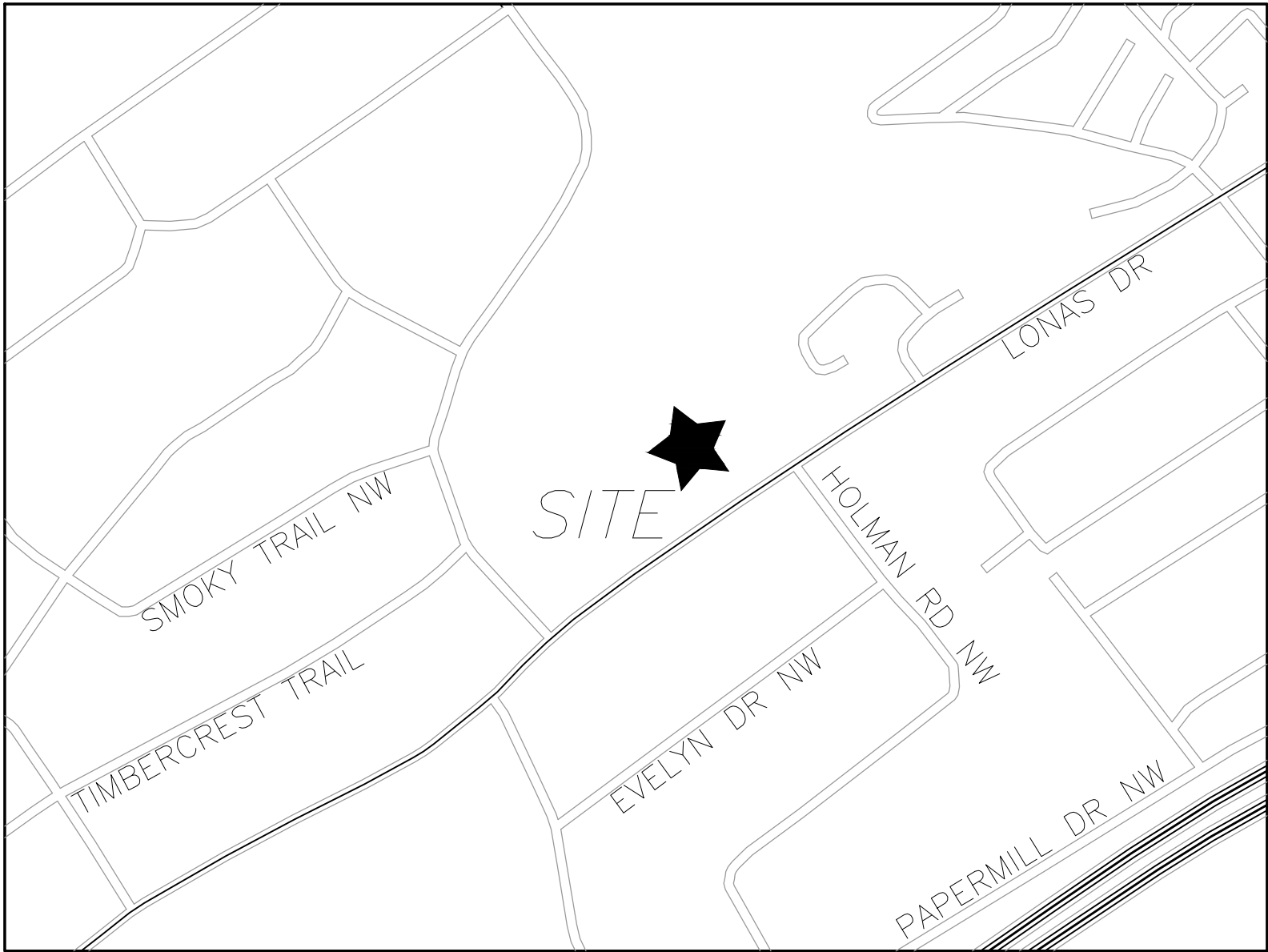


CONCEPT PLAN

U.E.I. PROJECT NO. 2110022

5117 LONAS DRIVE

SITE ADDRESS: 5117 LONAS DRIVE, KNOXVILLE, TENNESSEE 37909
CITY BLOCK #48260, PARCEL ID #107GB006



LOCATION MAP
N.T.S

OWNER/DEVELOPER:
IKO PROPERTIES LLC

P.O. BOX 10872
KNOXVILLE, TN 37939
TEL. (865) 558-5507



SITE ENGINEER:
URBAN ENGINEERING, INC.
CHRIS SHARP
10330 HARDIN VALLEY ROAD, SUITE 201
KNOXVILLE, TENNESSEE 37932
(865) 966-1924

SPECIFICATIONS

EXCEPT WHERE DIRECTED OTHERWISE BY THE PLANS, WORKMANSHIP AND MATERIAL (BUT NOT MEASUREMENT AND PAYMENT) FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS AND STANDARDS.

- | | |
|------------------|---|
| ELECTRIC | - AS DIRECTED BY KUB |
| GAS | - AS DIRECTED BY KUB |
| WATER | - AS DIRECTED BY KUB |
| CABLE TV | - AS DIRECTED BY COMCAST |
| TELEPHONE | - AS DIRECTED BY AT&T |
| SITE DEVELOPMENT | - AS PER CITY OF KNOXVILLE STANDARDS AND SPECIFICATIONS |

SHEET INDEX

TITLE

TITLE SHEET
DEMOLITION PLAN
SITE PLAN
ROAD PROFILES
BUILDING ELEVATION & FLOOR PLAN

SHEET

C-0
C-1
C-2
C-4
C-5

VARIANCE REQUESTS / ALTERNATIVE DESIGN STANDARD REQUESTS:

- 1) REDUCE THE PRIVATE R.O.W. WIDTH FROM 50' TO 40'.
- 2) REDUCE THE PAVEMENT WIDTH FROM 26' TO 24'.
- 3) INCREASE THE INTERSECTION GRADE TO 3% ALONG ROAD 'A' AT ITS INTERSECTION WITH ROAD 'B'.
- 4) INCREASE THE MAXIMUM ROAD GRADE FROM 12% TO 12.33% (ROAD 'A')

Certification of Concept Plan by Registered Engineer:

I hereby certify that I am a registered engineer, licensed to practice engineering under the laws of the State of Tennessee. I further certify that the plan and accompanying drawings, documents and statements conform, to the best of my knowledge, to all applicable provisions of the KnoxvilleKnox County Subdivision Regulations except as has been itemized and described in a report filed with the Planning Commission.

Registered Engineer

Christopher A. Sharp, P.E.

Tennessee License No. 108984

Date: 12/18/2023

FILE NO. 1-SB-24-C / 1-D-24-SU

2	12/18/23	SUBMITAL 2
ISSUE NO.	DATE	DESCRIPTION

TROTTER, CHRISTOPHER C.
& KRISTEN A.
WD 201911250036133
LOT 10 - BLOCK K
PARCEL 107G B 018.00

CLERCX, JOHN
OC 201704070061281
LOT 9 - BLOCK K
PARCEL 107G B 017.00

BROWN, GRACE C.N.
OC 200009200020066
LOT 8 - BLOCK K
PARCEL 107G B 016.00

SAMBA, CODOU
WD 200005150075917
LOT 7 - BLOCK K
PARCEL 107G B
015.00

HIGGINBOTHAM, RICHARD
A. JR. & CHARLOTTE K.
WD 200507010000633
LOT 6 - BLOCK K
PARCEL 107G B 014.00

HIGGINBOTHAM, RICHARD
A. JR. & CHARLOTTE K.
WD 197512220015330
LOT 5 - BLOCK K
PARCEL 107G B 013.00

HIGGINBOTHAM, RICHARD
A. JR. & CHARLOTTE K.
WD 201511190031376
LOT 4 - BLOCK K
PARCEL 107G B 012.00

CHEBAN, DAVID
WD 201906280077599
TIMBERCREST UNIT 2
LOT 3 - BLOCK K
PLAT 195909030000000
PARCEL 107G B 011.00

CHEBAN, DAVID
WD 201906280077599
TIMBERCREST UNIT 2
LOT 2 - BLOCK K
PLAT 195909030000000
PARCEL 107G B 010.00

JONES, SHARON R. & VERNON C.
OC 199801020036019
PARCEL 107G B 007.00

SHIRLEY, PAUL K. & NADINE L.
WD 198811220028249
PARCEL 107B A 018.00



- DEMOLITION PLAN NOTES:**
- 1) THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC., AND COMPILING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TENN ONE-CALL PRIOR TO ANY EXCAVATION WORK, TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.
 - 2) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL FEATURES THAT ARE BOLD ON THIS SHEET. THE CONTRACTOR IS RESPONSIBLE FOR DISPOSAL FEES IF APPLICABLE.
 - 3) BUILDINGS SHALL BE REMOVED TO THE BOTTOMS OF THEIR FOUNDATIONS, UNLESS OTHERWISE DIRECTED BY THE UTILITY OWNER. ALL UTILITY SERVICES SHALL BE REMOVED TO THE PROPOSED RIGHT OF WAY LINE. THE CONTRACTOR SHALL COORDINATE THE REMOVAL/RELOCATION OF THE SERVICE LINES WITH THE RESPECTIVE UTILITY OWNER.
 - 4) THE CONTRACTOR IS RESPONSIBLE FOR ATTAINING BUILDING DEMOLITION PERMITS, IF REQUIRED.

SHEET C-1

DEMOLITION PLAN
5117 LONAS DRIVE

SITE ADDRESS: 5117 LONAS DRIVE, KNOXVILLE, TN 37909

CITY OF KNOXVILLE KNOX CO.
WARD NO. 48 TENNESSEE
PARCEL ID #107GB006 CITY BLOCK NO. 48260
SCALE: 1"=30' NOVEMBER 27, 2023

DEVELOPER / OWNER: IKO PROPERTIES LLC
P.O. BOX 10872
KNOXVILLE, TENNESSEE 37939
(865) 588-5507



URBAN ENGINEERING, INC.
10330 HARDIN VALLEY ROAD, SUITE 201
KNOXVILLE, TENNESSEE 37932
(865) 966-1924

DRN: BS CHK: CAS DWG. NO. 2110022

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Registered Engineer *Christopher A. Sharp*
Christopher A. Sharp, P.E.

Tennessee License No. 108984

Date: 12/18/2023

FILE NO. 1-SB-24-C / 1-D-24-SU



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& KRISTEN A.
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PARCEL 107G B 018.00

CLERCK, JOHN
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LOT 9, BLOCK K
PARCEL 107G B 017.00

BROWN, GRACE C.N.
OC 200009200020066
LOT 8 - BLOCK K
PARCEL 107G B 016.00

SAMBA, CODOU
WD 202005150075917
LOT 7 - BLOCK K
PARCEL 107G B 015.00

HIGGINBOTHAM, RICHARD
A. JR. & CHARLOTTE K.
WD 200507010000633
LOT 6 - BLOCK K
PARCEL 107G B 014.00

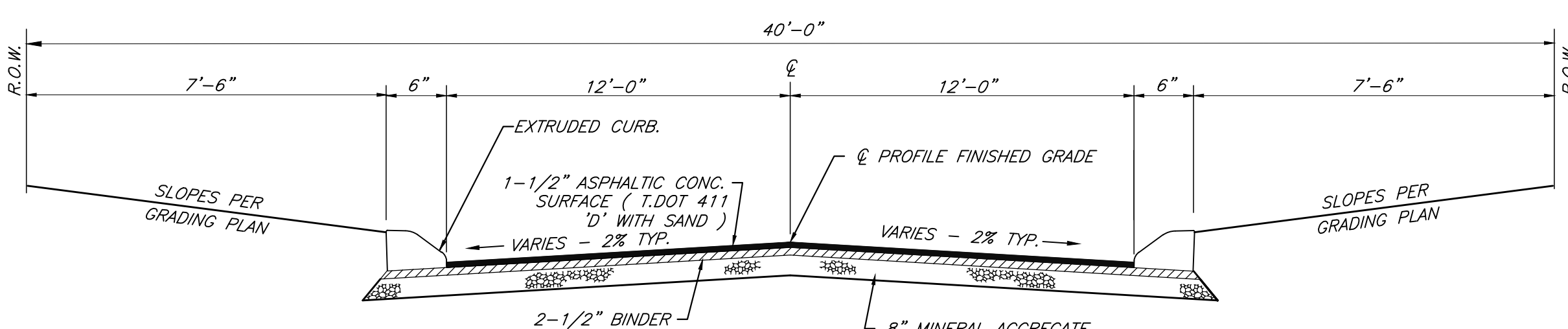
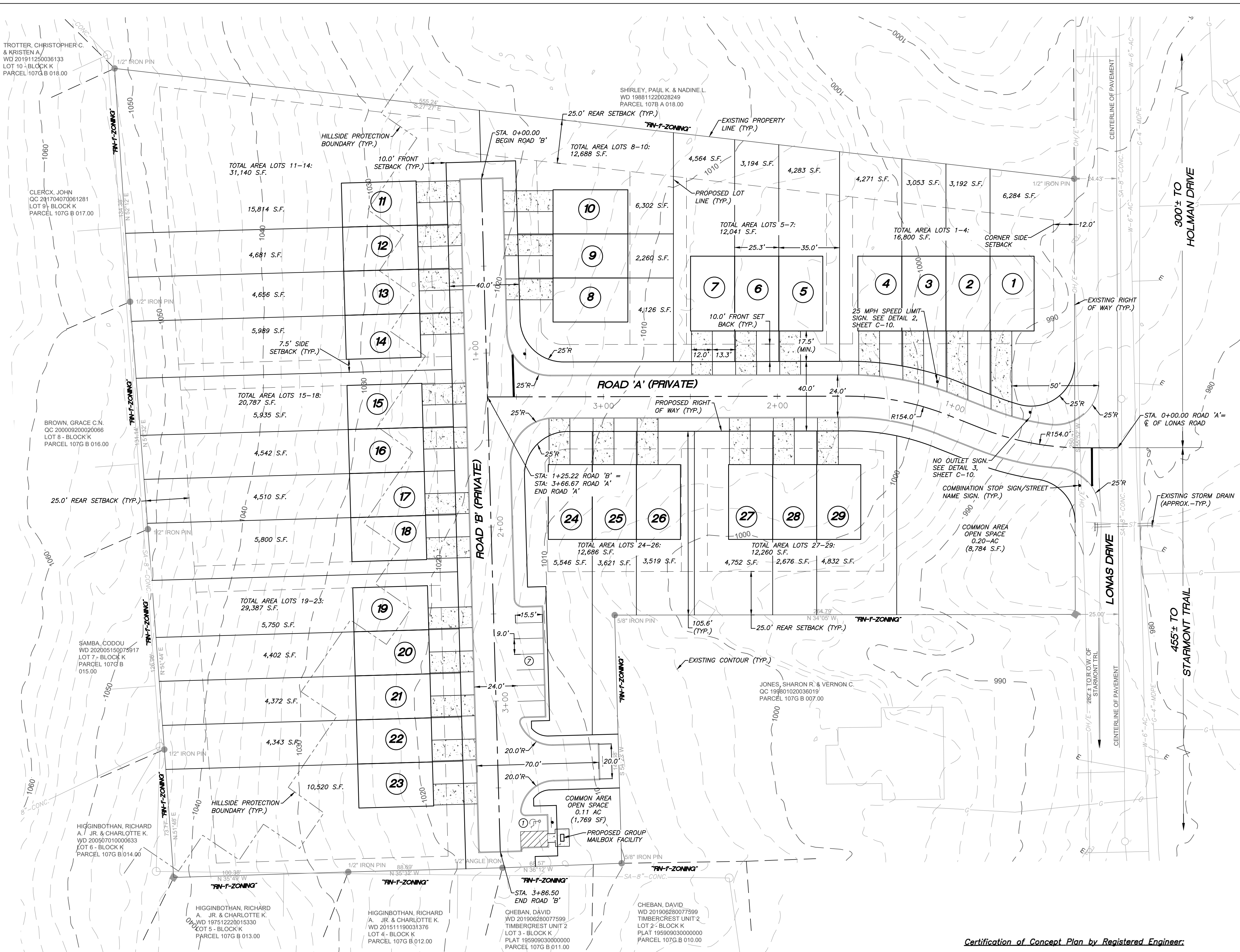
HIGGINBOTHAM, RICHARD
A. JR. & CHARLOTTE K.
WD 197512220015330
LOT 5 - BLOCK K
PARCEL 107G B 013.00

HIGGINBOTHAM, RICHARD
A. JR. & CHARLOTTE K.
WD 201511190031376
LOT 4 - BLOCK K
PARCEL 107G B 012.00

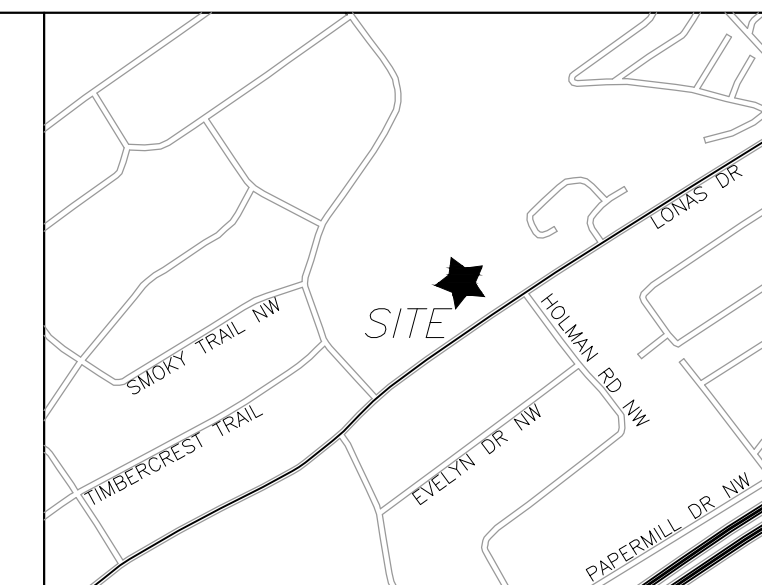
CHEBAN, DAVID
WD 201906280077599
TIMBERCREST UNIT 2
LOT 3 - BLOCK K
PLAT 195909030000000
PARCEL 107G B 011.00

CHEBAN, DAVID
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TIMBERCREST UNIT 2
LOT 2 - BLOCK K
PLAT 195909030000000
PARCEL 107G B 010.00

SHIRLEY, PAUL K. & NADINE L.
WD 198811220028249
PARCEL 107B A 018.00



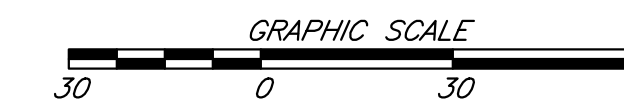
TYPICAL SECTION - LOCAL STREETS
N.T.S.



LOCATION MAP - N.T.S.

SITE PLAN NOTES:

1. THE PARCEL IS ZONED RN-3. SETBACKS ARE PER THE CITY OF KNOXVILLE ZONING ORDINANCE, AND ARE AS FOLLOWS:
FRONT YARD: 10' OR THE AVERAGE OF BLOCKFACE, WHICHEVER IS LESS
SIDE: 5' OR 15% OF LOT WIDTH, WHICHEVER IS LESS; IN NO CASE LESS THAN 15' COMBINED
CORNER: 12'
REAR: 25'
2. THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC., AND COMPILING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TENN ONE-CALL PRIOR TO ANY EXCAVATION WORK, TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF KNOXVILLE'S SPECIFICATIONS FOR SITE DEVELOPMENT.
4. TOTAL AREA OF THE DEVELOPMENT IS 4.4-ACRES.
5. PROPOSED OPEN SPACE = 10,551 S.F. (5.58)
6. THE PROPOSED LOTS SHALL ONLY HAVE VEHICULAR ACCESS TO THE INTERNAL SYSTEM.
7. ALL PROPOSED UNITS TO HAVE 1-CAR GARAGES.
8. SIGNAGE AND STRIPING TO BE IN ACCORDANCE WITH THE MUTCD (LATEST EDITION).
9. THE TOTAL AREA OF THE PROPERTY COVERED BY HILLSIDE PROTECTION IS 1.32 ACRES. THE TOTAL AREA OF DISTURBANCE WITHIN THE HILLSIDE PROTECTION AREA IS 0.7 ACRE.
10. POPULATION DENSITY: 29 DWELLING UNITS / 4.4 AC = 6.6 UNITS / ACRE
11. SEE THIS SHEET FOR INTERNAL STREETS TYPICAL SECTION.
12. PARKING SUMMARY:
REQUIRED: 2.25 SPACES PER DWELLING UNIT
= 2.25 x 29 = 65 PARKING SPACES
PROVIDED: 29 1-CAR GARAGES + 29 DRIVEWAYS + 8 OFF-STREET
= 66 PARKING SPACES



SHEET C-2

SITE PLAN

5117 LONAS DRIVE

SITE ADDRESS: 5117 LONAS DRIVE, KNOXVILLE, TN 37909

CITY OF KNOXVILLE KNOX CO.
WARD NO. 48 TENNESSEE
PARCEL ID #107GB006 CITY BLOCK NO. 48260
SCALE: 1"=30' NOVEMBER 27, 2023

DEVELOPER / OWNER: IKO PROPERTIES LLC
P.O. BOX 10872
KNOXVILLE, TENNESSEE 37939
(865) 588-5507



URBAN ENGINEERING, INC.
10330 HARDIN VALLEY ROAD, SUITE 201
KNOXVILLE, TENNESSEE 37932
(865) 966-1924

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Registered Engineer *Christopher A. Sharp, P.E.*

Tennessee License No. 108984

Date: 12/18/2023

FILE NO. 1-SB-24-C / 1-D-24-SU

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1	12/18/23	REVISED PER COK & KNOX PLANNING COMMENTS	BS

DRN: BS CHK: CAS DWG. NO. 2110022



TROTTER, CHRISTOPHER C.
& KRISTEN A.
WD 201911250038133
LOT 10 - BLOCK K
PARCEL 107G B 018.00

CLERCK, JOHN
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LOT 8 - BLOCK K
PARCEL 107G B 016.00

SAMBA, CODOU
WD 202005150075517
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PARCEL 107G B
015.00

HIGGINBOTHAM, RICHARD
A. JR. & CHARLOTTE K.
WD 200507010000633
LOT 6 - BLOCK K
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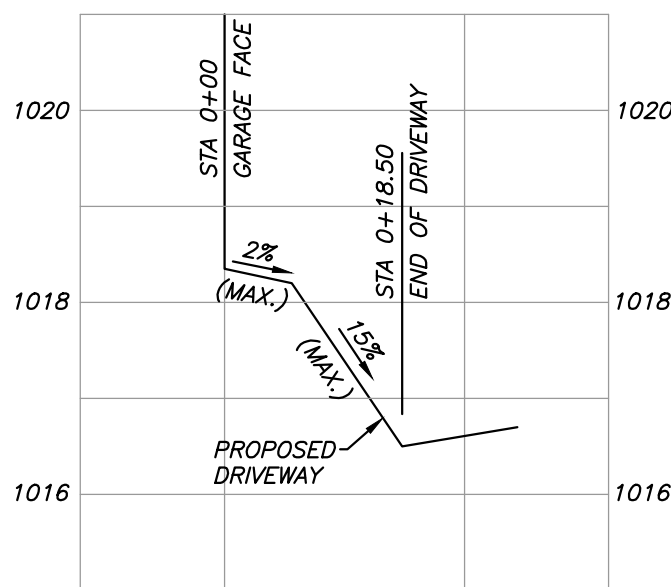
CHEBAN, DAVID
WD 201906280077599
TIMBERCREST UNIT 2
LOT 3 - BLOCK K
PLAT 195909030000000
PARCEL 107G B 011.00

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CHEBAN, DAVID
WD 201906280077599
TIMBERCREST UNIT 2
LOT 2 - BLOCK K
PLAT 195909030000000
PARCEL 107G B 010.00



DRIVEWAY PROFILE (LOT 9)
1"=20' (HORIZONTAL)
1"=2' (VERTICAL)

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Registered Engineer: *Christopher A. Sharp*

Christopher A. Sharp, P.E.

Tennessee License No. 108984

Date: 12/18/2023

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1	12/18/23	REVISED PER COK & KNOX PLANNING COMMENTS	BS

TREE PROTECTION ORDINANCE REQUIREMENTS:

- WHERE A BUILDING PERMIT FOR NEW CONSTRUCTION OR SUBDIVISION APPROVAL IS REQUIRED, A MINIMUM OF SIX (6) TREES PER ACRE SHALL BE RETAINED ON THE SITE UNLESS BECAUSE OF CUT OR FILL WORK SUCH TREES CANNOT BE SAVED.
- WHERE TREES CANNOT BE RETAINED PURSUANT TO THE KNOXVILLE TREE PROTECTION ORDINANCE, OR DO NOT EXIST ON THE SITE, THEY SHALL BE PROVIDED, WITHIN TWELVE (12) MONTHS OF CONSTRUCTION COMPLETION, AT THE RATE OF EIGHT (8) TREES PER ACRE, WITH AT LEAST ONE-HALF OF THE REQUIRED NUMBER BEING SPECIES CAPABLE OF ATTAINING A HEIGHT OF FIFTY (50) FEET OR MORE AT MATURITY. SUCH TREES SHALL HAVE A MINIMUM TRUNK DIAMETER OF TWO (2) INCHES AT SIX (6) INCHES ABOVE GROUND AT PLANTING, UNLESS OF AN ORNAMENTAL VARIETY, WHICH SHALL HAVE A MINIMUM TRUNK DIAMETER OF ONE AND ONE-FOURTH (1 1/4) INCHES AT SIX (6) INCHES ABOVE GROUND AT PLANTING.

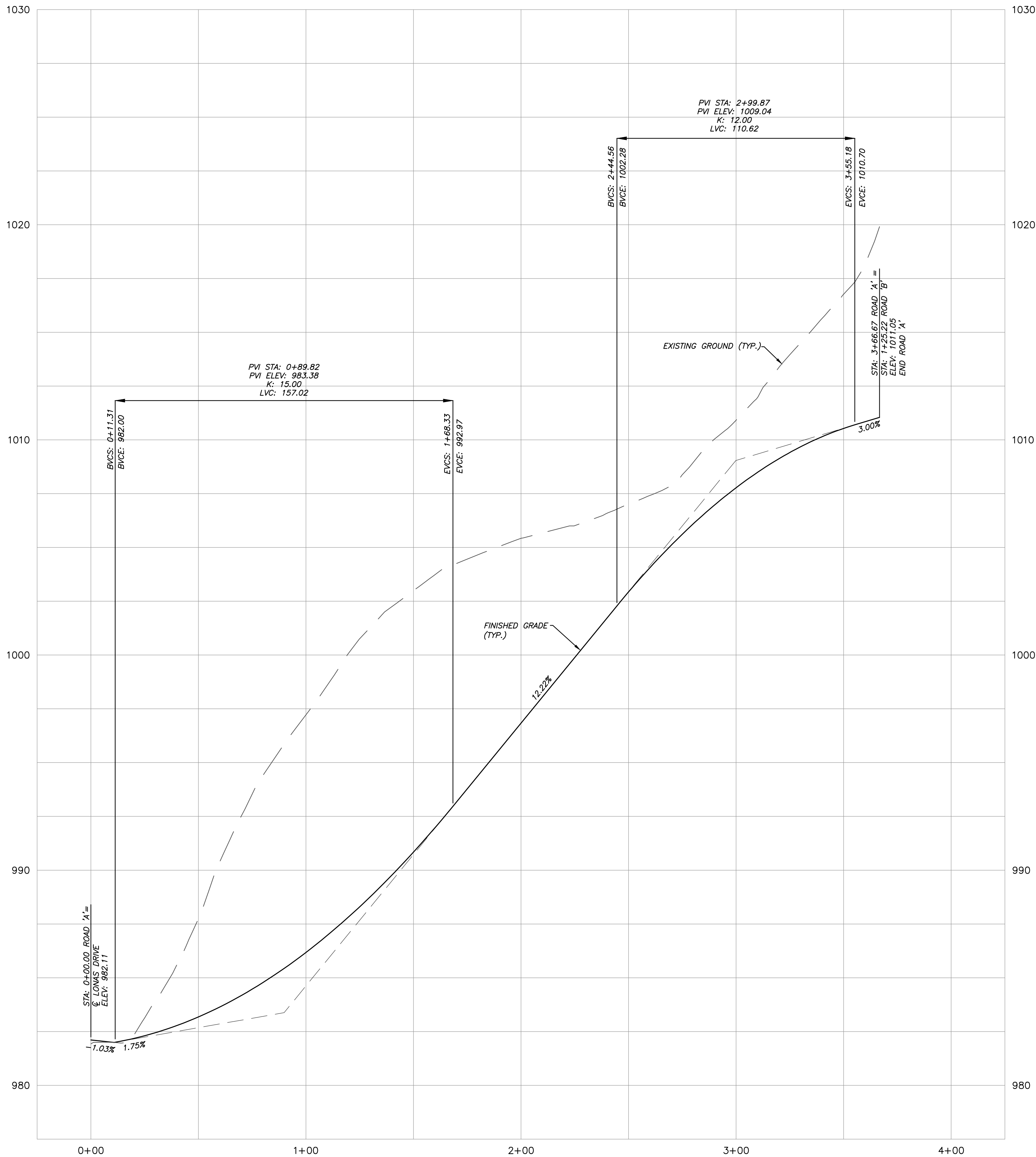
GRADING PLAN NOTES:

- THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC., AND COMPLYING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TEST ONE-CALL PRIOR TO ANY EXCAVATION WORK, TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF KNOXVILLE'S SPECIFICATIONS FOR SITE DEVELOPMENT.
- ALL WORK SHALL BE SEQUENCED AND COMPLETED IN ACCORDANCE WITH THE SWPPP AND RELATED PERMITS ISSUED BY THE CITY OF KNOXVILLE.
- CLEAR AND GRUB PER SPECS: REMOVE TREES, BRUSH, DEBRIS, AND STUMPS FROM THE WORK AREA. REMOVE ALL BUILDINGS, DRIVES, CROSS FENCES, AND MISCELLANEOUS EQUIPMENT.
- STRIP AND STOCKPILE TOPSOIL NEEDED FOR RESPRADING AND SEEDING. SURROUND TOPSOIL PILE WITH SILT FENCE, STRAW BALES, TEMPORARY SEEDING OR ADDITIONAL MEASURES AS NEEDED TO PREVENT EROSION/SEDIMENTATION.
- AFTER STRIPPING AND REMOVAL, PROOF ROLL ENTIRE DISTURBED AREA WITH TANDEM TRUCK FULLY LOADED WITH EARTH. REMOVE ANY AREAS WHICH ARE SOFT OR YIELDING UNDER LOAD AND REPLACE WITH NEW MATERIAL MEETING PROJECT SPECIFICATIONS.
- IF UNSUITABLE SUBGRADE MATERIALS ARE ENCOUNTERED, THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT WITH APPROVED MATERIAL FROM ONSITE OR APPROVED OFFSITE BORROW AREA. UNSUITABLE MATERIALS ARE THOSE CLASSIFIED AS MH, CH, OH, OL, AND PEAT IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM.
- COMPACTION REQUIREMENTS ARE SUMMARIZED AS FOLLOWS: (PLACE IN 8" LIFTS)
 - TOP 24 INCHES OF SUBGRADE UNDER PAVED AREAS 100 PERCENT STANDARD PROCTOR - LOWER THAN 24 INCHES BELOW PAVED AREA 95 PERCENT STANDARD PROCTOR.
 - AREAS WITHIN THE BUILDING ENVELOPE TO BE PREPARED IN ACCORDANCE WITH RECOMMENDATIONS IN REPORT OF GEOTECHNICAL INVESTIGATION AND/OR AS DIRECTED BY THE SOILS ENGINEER.
- ALL FINISHED YARD AREAS SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL. YARD FINISHED GRADES SHOWN ARE AFTER PLACEMENT OF 4 INCHES OF TOPSOIL. ALL FINISHED YARD SURFACES SHALL BE SMOOTHLY AND UNIFORMLY GRADED, FREE FROM IRREGULARITIES AND SHALL BE FULLY FUNCTIONAL TO PROVIDE POSITIVE DRAINAGE AT ALL LOCATIONS.
- THE TOTAL AREA DISTURBED AS PART OF THIS PROJECT (3.3± ACRES). TOTAL AREA DISTURBED WITHIN THE HILLSIDE PROTECTION AREA (0.7± ACRES).
- PROPOSED SPOT ELEVATIONS AND PROPOSED CONTOURS ARE AFTER THE INSTALLATION OF TOPSOIL IN GRASSED AREAS, PAVING WITHIN DRIVES AND FLATWORK.
- A FINAL PLAT SHALL BE RECORDED TO CREATE TRAVERSIBLE ACCESS, STORM WATER DETENTION AND WATER QUALITY EASEMENTS, AS SHOWN.
- IF REQUIRED, IT IS THE RESPONSIBILITY OF THE OWNER TO OBTAIN PERMISSION FROM THE NEIGHBOR TO WORK ON HIS OR HER PROPERTY.
- SLOPE POND BOTTOM AT 2% (MIN) TOWARD OUTLET STRUCTURE.
- THE VERTICAL DATUM IS NAVD88. HORIZONTAL INFORMATION IS BASED ON NAD83.
- TURF REINFORCEMENT MAT SHALL BE INSTALLED ON ALL SLOPES STEEPER THAN 3:1.

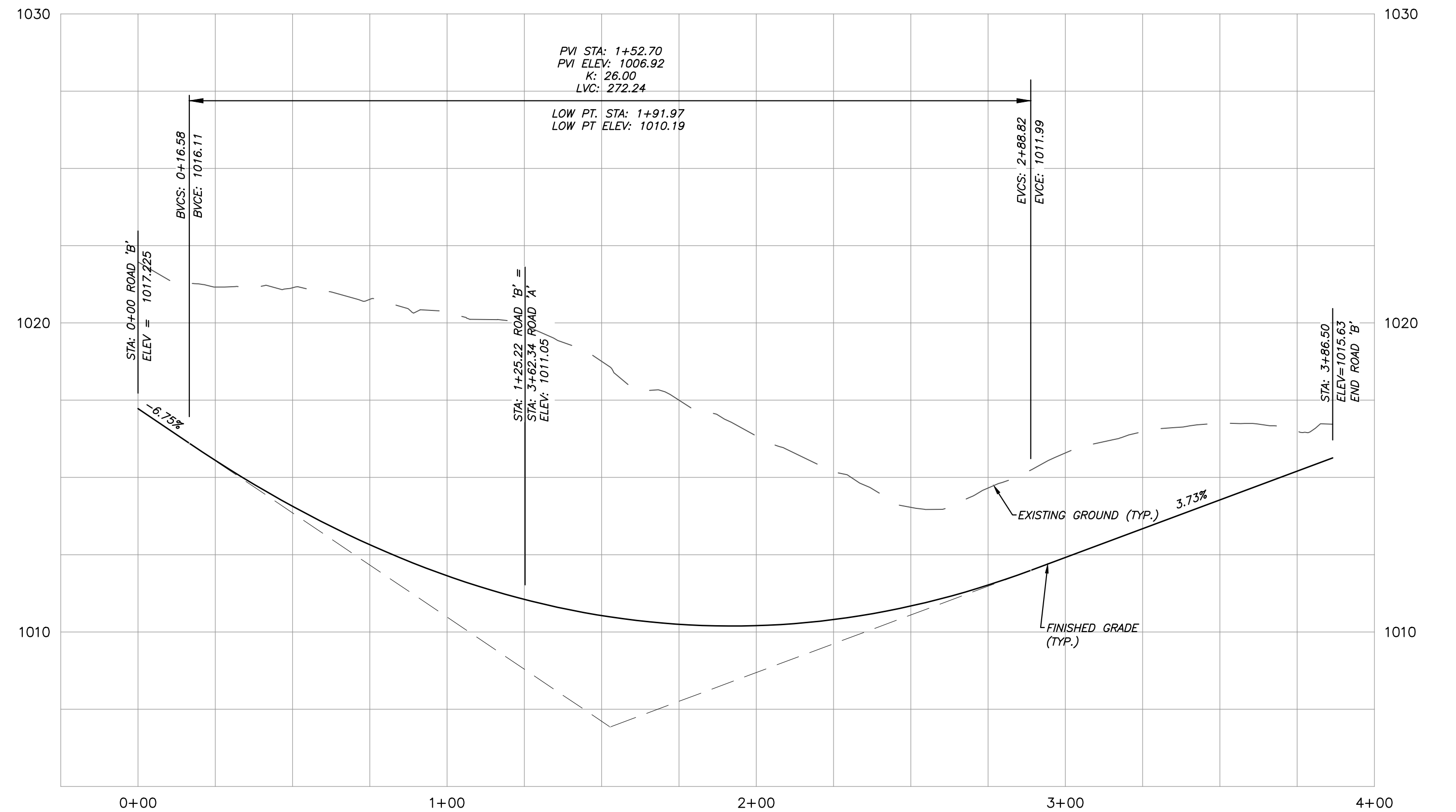
LOCATION MAP - N.T.S.

SHEET C-3

PRELIMINARY GRADING PLAN 5117 LONAS DRIVE SITE ADDRESS: 5117 LONAS DRIVE, KNOXVILLE, TN 37909		
CITY OF KNOXVILLE WARD NO. 48 PARCEL ID #107GB006 SCALE: 1"=30'	KNOX CO. TENNESSEE CITY BLOCK NO. 48260 NOVEMBER 27, 2023	
DEVELOPER / OWNER: IKO PROPERTIES LLC P.O. BOX 10872 KNOXVILLE, TENNESSEE 37939 (865) 588-5507		
 URBAN ENGINEERING, INC. 10330 HARDIN VALLEY ROAD, SUITE 201 KNOXVILLE, TENNESSEE 37932 (865) 966-1924		
DWN: BS	CHK: CAS	DWG. NO. 2110022



PROFILE VIEW: ROAD 'A'
1"=30' (HORIZONTAL)
1"=3' (VERTICAL)



PROFILE VIEW: ROAD 'B'
1"=30' (HORIZONTAL)
1"=3' (VERTICAL)

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Registered Engineer

Christopher A. Sharp
Christopher A. Sharp, P.E.

Tennessee License No. 108984

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SHEET C-4

ROAD PROFILES

5117 LONAS DRIVE

SITE ADDRESS: 5117 LONAS DRIVE, KNOXVILLE, TN 37909

CITY OF KNOXVILLE KNOX CO.
WARD NO. 48 TENNESSEE
PARCEL ID #107GB006 CITY BLOCK NO. 48260
SCALE: AS NOTED NOVEMBER 27, 2023

DEVELOPER / OWNER: **IKO PROPERTIES LLC**
P.O. BOX 10872
KNOXVILLE, TENNESSEE 37939
(865) 588-5507



URBAN ENGINEERING, INC.
10330 HARDIN VALLEY ROAD, SUITE 201
KNOXVILLE, TENNESSEE 37932
(865) 966-1924

DWN: BS

CHK: CAS

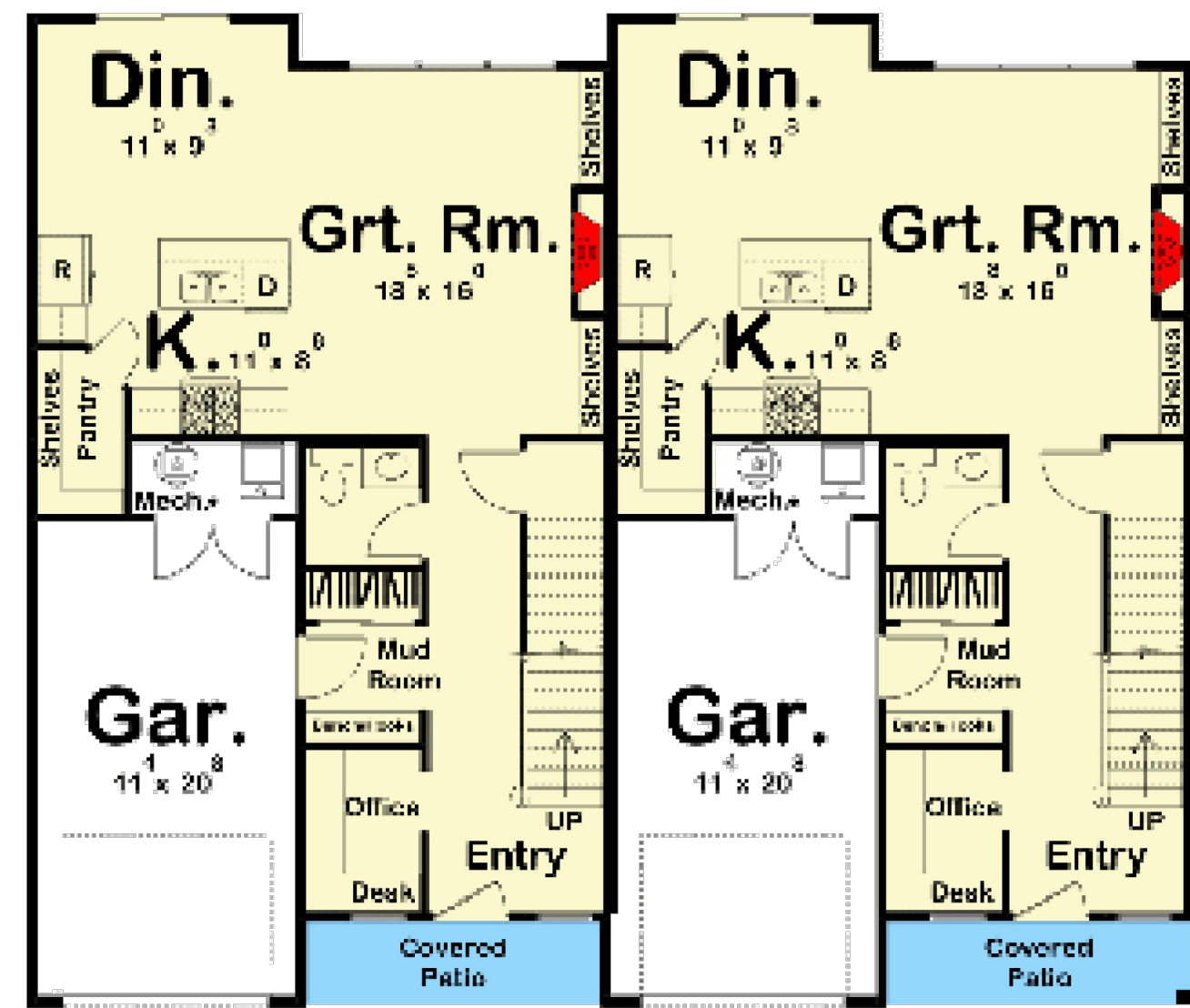
DWG. NO. 2110022



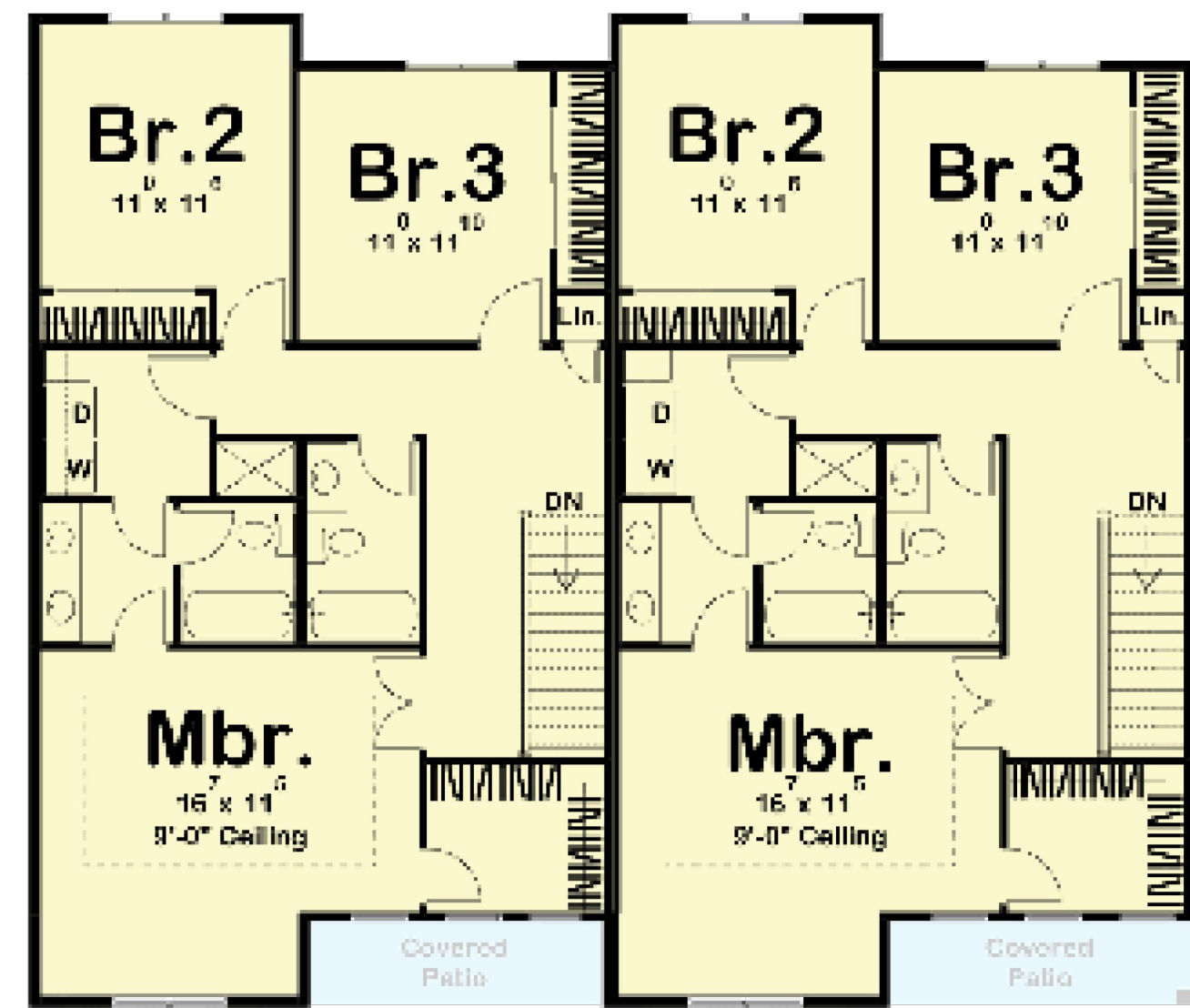
BUILDING ELEVATION

NOTE: TRANSPARENCY ON FRONT FACADE IS APPROXIMATELY 15.5%.

Main Level



2nd Floor



FLOOR PLANS

SHEET C-5

BUILDING ELEVATION & FLOOR PLAN
5117 LONAS DRIVE

SITE ADDRESS: 5117 LONAS DRIVE, KNOXVILLE, TN 37909

CITY OF KNOXVILLE
WARD NO. 48
PARCEL ID #107GB006
SCALE: N.T.S.

KNOX CO.
TENNESSEE
CITY BLOCK NO. 48260
NOVEMBER 27, 2023

DEVELOPER / OWNER: **IKO PROPERTIES LLC**
P.O. BOX 10872
KNOXVILLE, TENNESSEE 37939
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URBAN ENGINEERING, INC.
10330 HARDIN VALLEY ROAD, SUITE 201
KNOXVILLE, TENNESSEE 37932
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DWN: BS CHK: CAS DWG. NO. 2110022



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REVISION	DATE	DESCRIPTION
1	12/18/23	ADDED SHEET

BS
BY