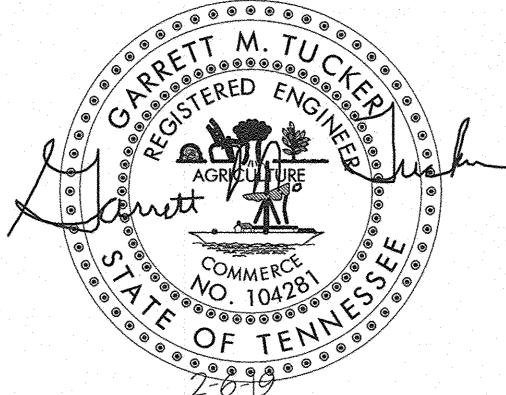


Certification of Concept Plan.
I hereby certify that I am a registered engineer, licensed to practice engineering under the laws of the State of Tennessee. I further certify that the plan and accompanying drawings, documents and statements conform to all applicable provisions of the Knoxville-Knox County Subdivision Regulations except as has been itemized and described in a report filed with the Metropolitan Planning Commission.

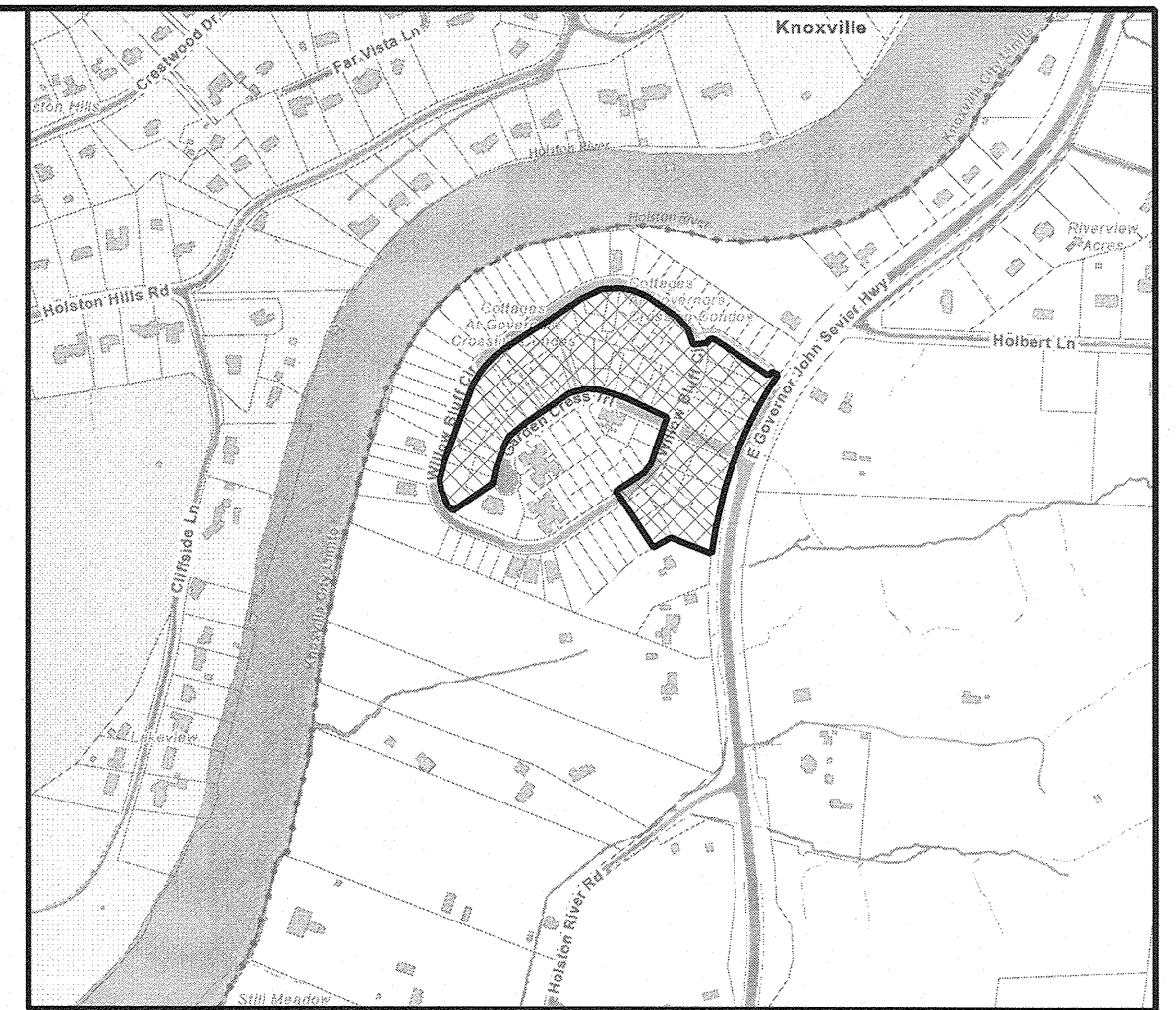
Registered Engineer: Garrett M. Tucker
Tennessee Certificate No. 104281



ENGINEER: ROBERT G. CAMPBELL & ASSOCIATES
7523 TAGGART LN
KNOXVILLE TN, 37938
(865) 947-5996

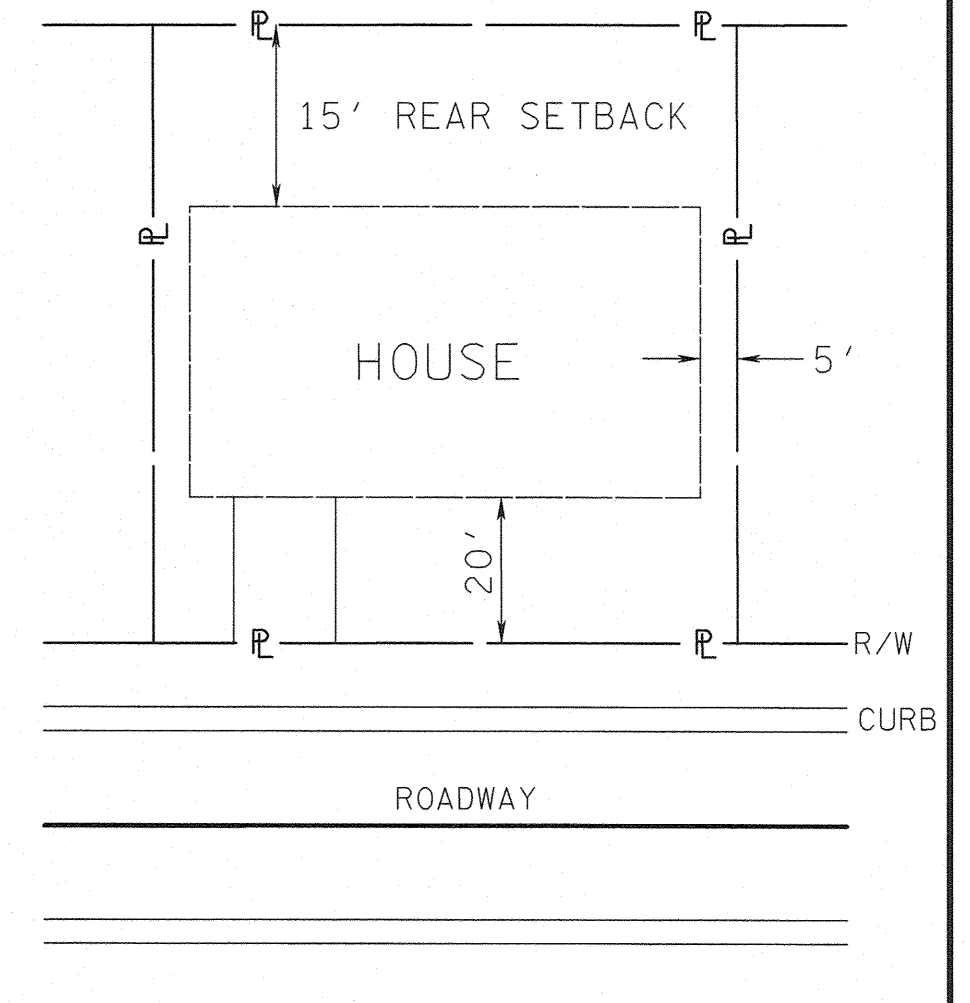
OWNER/DEVELOPER: KNOXVILLE INVESTMENT PARTNERS, LLC
306 BURR RIDGE PARKWAY, SUITE 101
BURR RIDGE, IL 60527
JAMIE WILCOX
(815) 782-7235

MINIMUM BUILDING SETBACKS:
FRONT - 20' LOTS 201-207, 212-256
FRONT - 25' (LOTS 207-210)
(ALONG GARDEN CRESS TRAIL)
REAR - 15'
SIDE - 5'



LOCATION MAP
NOT TO SCALE

NOTE: PERIPHERAL SETBACK APPLIES
AROUND SUBDIVISION PERIMETER.



TYPICAL LOT LAYOUT
(SINGLE FAMILY)

CLT: 083D
GROUP: D
PARCELS: 014-022, 047-094

ZONING: PR

TOTAL AREA: 11.14 AC
TOTAL JPE AREA: 0.58 AC

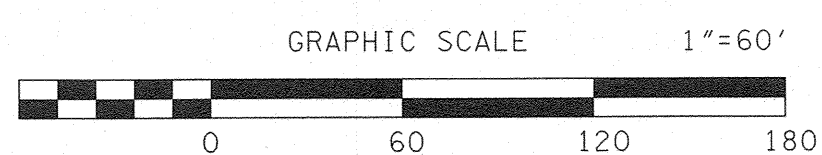
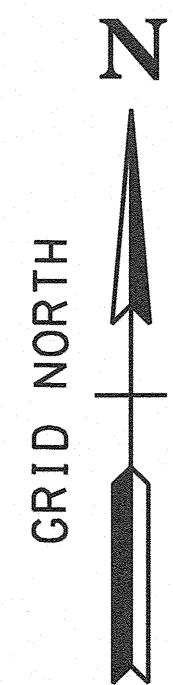
TOTAL LOTS: 55

DEED REFERENCE: 20080821-0012822
PLAT REFERENCE: 20060329-0081206

Revised: 2/6/2019

MPC FILE NO. 1-SB-19-C / 1-E-19-UR

CONCEPT PLAN RE-SUBDIVISION OF THE COTTAGES AT GOVERNORS LANDING LOTS 14-26, 51-90, 103-106			
DIST NO. SIX KNOX CO., TN.		SCALE 1"=60'	DRAWN BY GMT
SURVEYED BY ROBERT G. CAMPBELL & ASSOC., L.P.			
DATE 11-19-18	REVISED 2-6-19	PROJECT NUMBER 17082	SHEET 1 OF 2

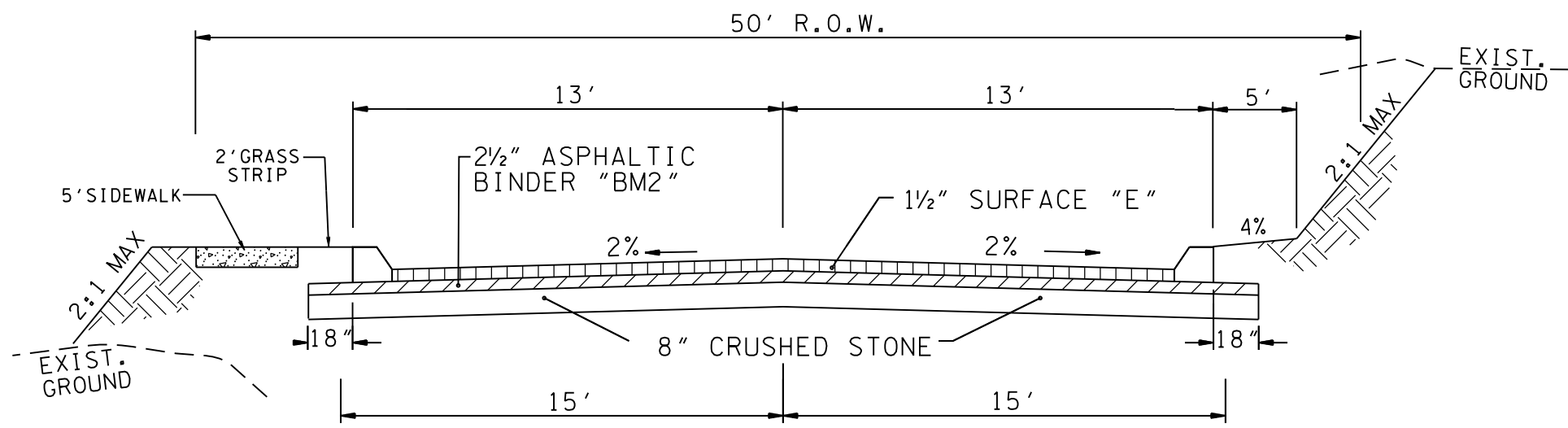


SPECIAL NOTE:

As shown, the site originally contained a closed contour depression located on Lots 225-228. In addition, a depression area and 50-foot buffer was shown on previously recorded plats, covering all or parts of Lots 204-224, and Lots 251-255. Engineering evaluations and geotechnical explorations have found that this depression area appears to have been at least partly man-made from the construction of the roadway embankment for E Governor John Sevier Highway, and does not appear to have an elevated risk for sinkhole development. As sinkhole formation and subsidence are a concern, the foundations for Lots 204-228 and 251-255 must be designed by a competent licensed professional engineer. Prior to issuance of a building permit for these lots, a certified foundation design, along with results of geotechnical explorations and compaction testing results must be submitted. Footing inspections will also be made by a competent licensed professional engineer prior to pouring concrete footings or slabs.

NOTES:

- EXISTING MONUMENTS AS SHOWN. ALL OTHERS SET BY RGC&A.
- A UTILITY AND DRAINAGE EASEMENT EXISTS TEN (10) FEET IN WIDTH INSIDE ALL EXTERIOR LOT LINES ADJOINING STREETS AND PRIVATE RIGHTS-OF-WAY. A UTILITY AND DRAINAGE EASEMENT EXISTS FIVE (5) FEET IN WIDTH ALONG ALL OTHER EXTERIOR LOT LINES AND ALONG BOTH SIDES OF ALL INTERIOR LOT LINES.
- A 15' UTILITY EASEMENT EXISTS, 7.5' EACH SIDE OF CENTERLINE OF SANITARY SEWER AS INSTALLED.
- THE PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING THE STORMWATER FACILITIES ON THIS PROPERTY. THE COVENANTS FOR PERMANENT MAINTENANCE OF STORMWATER FACILITIES IS RECORDED IN INSTRUMENT NUMBER 200712260049085.
- THE HOMEOWNERS ASSOCIATION AGREEMENT IS RECORDED IN INSTRUMENT NUMBER 200804080075321.
- ALL LOTS WILL HAVE ACCESS TO INTERIOR STREET SYSTEM ONLY.
- FOR PREVIOUSLY APPROVED SUBDIVISION VARIANCES AND CONDITIONS OF APPROVAL OF THE CONCEPT PLAN AND USE ON REVIEW, REFER TO METROPOLITAN PLANNING COMMISSION'S FILES 9-SI-07-C, 9-P-07-UR, 7-SA-09-C & 7-A-09-UR. VARIANCE PREVIOUSLY APPROVED FOR NO TURNAROUND ON ENGLISH HOLLY WAY.
- CERTIFIED 500 FOOT SITE DISTANCE AT SUBDIVISION ENTRANCE AND E GOVERNOR JOHN SEVIER HIGHWAY.
- VARIANCE APPROVED ON JUNE 25, 2008 BY KNOX COUNTY BOARD OF ZONING TO REDUCE THE PERIPHERAL SETBACK FROM 35 FEET TO 25 FEET.
- VARIANCE APPROVED ON JUNE 25, 2008 BY KNOX COUNTY BOARD OF ZONING TO REDUCE THE FRONT SETBACK FROM 15 FEET TO 10 FEET.
- JOINT PERMANENT EASEMENTS MAINTENANCE AGREEMENT IS RECORDED IN INSTRUMENT NUMBER 20091207-0038996
- JOINT PERMANENT EASEMENTS AND EXCLUSIVE PERMANENT ACCESS EASEMENTS ARE NOT PUBLIC ROADS AND WILL NOT BE MAINTAINED BY KNOX COUNTY.
- JOINT PERMANENT EASEMENTS AND EXCLUSIVE PERMANENT ACCESS EASEMENTS WILL ALSO FUNCTION AS UTILITY EASEMENTS.
- GEOTECHNICAL INVESTIGATION AND RECOMMENDATIONS BY GEOSERVICES, LLC REPORT DATED JANUARY 08, 2008.
- REMAINDER OF WILLOW BLUFF CIRCLE TO BE PAVED.
- EXISTING ENTRANCE AT GARDEN CRESS TRAIL TO BE STRIPED FOR LEFT TURN LANE AS SHOWN. RIGHT TURN LANE TO BE REPAIRED PER TDOT TO MATCH THE ELEVATION OF NEW PAVEMENT ALONG JOHN SEVIER HIGHWAY.
- LOCATION OF CENTRALIZED MAIL DELIVERY FACILITY TO BE COORDINATED WITH THE U.S. POSTAL SERVICE.

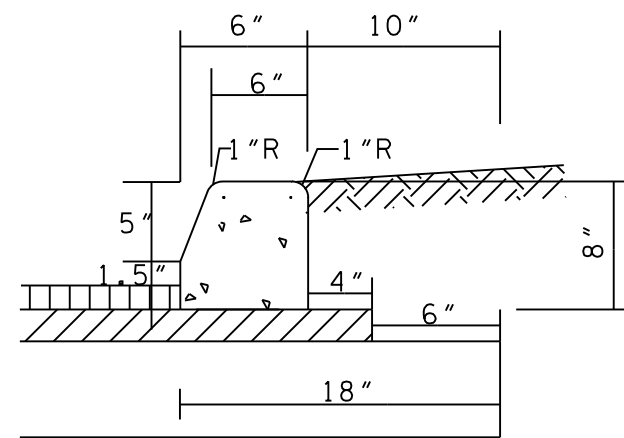


**TYPICAL 2 LANE STREET
PUBLIC ROADS**
NOT TO SCALE

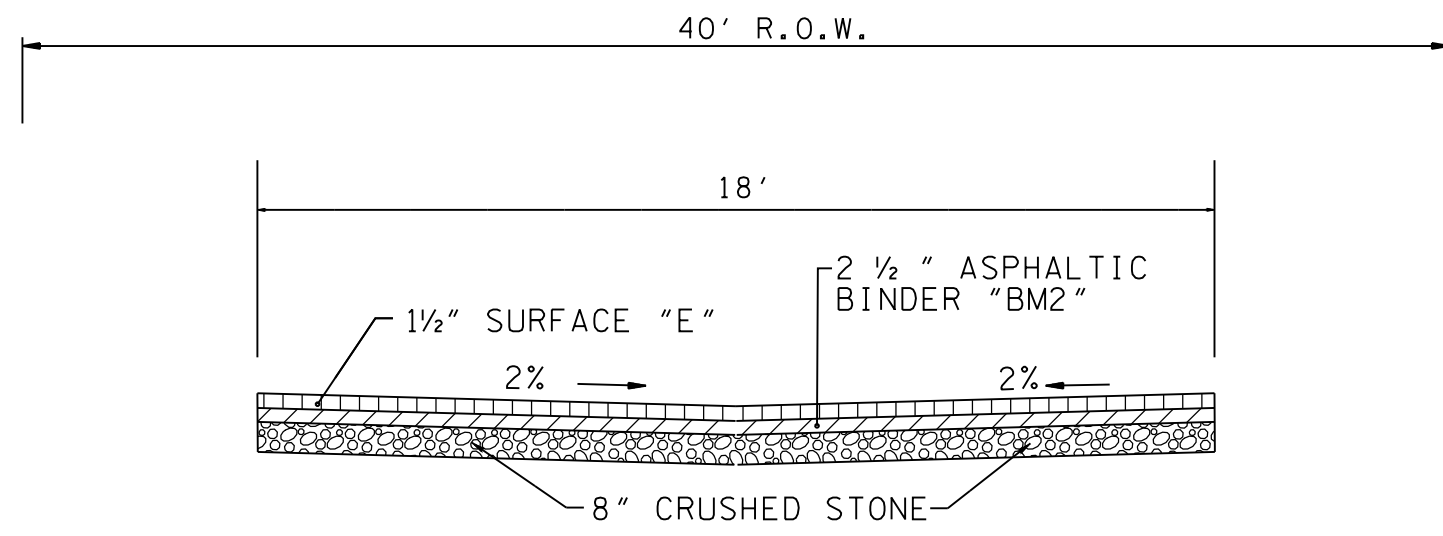
BORROW MATERIALS TO BE USED FOR FILL SHALL BE TESTED FOR MAXIMUM DRY DENSITY AND OPTIMUM MOISTURE CONTENT (STANDARD PROCTOR ASTM D698) PRIOR TO PLACEMENT OF FILL.

FILL SOILS SHALL BE COMPACTED IN LAYERS 8 INCHES OR LESS IN THICKNESS TO A MINIMUM OF 98 PERCENT STANDARD PROCTOR MAXIMUM DRY DENSITY AND WITHIN PLUS OR MINUS 3 PERCENT OPTIMUM MOISTURE CONTENT. NO LESS THAN SIX (6) DENSITY TESTS SHALL BE PERFORMED IN EVERY 10,000 SQUARE FEET OF AREA PER 8 INCH LIFT. (APPROX. 1 TEST PER EVERY 50 SQ. FT.)

* "D" MIX REQUIRED ON FINAL SURFACE WHERE GRADE IS 10% OR GREATER.



STANDARD DETAIL 6\" EXTRUDED CURB
NOT TO SCALE

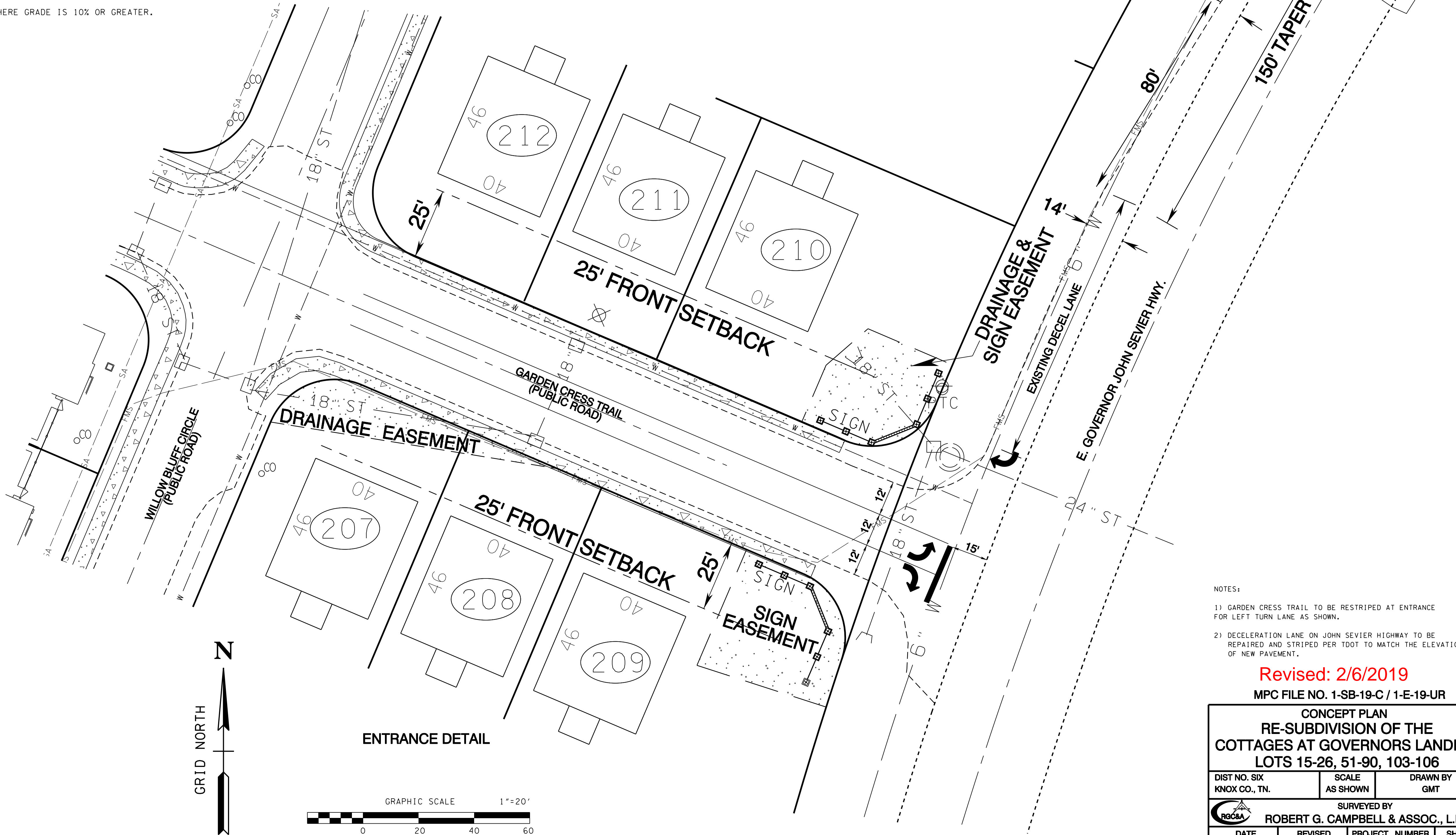


TYPICAL JPE SECTION
NOT TO SCALE

BORROW MATERIALS TO BE USED FOR FILL SHALL BE TESTED FOR MAXIMUM DRY DENSITY AND OPTIMUM MOISTURE CONTENT (STANDARD PROCTOR ASTM D698) PRIOR TO PLACEMENT OF FILL.

FILL SOILS SHALL BE COMPACTED IN LAYERS 8 INCHES OR LESS IN THICKNESS TO A MINIMUM OF 98 PERCENT STANDARD PROCTOR MAXIMUM DRY DENSITY AND WITHIN PLUS OR MINUS 3 PERCENT OPTIMUM MOISTURE CONTENT. NO LESS THAN SIX (6) DENSITY TESTS SHALL BE PERFORMED IN EVERY 10,000 SQUARE FEET OF AREA PER 8 INCH LIFT. (APPROX. 1 TEST PER EVERY 50 SQ. FT.)

* "D" MIX REQUIRED ON FINAL SURFACE WHERE GRADE IS 10% OR GREATER.



- NOTES:
- 1) GARDEN CRESS TRAIL TO BE RESTRIPTED AT ENTRANCE FOR LEFT TURN LANE AS SHOWN.
 - 2) DECELERATION LANE ON JOHN SEVIER HIGHWAY TO BE REPAIRED AND STRIPED PER TDOT TO MATCH THE ELEVATION OF NEW PAVEMENT.

Revised: 2/6/2019

MPC FILE NO. 1-SB-19-C / 1-E-19-UR

**CONCEPT PLAN
RE-SUBDIVISION OF THE
COTTAGES AT GOVERNORS LANDING
LOTS 15-26, 51-90, 103-106**

DIST NO. SIX KNOX CO., TN.	SCALE AS SHOWN	DRAWN BY GMT
SURVEYED BY ROBERT G. CAMPBELL & ASSOC., L.P.		
DATE 11-19-26	REVISED 12-21-18	PROJECT NUMBER 17082
		SHEET 2 OF 2