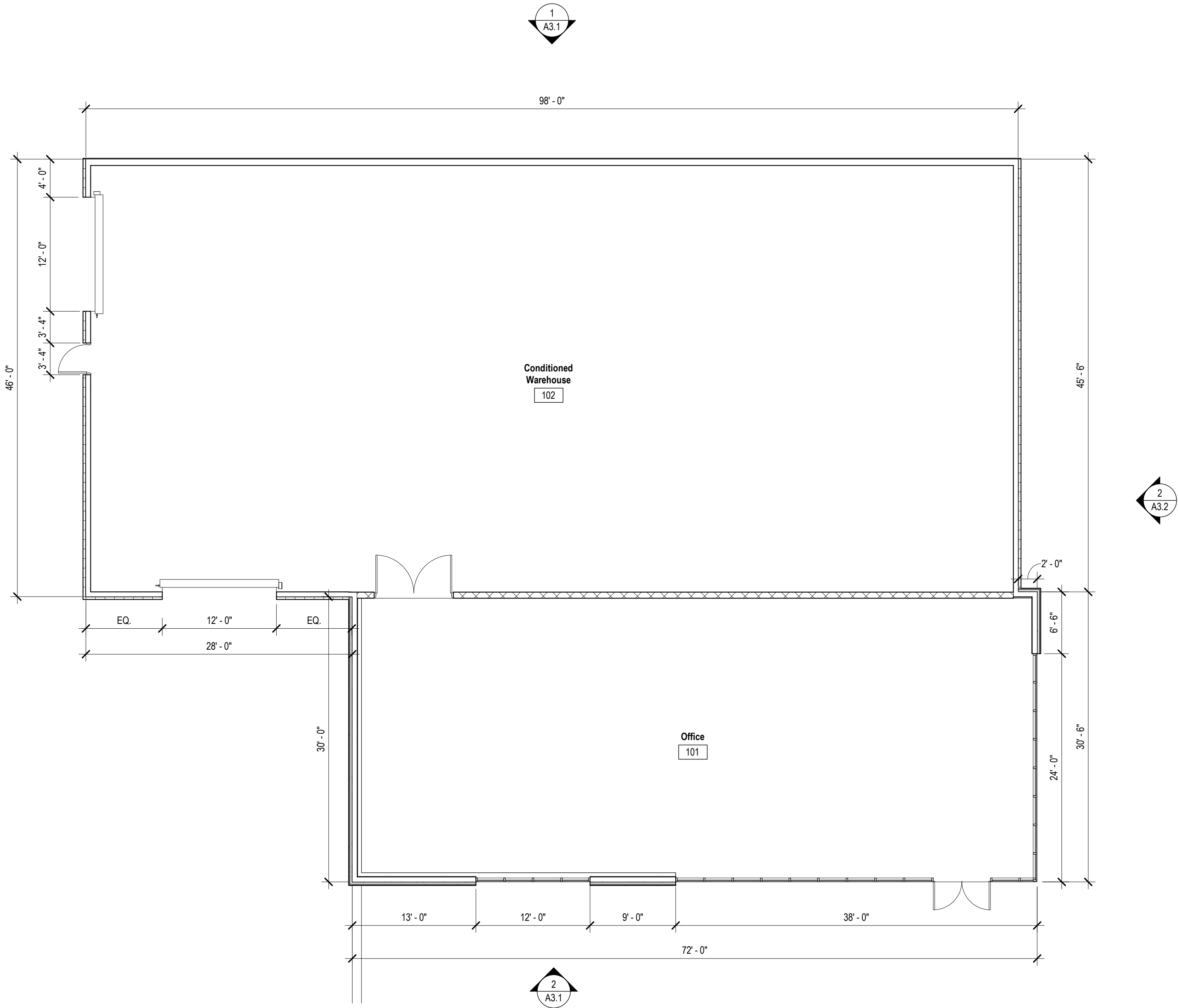
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1

Level 1

1/8" = 1'-0"



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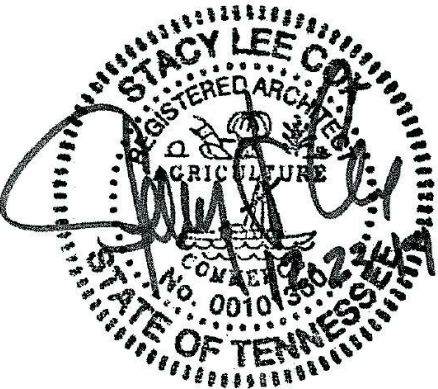


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1-J-20-UR 1-B-20-TOB
1904 Castaic Lane Building 2
1904 Castaic Lane
Knoxville, TN 37932



Project Phase: Schematic Design

Issue Date: 11/25/19

Revisions

No.	Description	Date

Job Number: 19077.02

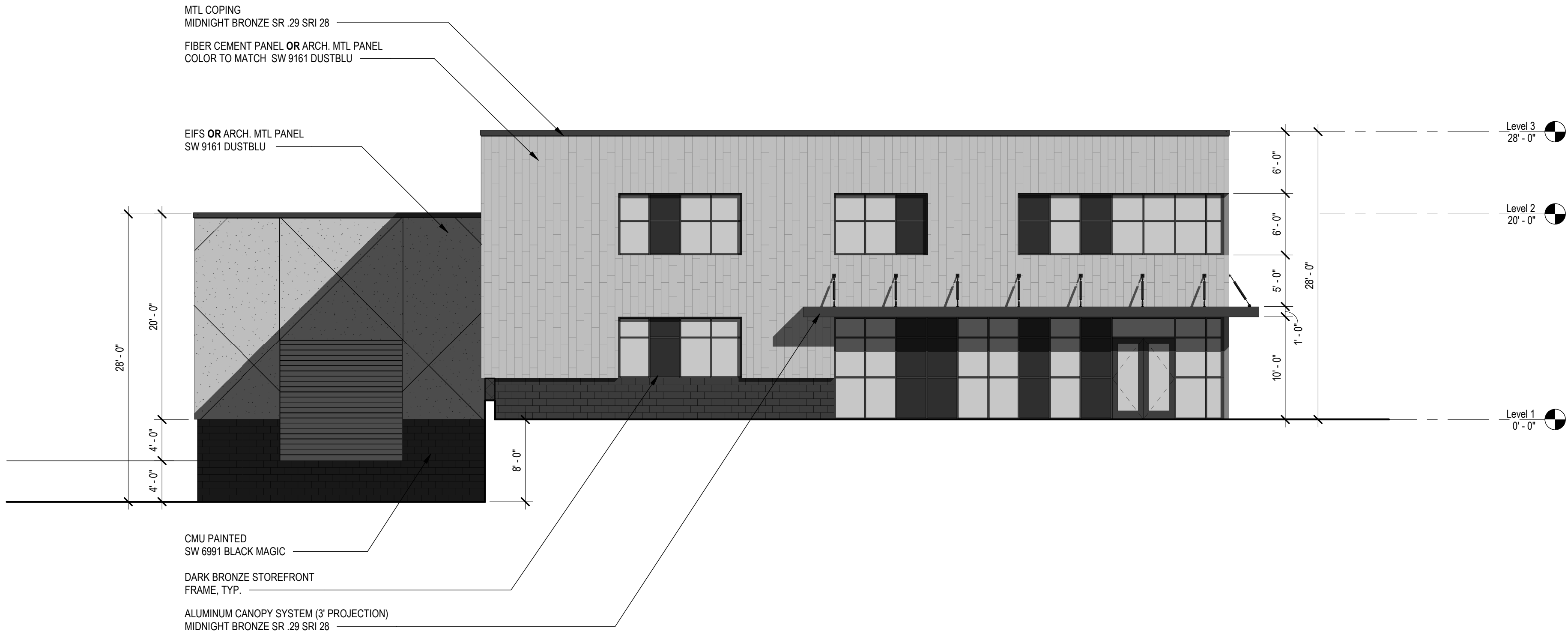
First Floor Plan

A1.1

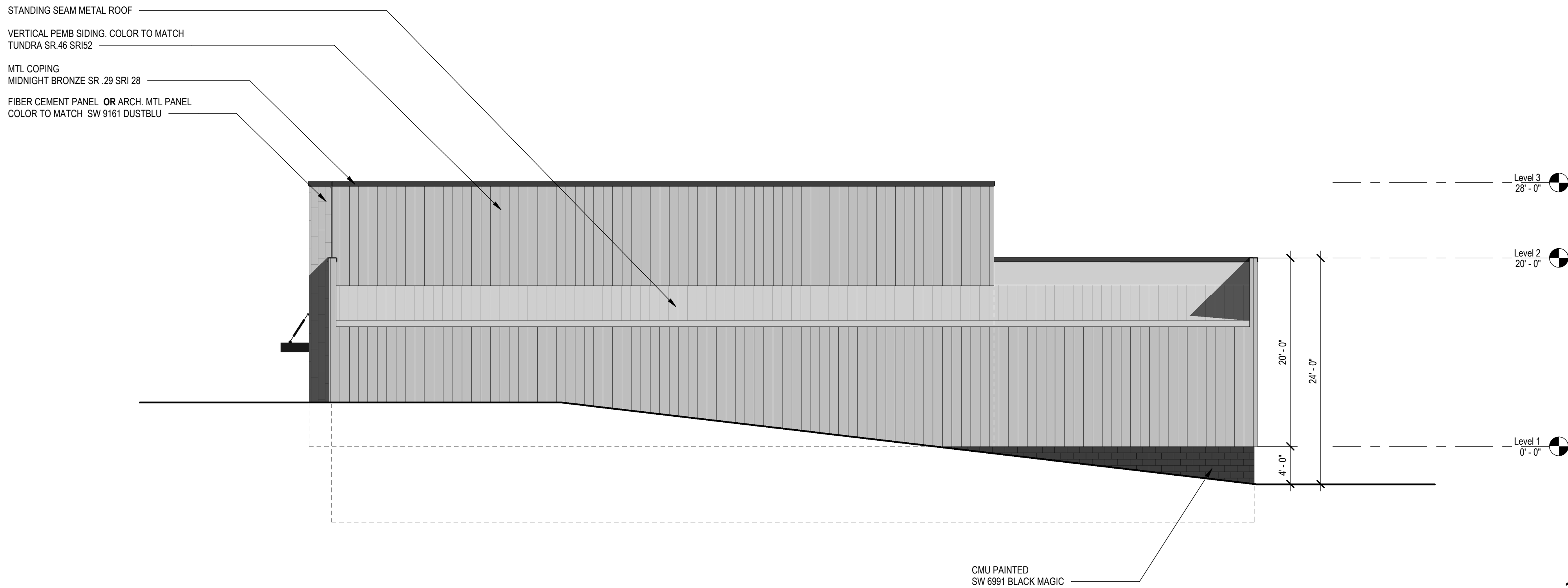
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2 Building 2 - North Elevation
1/8" = 1'-0"



1 Building 2 - South Elevation
1/8" = 1'-0"



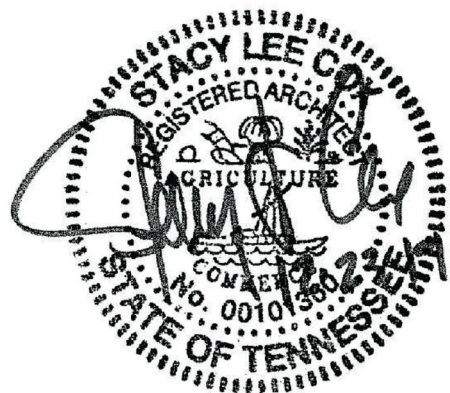
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Knoxville, TN 37932



Project Phase: Schematic Design

Issue Date: 11/25/19

Revisions

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Job Number: 19077.02

Elevations

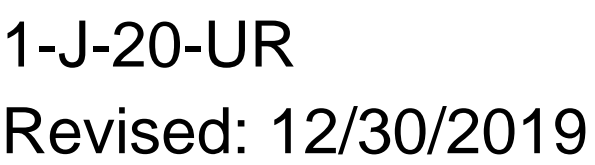
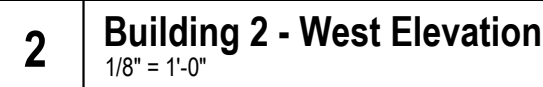
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Job Number: 19077.02
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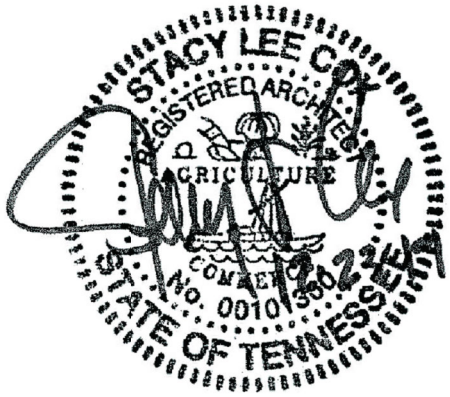
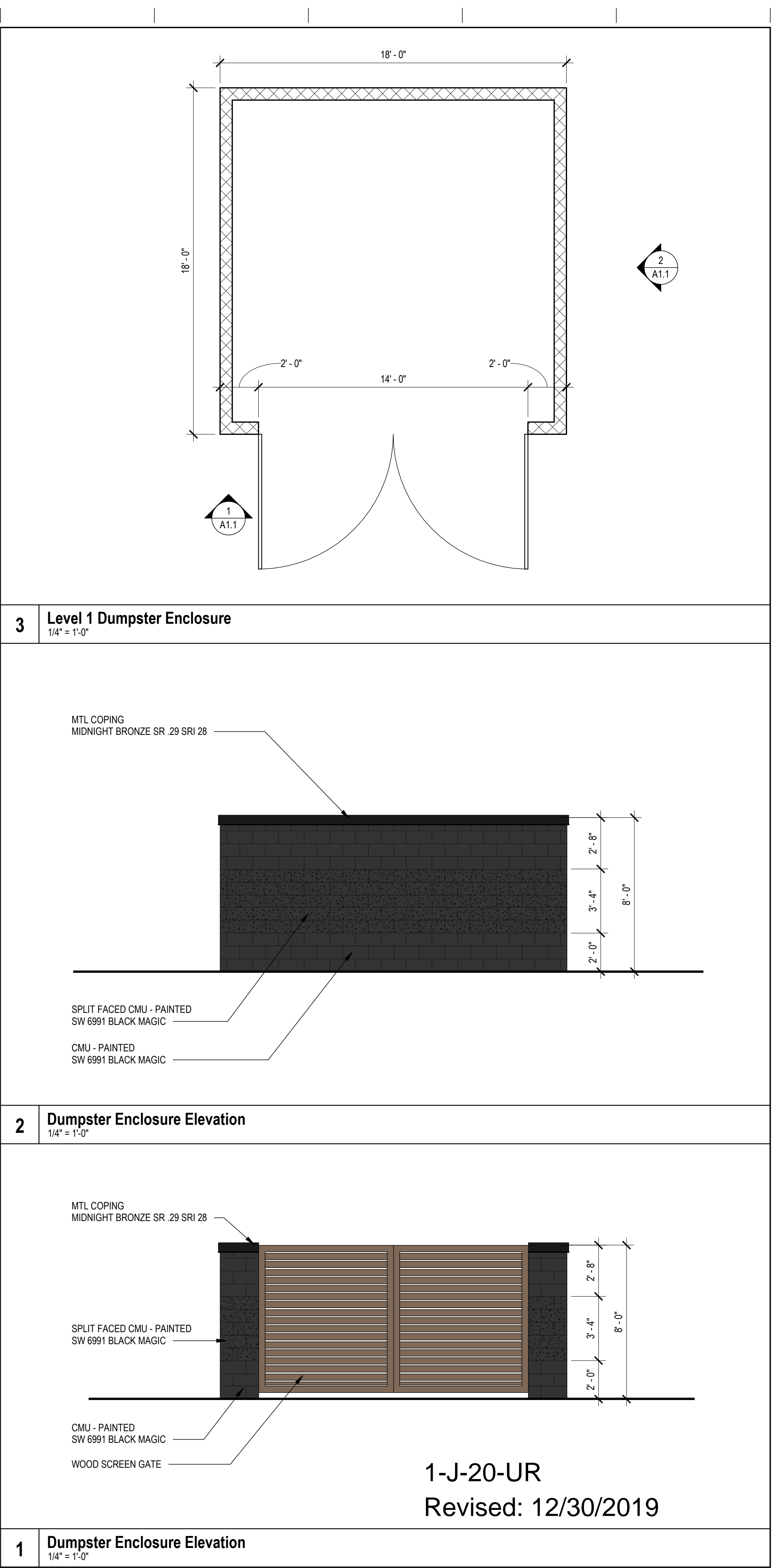
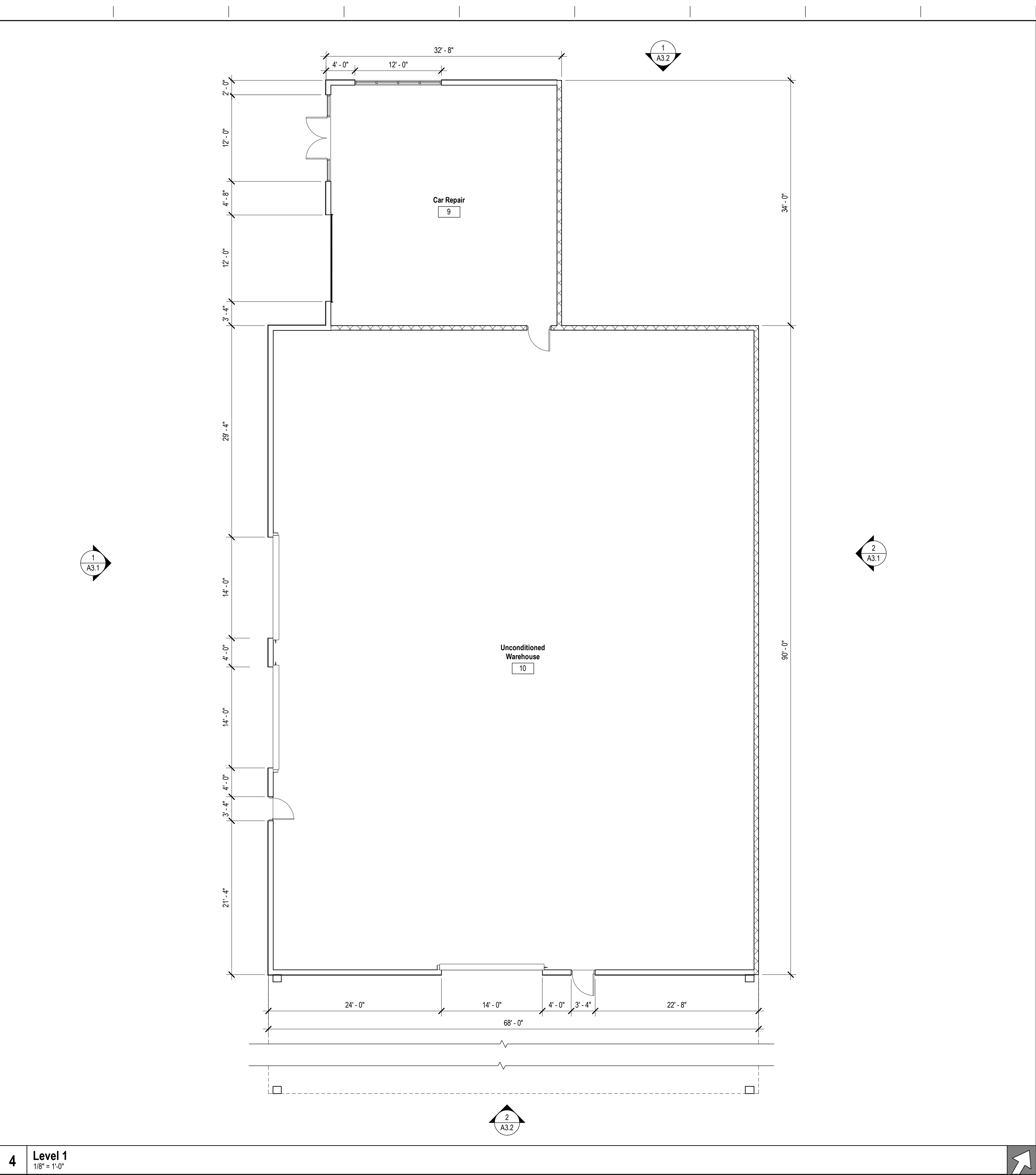
A3.2



1 Building 2 - East Elevation
1/8" = 1'-0"

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Project Phase: Schematic Design

Issue Date: 11/25/19

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Job Number: 19077.03

First Floor Plan

Project Phase: Schematic Design

Issue Date: 11/25/19

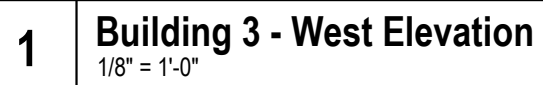
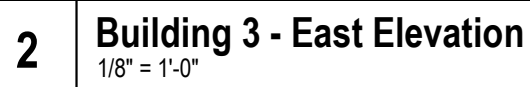
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Job Number: 19077.03

Elevations

A3.1

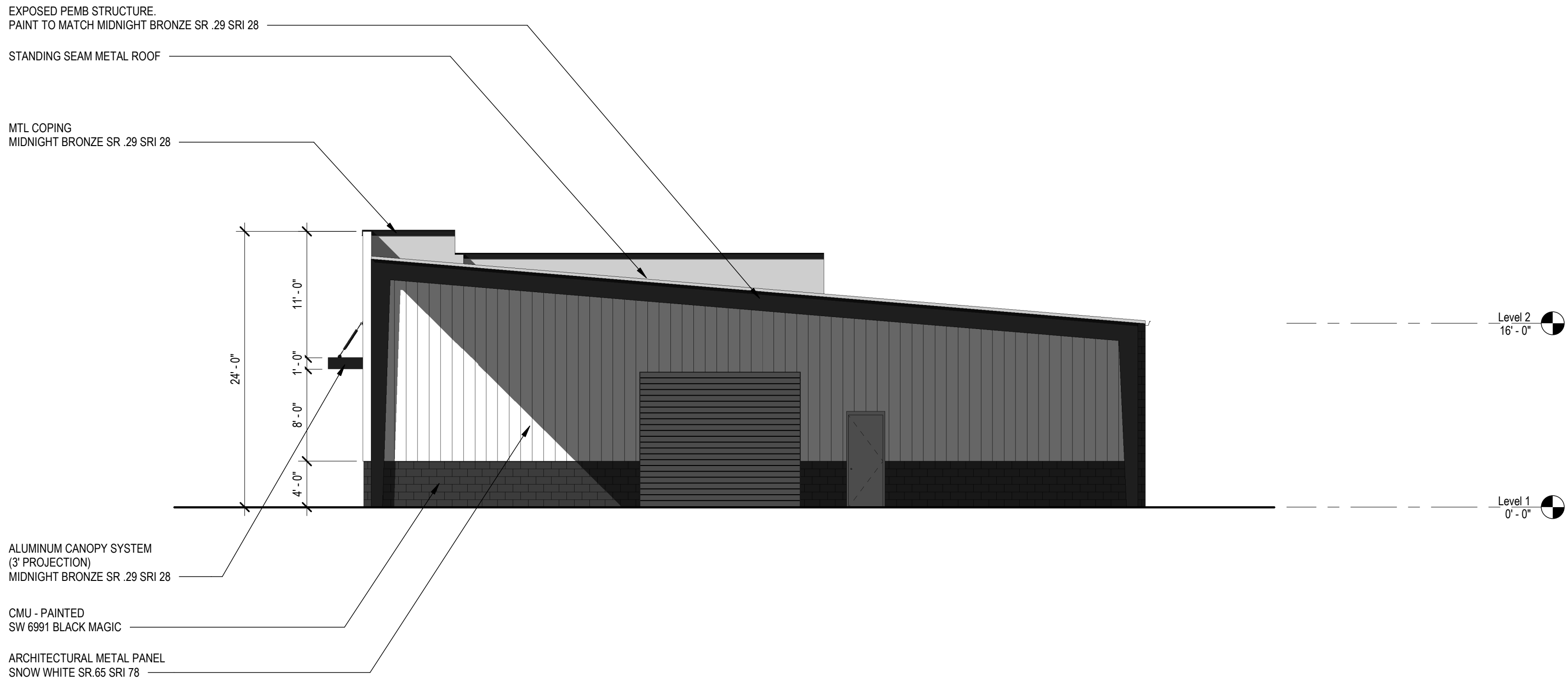


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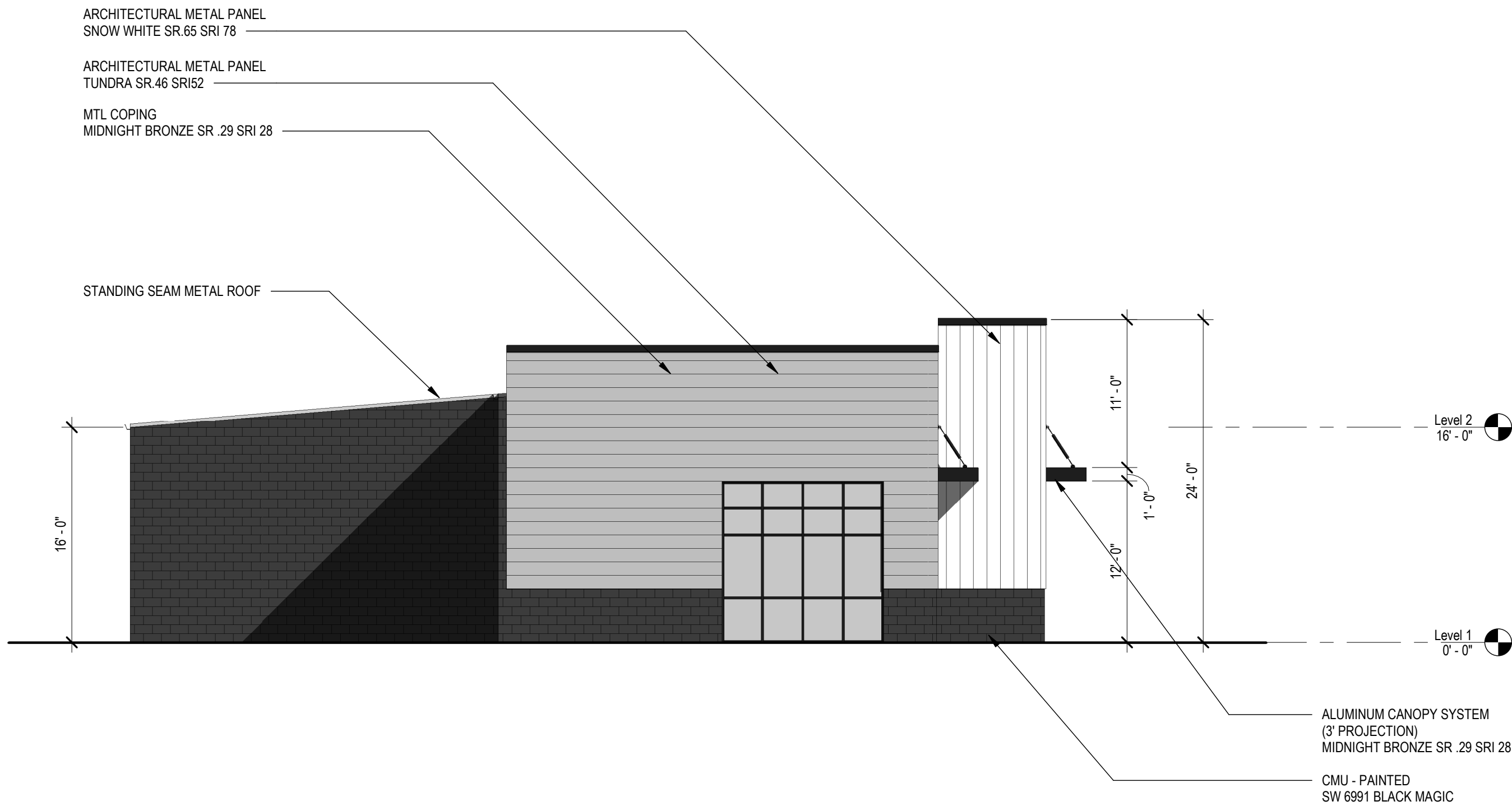
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2 Building 3 - South Elevation
1/8" = 1'-0"



1 Building 3 - North Elevation
1/8" = 1'-0"

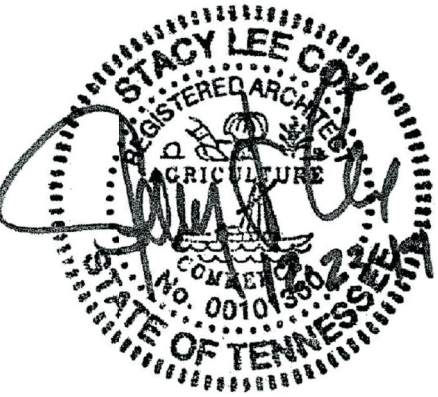


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1904 Castaic Lane
Knoxville, TN 37932



Project Phase: Schematic Design

Issue Date: 11/25/19

Revisions

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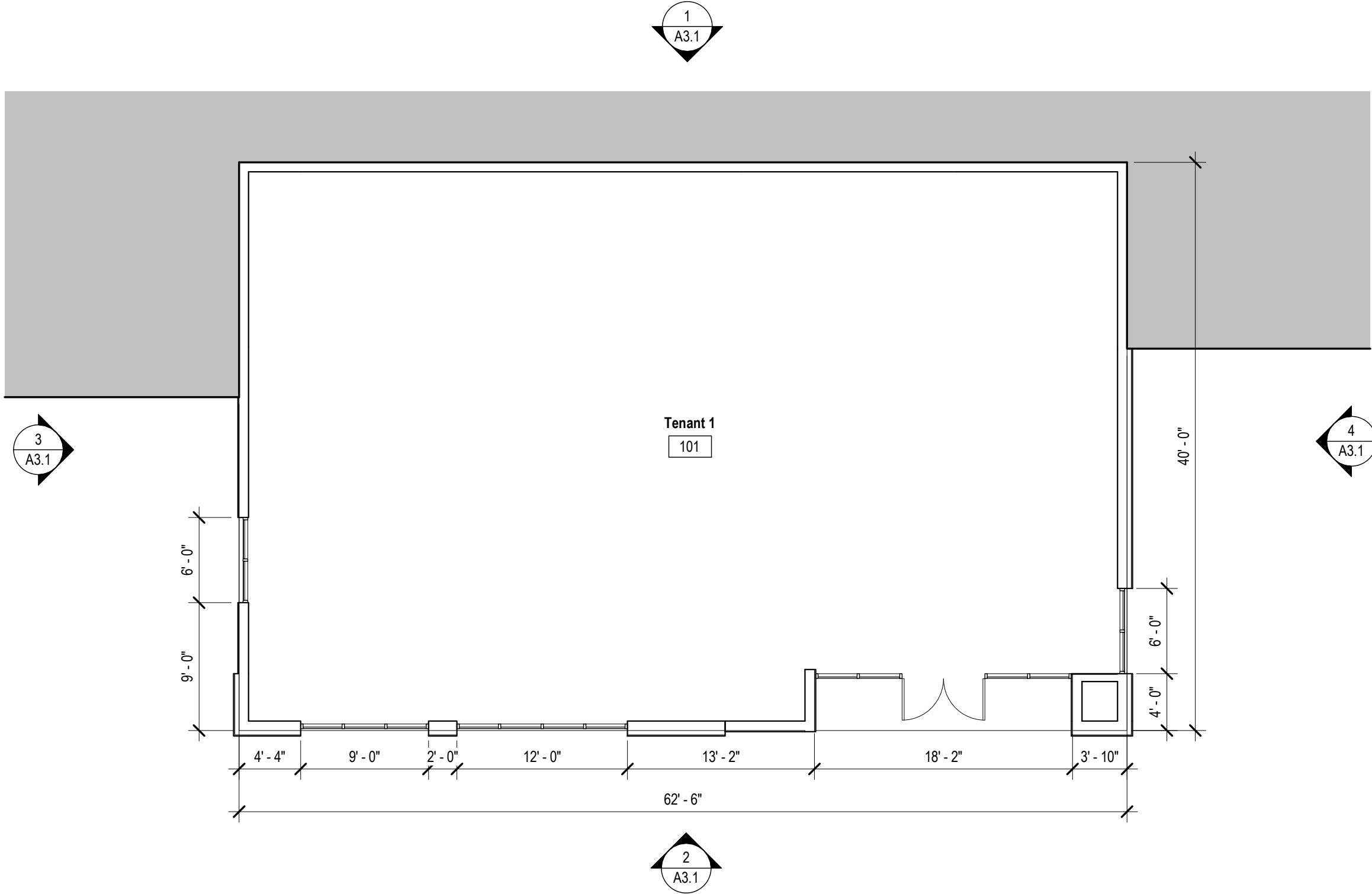
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Elevations

A3.2

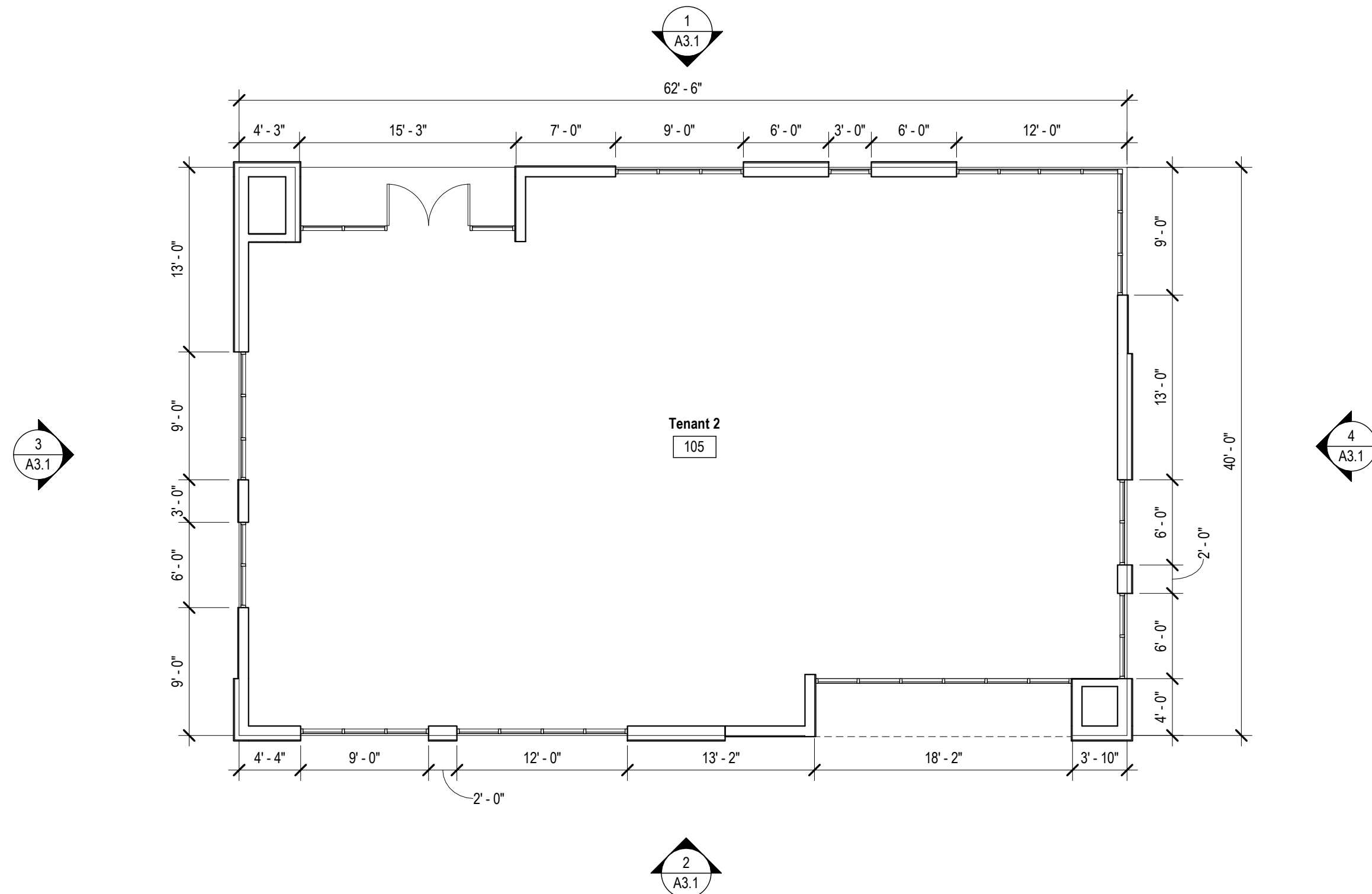
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1 Level 1
1/8" = 1'-0"



1-J-20-UR
Revised: 12/30/2019

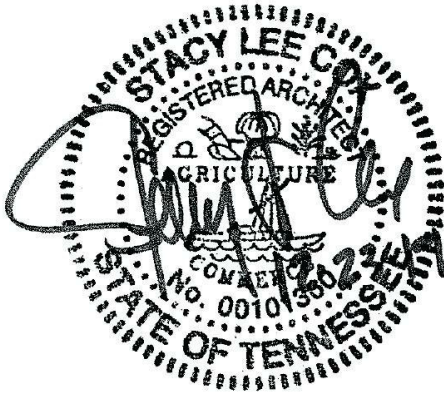
2 Level 2
1/8" = 1'-0"



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1904 Castaic Lane Building 4
1904 Castaic Lane
Knoxville, TN 37932



Project Phase: Schematic Design

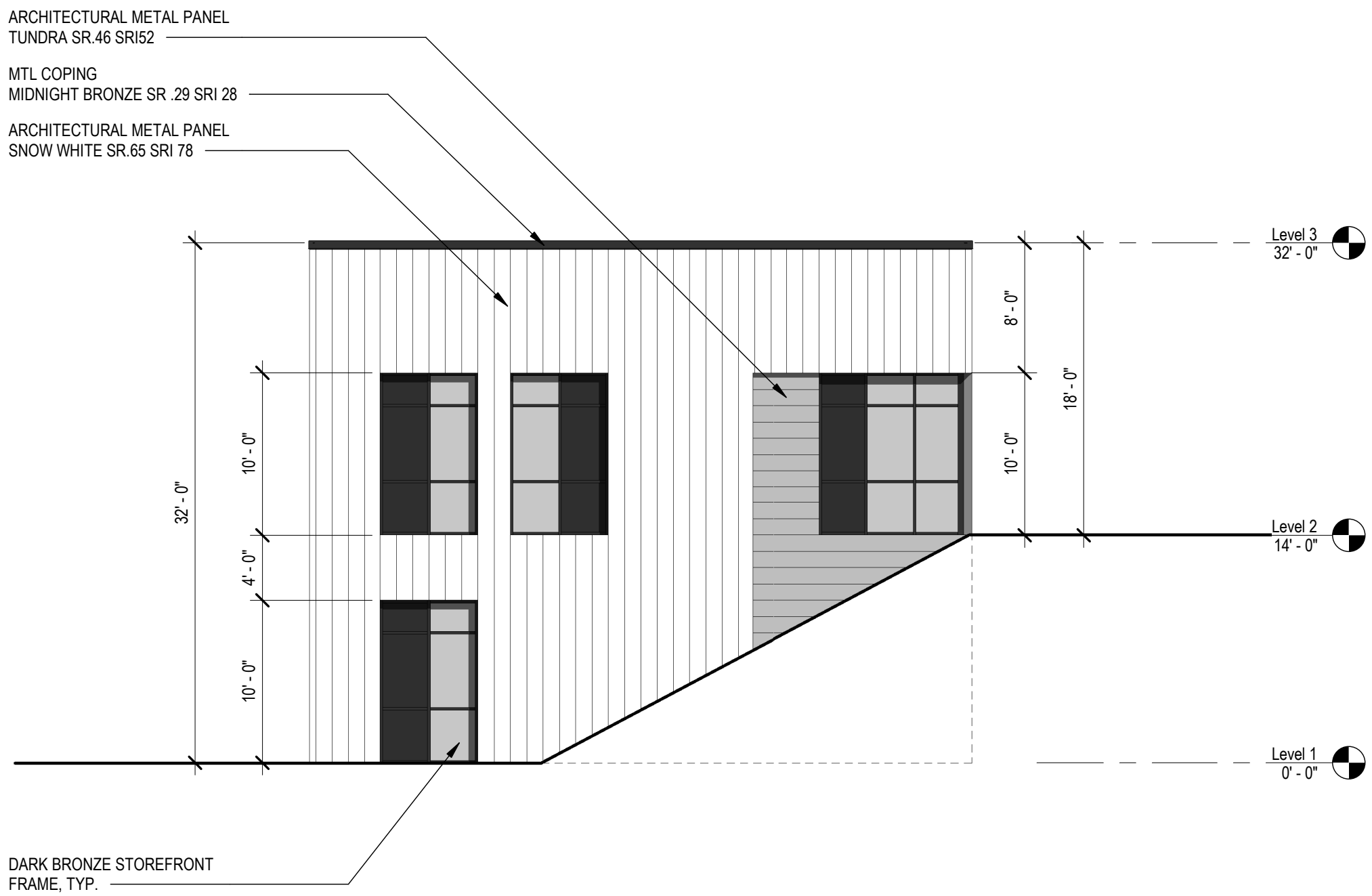
Issue Date: 11/25/19		
Revisions		
No.	Description	Date

Job Number: 19077.04
First Floor Plan

A1.1

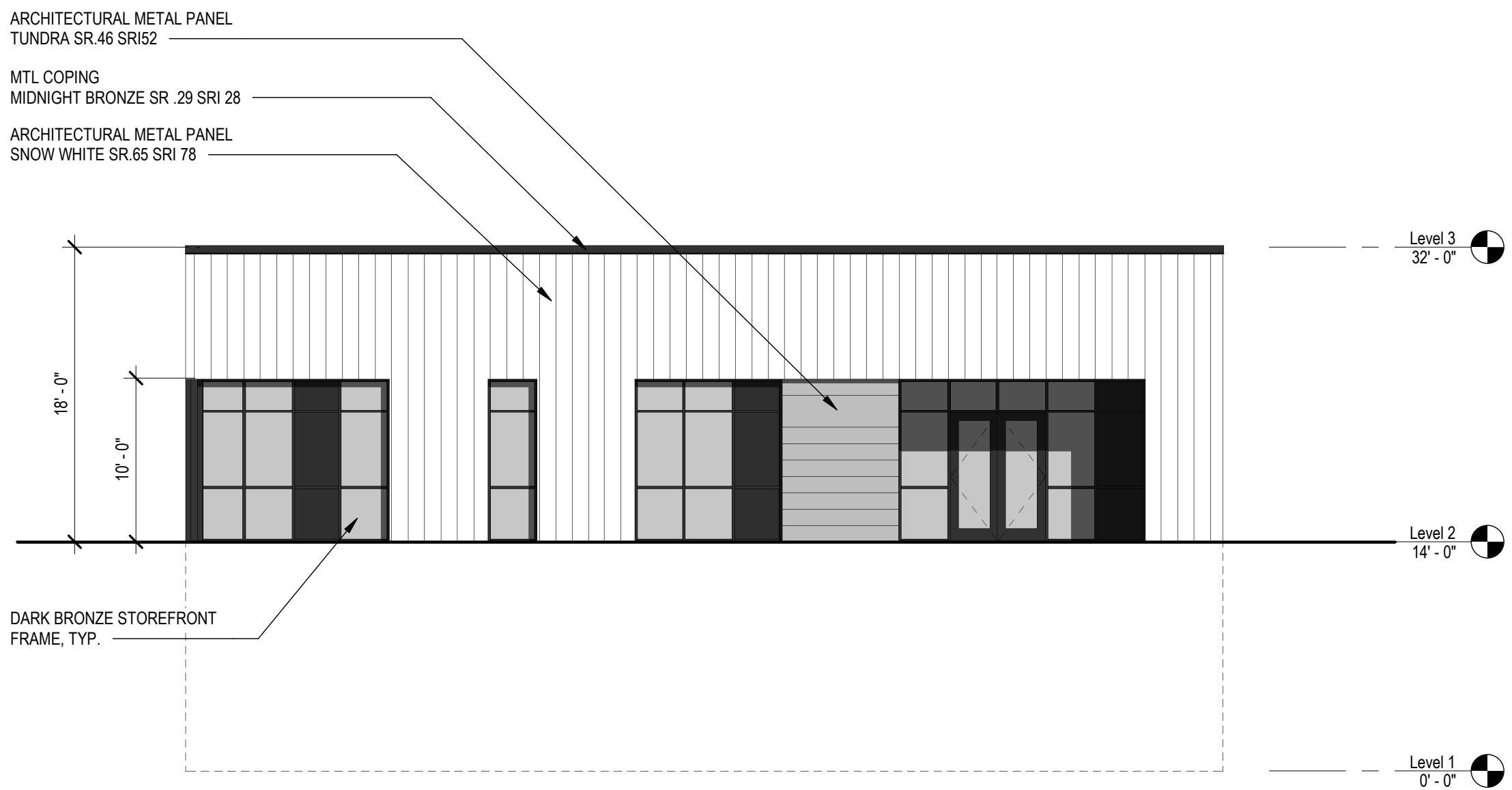
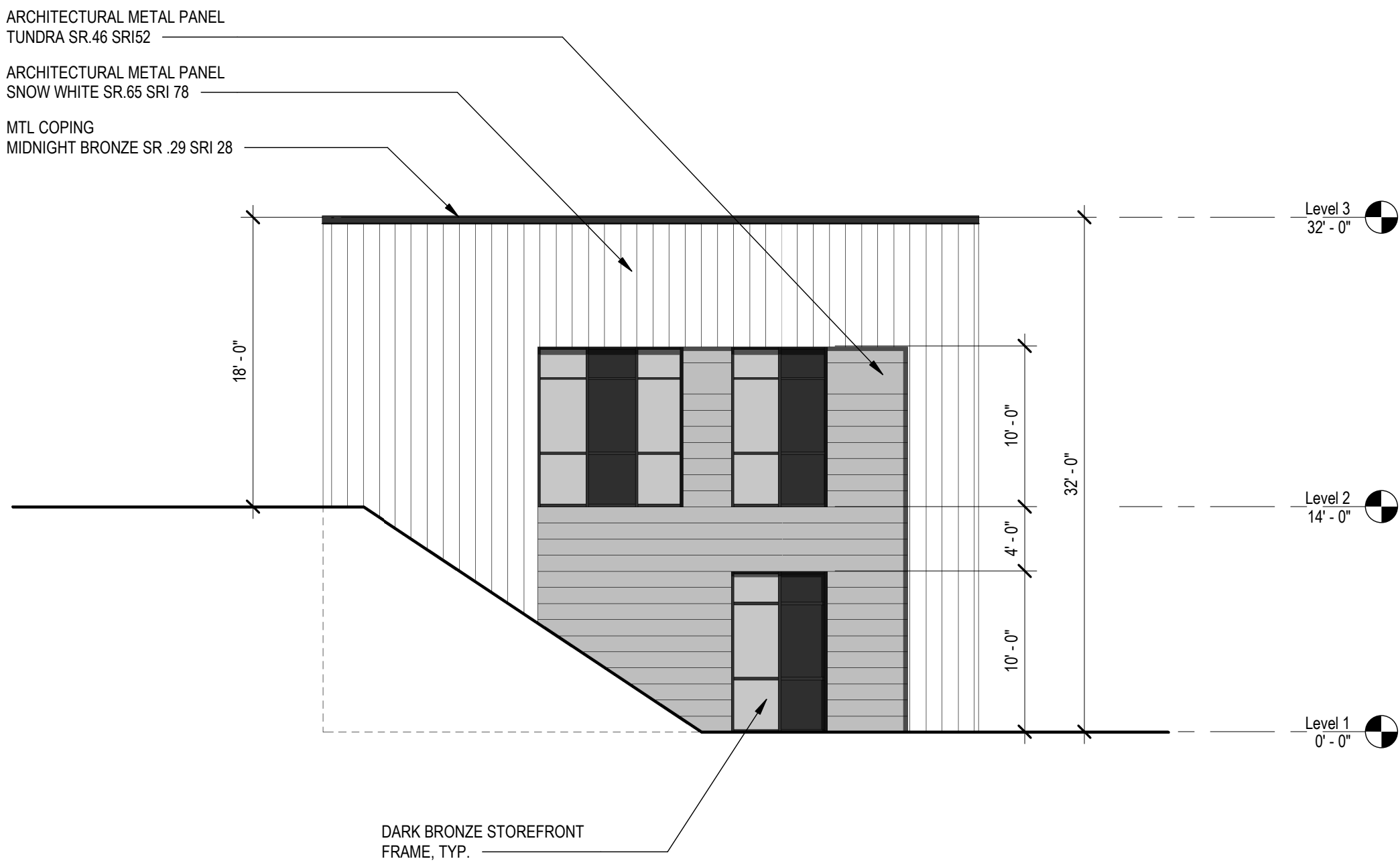
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4 Building 4 - West Elevation
1/8" = 1'-0"

2 Building 4 - North Elevation
1/8" = 1'-0"



3 Building 4 - East Elevation
1/8" = 1'-0"

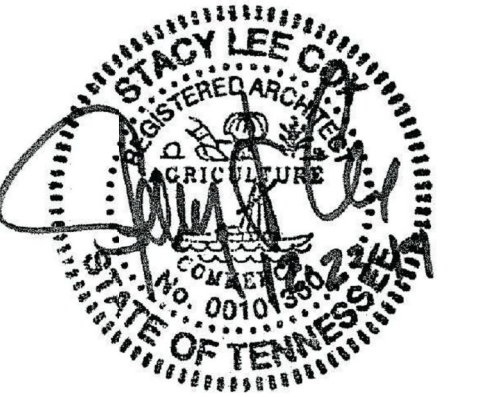
1 Building 4 - South Elevation
1/8" = 1'-0"

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Issue Date: 01.01.19		
Revisions		
No.	Description	Date

Job Number: 19077.04
Elevations

A3.1