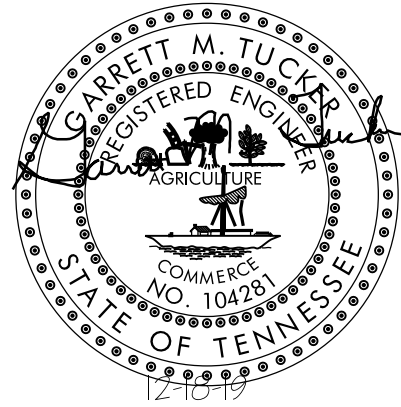


Certification of Concept Plan.
I hereby certify that I am a registered engineer, licensed to practice engineering under the laws of the State of Tennessee. I further certify that the plan and accompanying drawings, documents and statements conform to all applicable provisions of the Knoxville-Knox County Subdivision Regulations, except as has been itemized and described in a report filed with the Metropolitan Planning Commission.

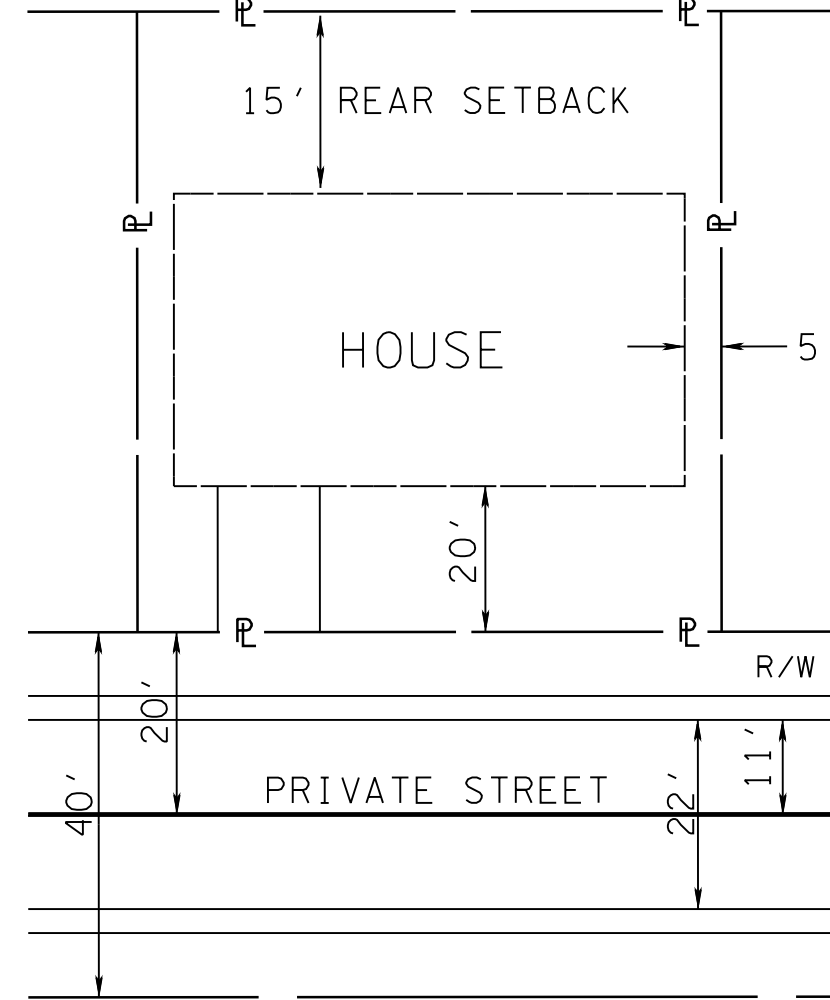
Registered Engineer: Garrett M. Tuck
Tennessee Certificate No. 104281

I HEREBY CERTIFY THAT SIGHT DISTANCE OF 300 FEET CAN BE ACHIEVED IN BOTH DIRECTIONS ALONG BISHOP ROAD FROM THE PROPOSED ENTRANCE

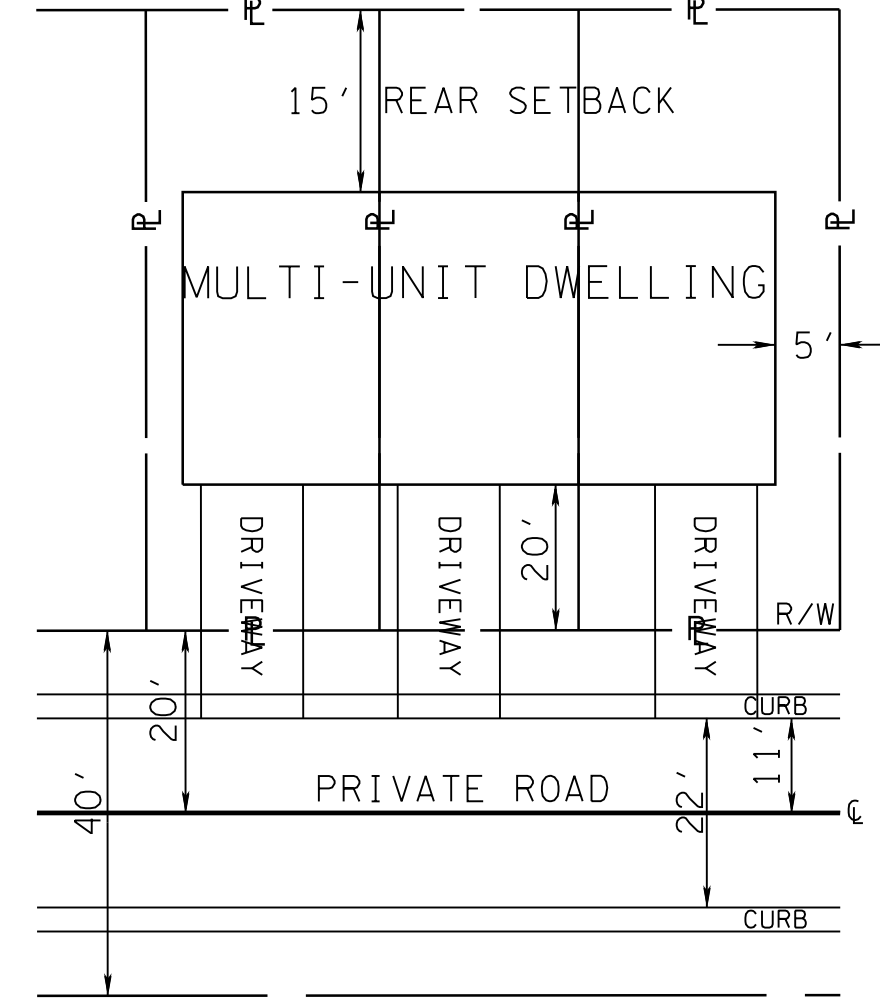
Garrett M. Tuck



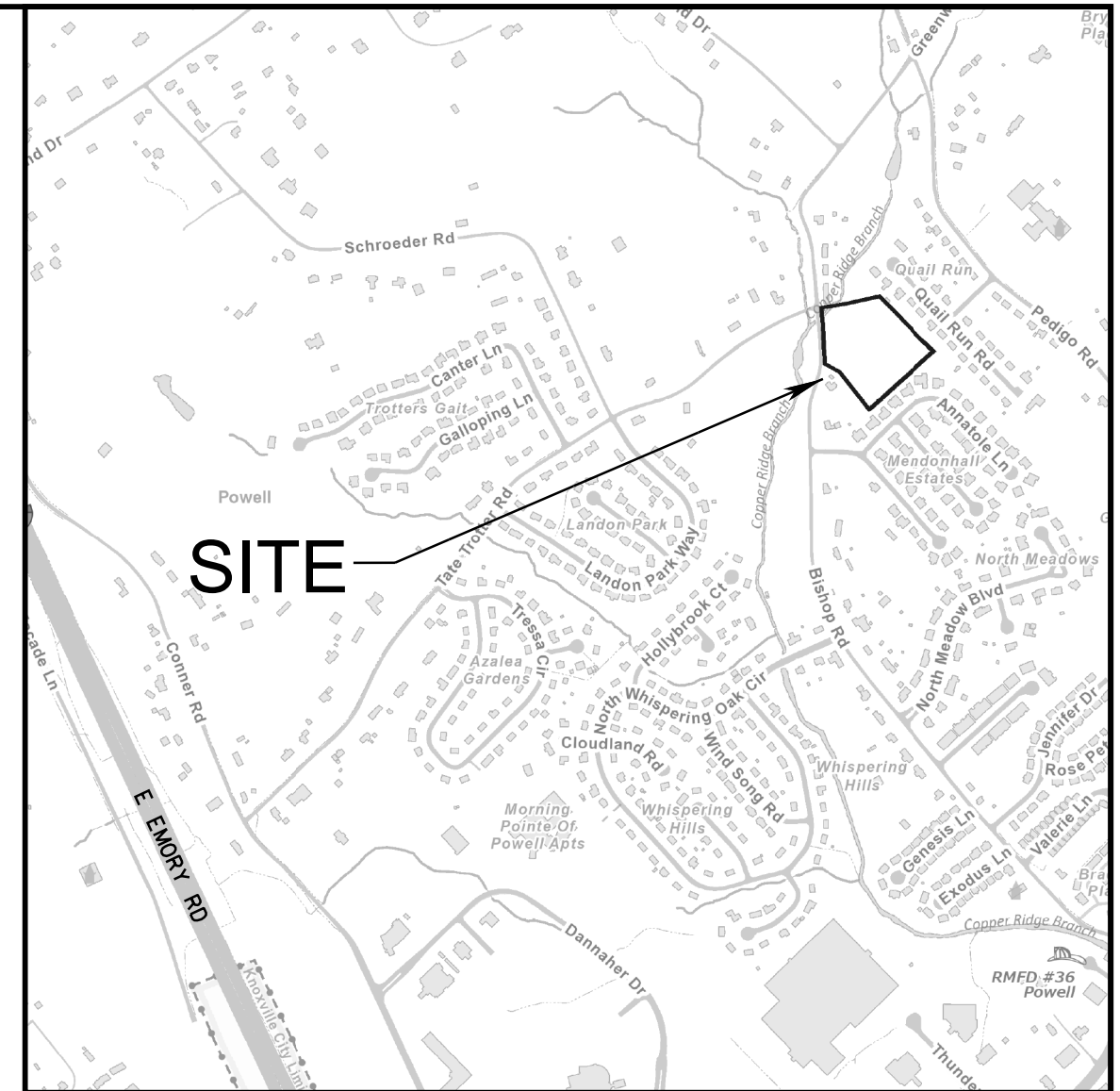
NOTE: 25' PERIPHERAL SETBACK APPLIES AROUND SUBDIVISION PERIMETER.



TYPICAL LOT LAYOUT
(SINGLE FAMILY)



TYPICAL LOT LAYOUT
(MULTI-FAMILY)
(NO SCALE)



LOCATION MAP - N.T.S.

- NOTES:
- 1) DETENTION POND TO BE CONSTRUCTED AS FIRST ITEM AND USED FOR SEDIMENT CONTROL DURING CONSTRUCTION.
 - 2) EXISTING CONTOURS FROM K.G.I.S.
 - 3) THE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR MAINTAINING STORM WATER FACILITIES ON THIS PROPERTY.
 - 4) ACCESS TO ALL UNITS FROM INTERNAL ROAD SYSTEM ONLY.
 - 5) RIPARIAN STREAM BUFFER TO BE MAINTAINED ALONG COPPER RIDGE BRANCH IN THE NORTHWEST PROPERTY.
 - 6) SIGHT DISTANCE OF 300 FT IS AVAILABLE IN EACH DIRECTION ALONG BISHOP ROAD.
 - 7) A UTILITY AND DRAINAGE EASEMENT TO BE PLATTED TEN (10) FEET IN WIDTH INSIDE ALL EXTERIOR LOT LINES ADJOINING STREETS AND PRIVATE RIGHTS-OF-WAY. A UTILITY AND DRAINAGE EASEMENT TO BE PLATTED FIVE (5) FEET IN WIDTH ALONG ALL OTHER EXTERIOR LOT LINES AND ALONG BOTH SIDES OF ALL INTERIOR LOT LINES, EXCEPT FOR ZERO LOT LINES FOR ATTACHED UNITS.
 - 8) LOCATION OF CENTRALIZED CLUSTER MAILBOXES TO BE COORDINATED WITH THE U.S. POSTAL SERVICE.
 - 9) LANDSCAPE BUFFER TO BE PROVIDED ALONG THE PROPERTY LINE SHARED WITH THE HISTORIC ALEXANDER BISHOP HOUSE AND ALSO ALONG THE NORTHEAST LINE ADJOINING QUAIL RUN SUBDIVISION.
 - 10) THE CURD CEMETERY SHOWN ON K.G.I.S. HAS NOT BEEN FOUND ON THIS PARCEL. ALL OF THE LANDS ADJOINING THE CURRENT REMAINING ALEXANDER BISHOP PROPERTY WERE ONCE PART OF THE BISHOP/CURD ESTATE. THE CEMETERY PLATTED AS COMMON AREA ON MENDONHALL ESTATES BETWEEN LOTS 8 & 9 AND IS BELIEVED TO BE THE CURD CEMETERY. HOWEVER, FURTHER INVESTIGATIONS WILL BE MADE USING TECHNIQUES SUCH AS GROUND PENETRATING RADAR TO VERIFY THAT NO GRAVES EXIST ON THE SITE. IF ANY BURIAL GROUNDS ARE DISCOVERED, THE AREA WILL BE SET ASIDE AS COMMON AREA AND LEFT UNDISTURBED.
 - 11) SIGHT DISTANCE EASEMENTS TO BE PLATTED ALONG ROAD "B". SPEED LIMIT FOR SUBDIVISION TO BE LOWERED TO 15 MPH.

- WAIVERS:
- 1) REDUCTION OF THE PERIPHERAL SETBACK FROM 35' TO 25' HARDSHIP: IRREGULAR SHAPE OF PARCEL
 - 2) PRIVATE ROAD WITH 40' R.O.W. AND 22' PAVEMENT

- VARIANCES:
- 1) REDUCTION OF INTERSECTION SPACING BETWEEN SITE ENTRANCE AND TATE TROTTER ROAD FROM 300 FEET TO 190 FEET.
 - 2) REDUCTION OF VERTICAL CURVE LENGTH ON ROAD "A" FROM K=25 (150 FT) TO K=15 (90 FT)
 - 3) STUB TO SERVE LOTS 5 & 6 WITHOUT A CUL-DE-SAC

CLT MAP: 047
PARCEL: 062

DEED REFERENCE: 1436-242
TOTAL AREA: 5.56 ACRES
RIGHT-OF WAY DEDICATION: 0.07 AC
AREA AFTER DEDICATION: 5.49 AC
COMMON AREA: 1.05 ACRES

NUMBER OF LOTS / UNITS: 25
PROPERTY ZONED: PR (4.5 DU/AC)

Revised: 12/18/2019
PLANNING SERVICES FILE NUMBER: 1-SB-20-C & 1-D-20-UR

CURVE C1
P.I. 11+49.20
N 636.455.675
E 2,561.730.748
A 55° 31' 15" (RT)
D 57° 17' 45"
R 100.000
L 96.902
T 52.636

CURVE C2
P.I. 22+24.47
N 636.572.420
E 2,561.918.639
A 180° 00' 00" (RT)
D 57° 17' 45"
R 100.000
L 314.16
T 100.000

LEGEND

- ☉ WHITE PINE OR FIR
☼ CEDAR OR JUNIPER

ALEXANDER BISHOP HOUSE
DEED: 20030915-0032391

DEVELOPER:
CANNON AND KUIPERS, LLC
517 CALLAHAN DRIVE, SUITE 101
KNOXVILLE, TN 37912
CHAD ROBERTS
PHONE: (865) 237-4404

ENGINEER:
ROBERT G. CAMPBELL
AND ASSOCIATES
7523 TAGGART LANE
KNOXVILLE, TN 37938
PHONE: (865) 947-5996
FAX: (865) 947-7556

ANNATOLE LANE

GRAPHIC SCALE 1"=50'
0 50 100 150

NO.	DATE	DESCRIPTION	BY	CHK.
REVISIONS				

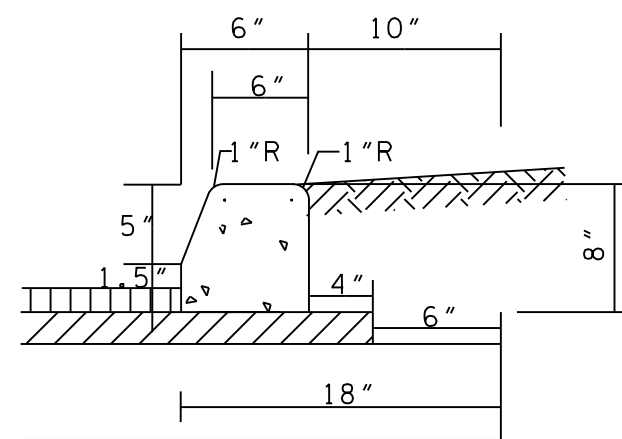


ROBERT G. CAMPBELL & ASSOC., L.P.
CONSULTING ENGINEERS
KNOXVILLE, TENNESSEE

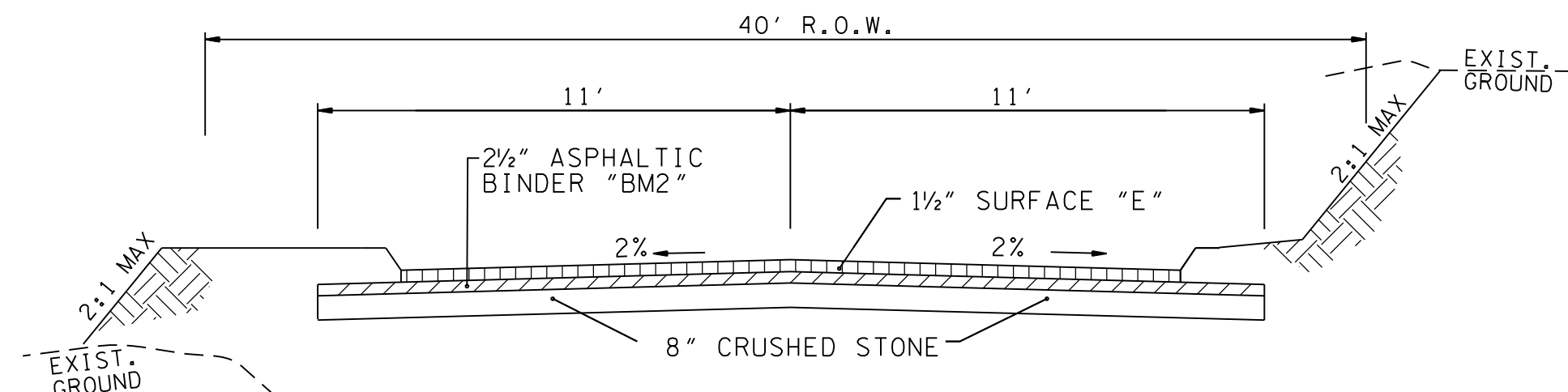
MEREDITH PARK
CONCEPT PLAN / USE ON REVIEW

GENERAL LAYOUT
PLAN VIEW

DESIGNED BY GMT	CHECKED BY RGC	SCALE 1" = 50'	SHEET ONE NO. 1
DRAWN BY JER	DATE 12-18-19	FILE NO. 19117	OF 2 SHEETS



STANDARD DETAIL 6" EXTRUDED CURB



TYPICAL 2 LANE STREET
PRIVATE ROADS

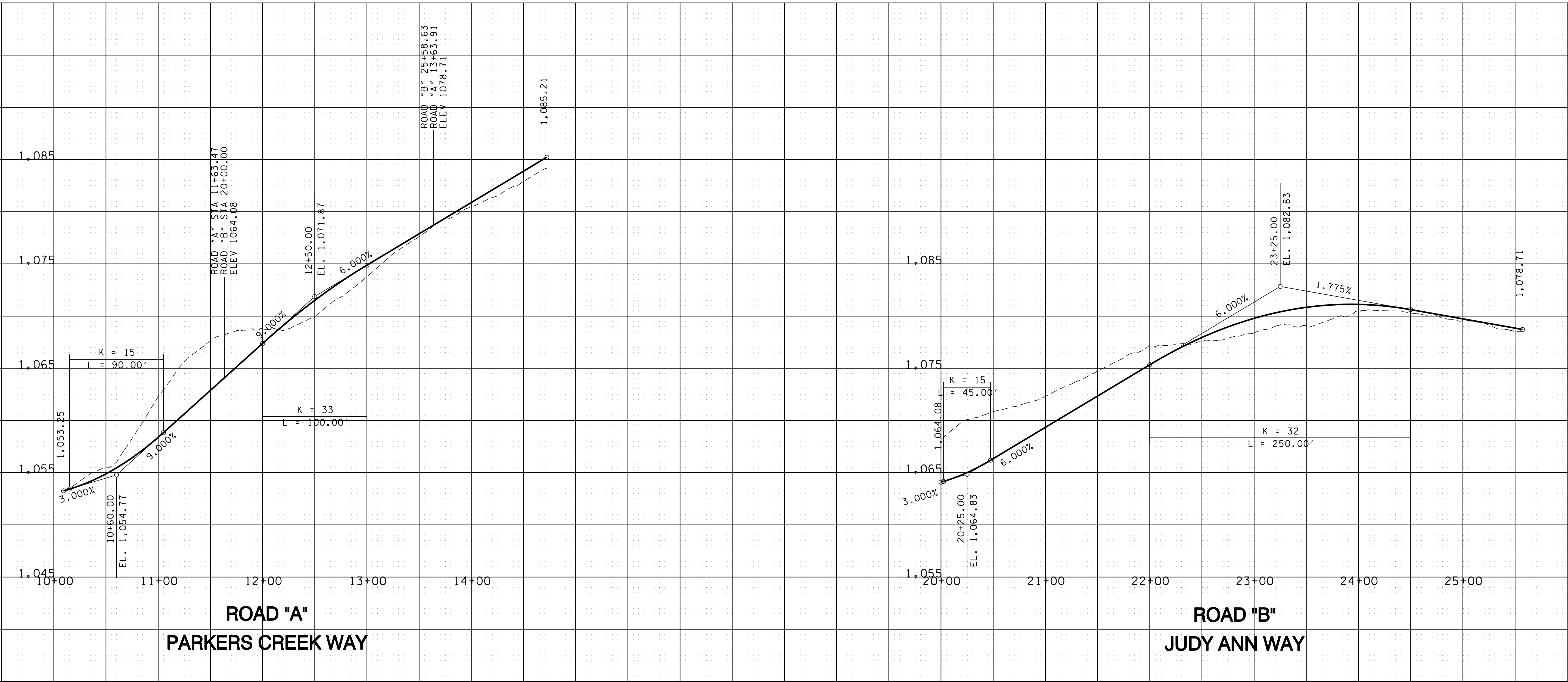
BORROW MATERIALS TO BE USED FOR FILL SHALL BE TESTED FOR MAXIMUM DRY DENSITY AND OPTIMUM MOISTURE CONTENT (STANDARD PROCTOR ASTM D698) PRIOR TO PLACEMENT OF FILL.

FILL SOILS SHALL BE COMPACTED IN LAYERS 8 INCHES OR LESS IN THICKNESS TO A MINIMUM OF 98 PERCENT STANDARD PROCTOR MAXIMUM DRY DENSITY AND WITHIN PLUS OR MINUS 3 PERCENT OPTIMUM MOISTURE CONTENT. NO LESS THAN SIX (6) DENSITY TESTS SHALL BE PERFORMED IN EVERY 10,000 SQUARE FEET OF AREA PER 8 INCH LIFT. (APPROX. 1 TEST PER EVERY 50 SQ. FT.)

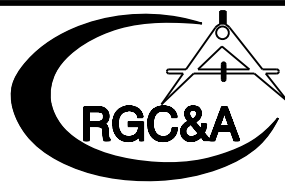
* "D" MIX REQUIRED ON FINAL SURFACE WHERE GRADE IS 10% OR GREATER.

1-SB-20-C / 1-D-20-UR

Revised: 12/18/2019



NO.	DATE	DESCRIPTION	BY	CHK.



ROBERT G. CAMPBELL & ASSOC., L.P.
CONSULTING ENGINEERS
KNOXVILLE, TENNESSEE

MEREDITH PARK
CONCEPT PLAN / USE ON REVIEW

ROAD PROFILES

DESIGNED BY GMT	CHECKED BY RGC	SCALE 1"=50' HORZ. 1"=5' VERT.	SHEET TWO NO. 2
DRAWN BY JER	DATE 12-18-19	FILE NO. 19117	OF 2 SHEETS