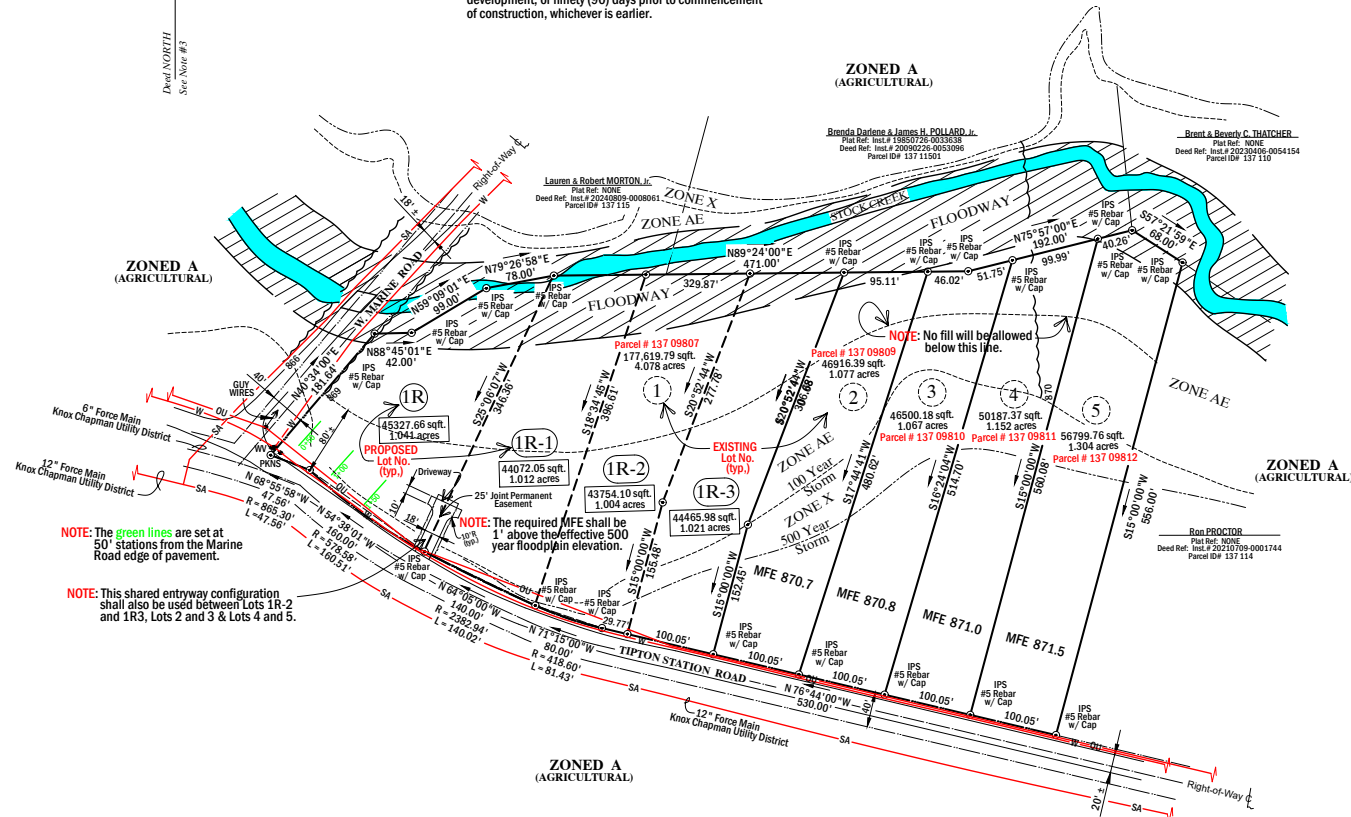


NOTE: This Concept Plan lies within 660 feet of a natural gas transmission pipeline. The developer is responsible for notifying the operator of the natural gas transmission pipeline of the planned development no later than ten (10) days from the date of application for approval of the development, or ninety (90) days prior to commencement of construction, whichever is earlier.



NOTE: The green lines are set at 50' stations from the Marine Road edge of pavement.

NOTE: This shared entryway configuration shall also be used between Lots 1R-2 and 1R-3, Lots 2 and 3 & Lots 4 and 5.

NOTE: The required MFE shall be 1' above the effective 500 year floodplain elevation.

NOTE: No fill will be allowed below this line.

CONCEPT PLAN

Scale: 1" = 100'

TOTAL TRACT
CONTAINS
378,023.49 sqft.
8.678 acres

Utility Providers:

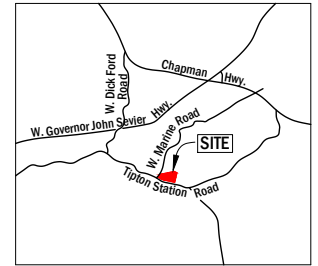
ELECTRICITY Knoxville Utilities Board
WATER Knox Chapman Utility District
SEWER Knox Chapman Utility District
CABLE Knoxville Utilities Board & Comcast
TELEPHONE AT&T

Symbols & Abbreviations:

⊙ Utility Pole
⊙ Property Corner
⊙ Iron Pin Found
⊙ Iron Pin Set
⊙ Parker Kalon Nail Set
⊙ Right-of-Way Line
⊙ Centerline
⊙ Warranty Deed Book
⊙ Page
⊙ Instrument Number
⊙ Utility Pole
⊙ Utility Service Pole
⊙ Centerline
⊙ Minimum Floor Elevation
⊙ Water Valves
⊙ Water Line
⊙ Sanitary Sewer Line
⊙ Overhead Utilities

General Notes:

- Iron pins are located at all property corners, unless noted otherwise.
- There is a ten (10) foot wide utility and drainage easement inside all exterior property lines, adjoining streets and private rights-of-way (including Joint Permanent Easements). Easements of five (5) feet in width shall be provided along both sides of all interior lot lines and on the inside of all other exterior lot lines.
- The North Arrow was referenced to a survey prepared by Bender & Lemay Consulting Engineers, Knoxville, TN, Dated: July 20, 1981 (Drawing No. L-1154).
- One 8.678 acres (378,023.49 sqft.) Lot into 8 Lots.
- This property is Zoned A (Agricultural).
- The purpose of this plat is to divide Lot 1 into 4 lots.
- This is a Category 1 Survey and the accuracy of the un-adjusted field closure is 1" in 10,000' or greater.



Location Map

Not to Scale

CERTIFICATION of the ACCURACY of SURVEY

Survey accuracy shall meet the requirements of the current edition of the Rules of the Tennessee State Board of Examiners for Land Surveyors - Standards of Practice.

I HEREBY CERTIFY that this survey was prepared in compliance with the current edition of the Rules of the Tennessee State Board of Examiners for Land Surveyors - Standards of Practice.

Shawn L. Biggs 8/15/2025
DATE: _____

Registered Land Surveyor
Tennessee Registration No. 712

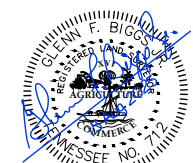
CERTIFICATION of FINAL PLAT

All Indicated Markers, Monuments and Benchmarks Set

I HEREBY CERTIFY that I am a registered land surveyor licensed to practice surveying under the laws of the State of Tennessee. I further certify that this plat and accompanying drawings, documents and statements conform, to the best of my knowledge, to all applicable provisions of the Knoxville/Knox County Subdivision Regulations except as has been itemized, described and justified in a report filed with the Planning Commission, or for variances and waivers which have been approved as identified on the final plat. The indicated permanent reference markers and monuments, benchmarks and property monuments were in place on the 15th day of August, 2025.

Shawn L. Biggs 8/15/2025
DATE: _____

Registered Land Surveyor
Tennessee Certificate No. 712



Revised: 12/30/2025

File Number: 1-SB-26-C

Concept Plan of RAUHUFF SUBDIVISION

OWNERS:

Kathleen RAUHUFF, Sam RAUHUFF, Jr. & wife
Gina RAUHUFF
1318 Rhea Road
Knoxville, TN. 37920
(865) 254-1986

PROPERTY DATA:

9th. Civil District - Knox County, Tennessee
TAX Map #s 137-09807, 137-09809, 137-09810, 137-09811
& 137-09812
DEED REF: Inst. # 20250905-0014146
PLAT REF: Inst. # 20251029-0024732

SURVEYOR:

Glenn F. Biggs, Jr.
REGISTERED LAND SURVEYOR
2855 Gibbs Drive
Knoxville, Tennessee 37918
OFF: (865) 688-1843 eMAIL: dtcgbf@comcast.net

Date: 21 November 2025 Project No.: 250815
Surv. By: GFB Dwg. By: GFB Rev: 12/19/25 Planning Comments

