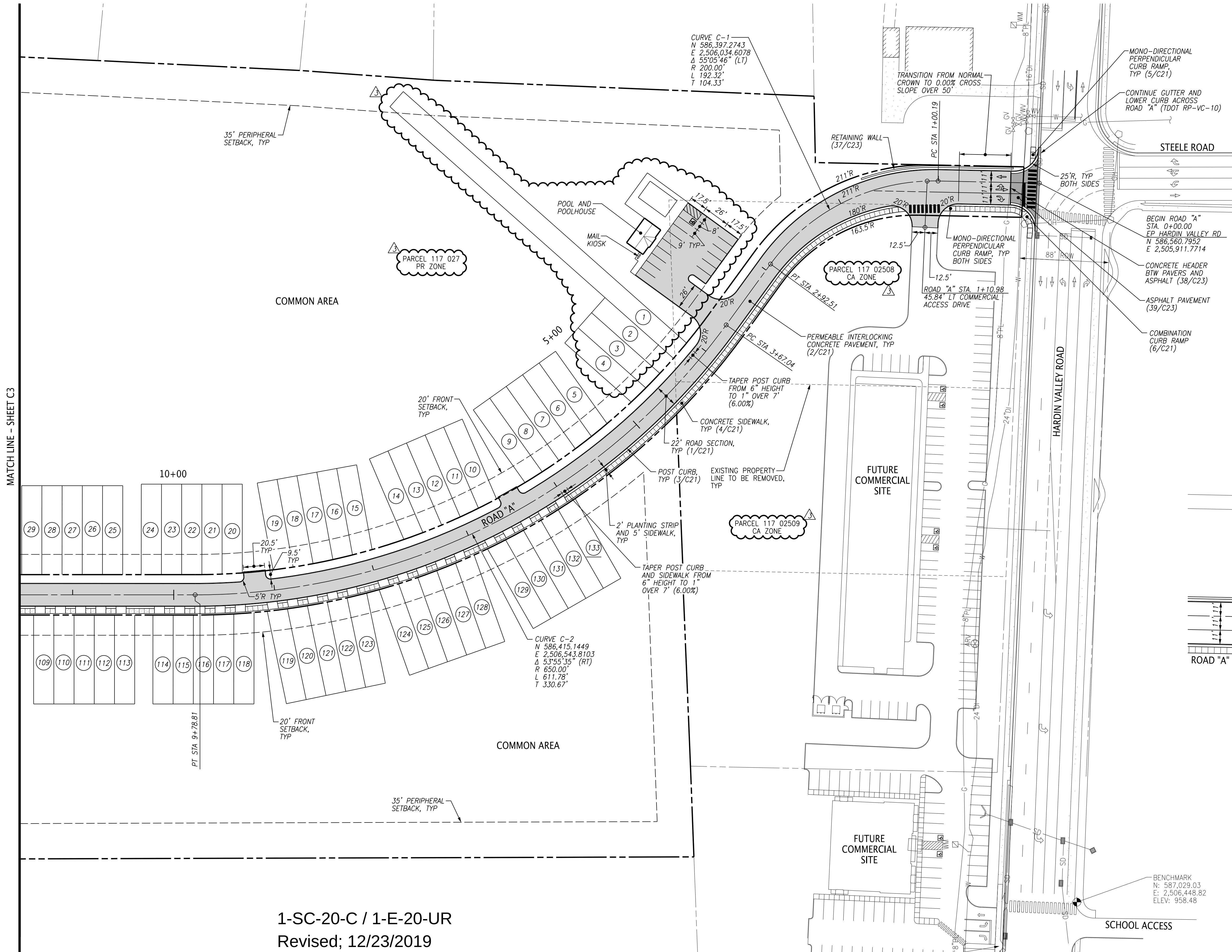


File Name: \\F\548\548.001\DWG\548001-002.dgn
Plot Date: 12/21/2019

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1-SC-20-C / 1-E-20-UR
Revised; 12/23/2019

GENERAL NOTES:

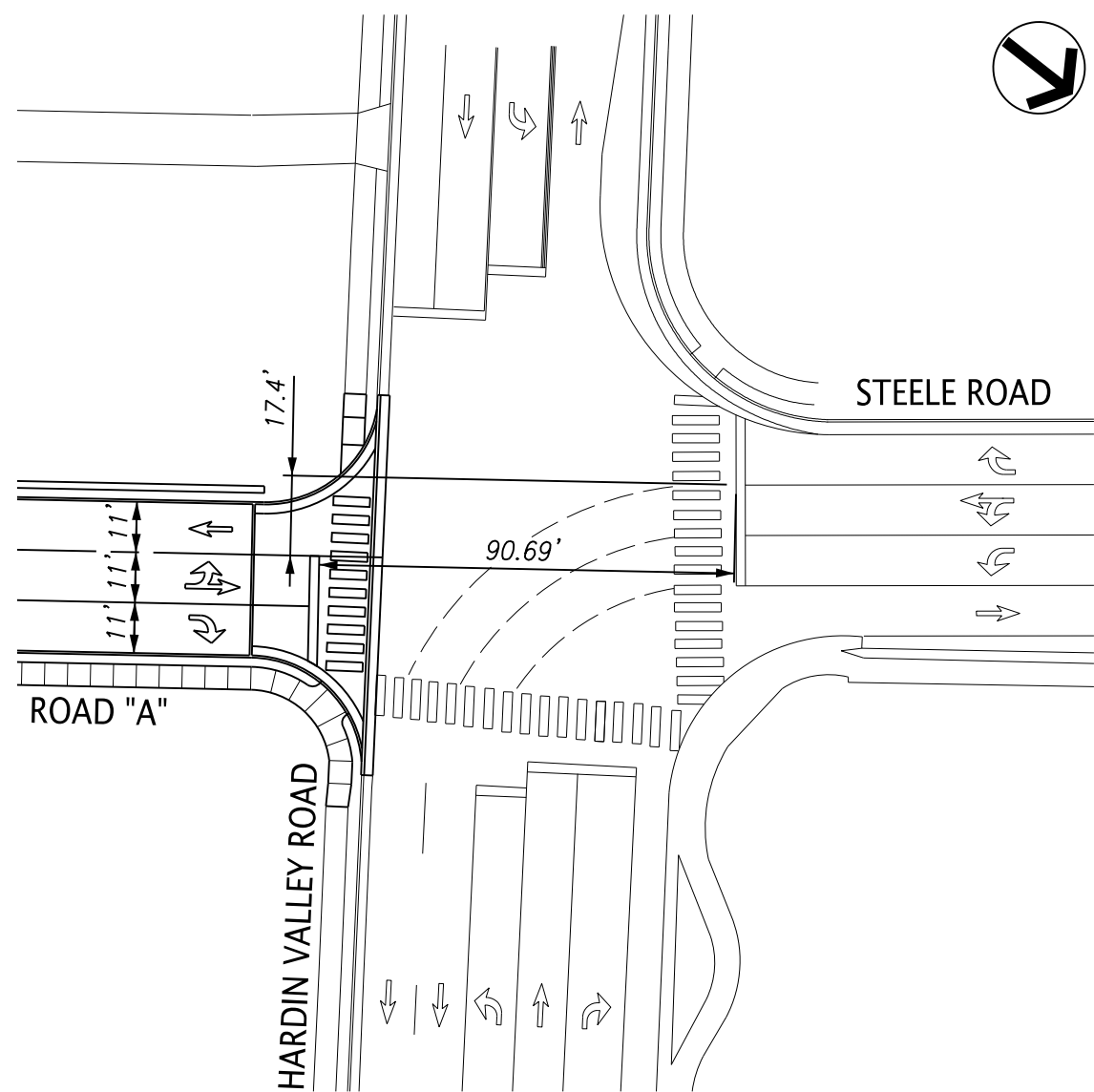
1. THE TOPOGRAPHIC & BOUNDARY DATA WAS TAKEN FROM BENCHMARK & ASSOCIATES, INC. DATED AUGUST 12, 2015.
2. UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN FROM THE PROPERTY LINE, FACE OF CURB, EDGE OF PAVEMENT OR OUTSIDE FACE OF BUILDING.
3. THE MINERAL AGGREGATE BASE AND PERMEABLE INTERLOCKING CONCRETE PAVEMENT SHALL MEET THE MATERIALS, EQUIPMENT, CONSTRUCTION, AND TESTING REQUIREMENTS OF THESE DRAWINGS, AND THE KNOX COUNTY DEPARTMENT OF ENGINEERING STANDARD SPECIFICATIONS.
4. CONCRETE CURB AND PAVEMENT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. CONCRETE CURB AND PAVEMENT SHALL MEET THE MATERIALS, EQUIPMENT, AND CONSTRUCTION REQUIREMENTS OF THE KNOX COUNTY DEPARTMENT OF ENGINEERING STANDARD SPECIFICATIONS.
5. TRAFFIC CONTROL DEVICES AND PAVEMENT MARKING SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATIONS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
6. PROPERTY CONCERNED REFLECTS PARCELS 117 027, A PORTION OF PARCEL 117 02508, AND A PORTION OF PARCEL 117 02509 AS SHOWN ON KNOX PROPERTY CLT MAP 117. ZONING FOR PARCEL 117 027 IS PR, PLANNED RESIDENTIAL ZONE. ZONING FOR PARCELS 117 02508 AND 117 02509 IS CA, GENERAL BUSINESS ZONE. PARCEL 117 027 AREA = 30.5± AC. PARCEL 117 02508 AREA = 1.4± AC. PARCEL 117 02509 AREA = 1.4± AC. DISTURBED AREA = 34.3± AC.
OWNER: HARDIN VALLEY LAND PARTNERS
10784 HARDIN VALLEY ROAD
KNOXVILLE, TN 37932
7. BUILDING SETBACKS IN THE PR ZONE ARE 20-FT. IN FRONT, 0-FT. ON SIDE AND 15-FT. IN REAR.
8. PLANNING COMMISSION CASE NUMBER: 1-SC-20-C/1-E-20-UR.
9. PROPOSED DENSITY: 133 DU/30.5 AC = 3.70 DU/AC
10. MINIMUM LOT DIMENSIONS: 20-FT. x 85-FT. MINIMUM LOT AREA: 1,700 SF

VARIANCE REQUESTS:

1. REDUCE INTERSECTION RIGHT-OF-WAY RADIUS FROM 75-FT. TO 0-FT. FOR ROAD "A" AT HARDIN VALLEY ROAD.
2. REDUCE MINIMUM HORIZONTAL CURVE RADIUS FROM 250-FT. TO 150-FT. FOR ROAD "A" STA 1+00.19 TO STA 2+92.51.
3. REDUCE MINIMUM HORIZONTAL CURVE RADIUS FROM 250-FT. TO 150-FT. FOR ROAD "A" STA 13+47.12 TO STA 15+82.74.
4. REDUCE MINIMUM K-VALUE FROM K=25 TO K=15 FOR ROAD "A" STA 1+01.91.
5. REDUCE MINIMUM LOT WIDTH FROM 25-FT. TO 20-FT.

WAIVER REQUESTS:

1. INCREASE MAXIMUM ROAD GRADE FROM 12% TO 14% FOR ROAD "A" STA 1+03.75 TO STA 13+38.53.
2. INCREASE MAXIMUM ROAD GRADE AT INTERSECTION FROM 1.00% TO 1.50% FOR ROAD "A" AT HARDIN VALLEY ROAD.



INTERSECTION DETAIL
SCALE: 1"=40'

LEGEND:

	ASPHALT PAVEMENT
	PERMEABLE INTERLOCKING CONCRETE PAVEMENT
	CONCRETE PAVEMENT
	PROPERTY LINE
	ROAD CENTERLINE
	SETBACK
	PROPERTY LINE TO BE REMOVED
TYP (1/C2)	TYPICAL DETAIL REF. (DETAIL NO./SHT. NO.)



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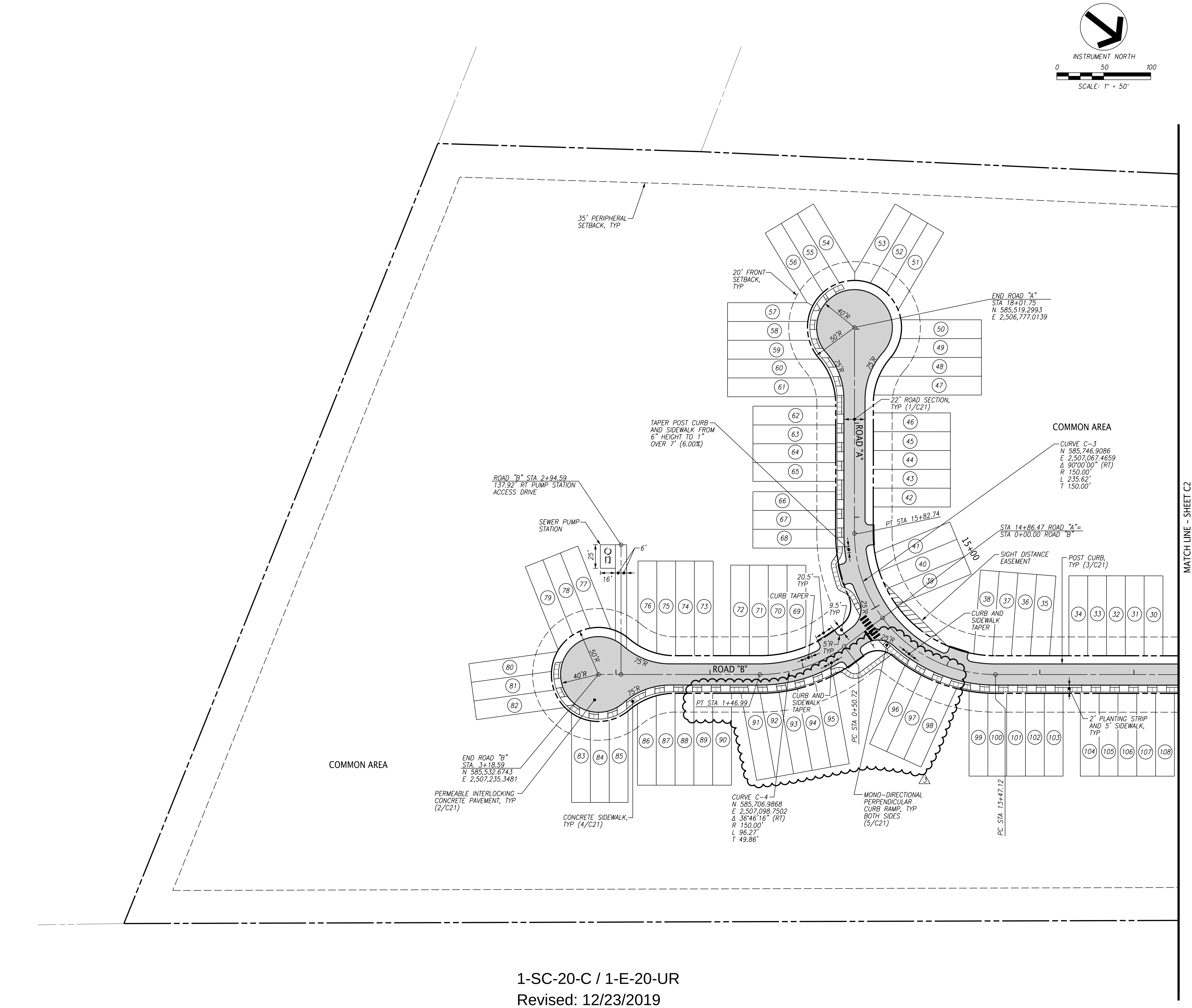
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KNOXVILLE, TENNESSEE 37932

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CONTACT: RUSTY BITTLE
TELEPHONE NO.: 865.670.7426
EMAIL: RUSTY@HARDINVALLEYLAND.COM

LAYOUT AND
PAVING PLAN

PROJ. NO.	DESIGNED BY	WCF	DRAWN BY	JCM	Date
548.001	REVISOR PER PLANNING STAFF COMMENTS	12/23/19	11/11/19	08/05/19	07/10/19
548.001	REVISOR PER KNOX COUNTY COMMENTS	08/05/19	07/10/19	07/10/19	07/10/19
548.001	ISSUED FOR CONSTRUCTION	07/10/19	07/10/19	07/10/19	07/10/19
548.001	Project	548.001	Sheet	C2	1"=50'

File Name: \\1548\\548.001\\DWG\\1548001-003.dgn
Plot Date: 12/21/2019



1-SC-20-C / 1-E-20-UR
Revised: 12/23/2019

NOTES:
1. REFERENCE SHEET C2 FOR NOTES AND LEGEND.

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**LAYOUT AND
PAVING PLAN**

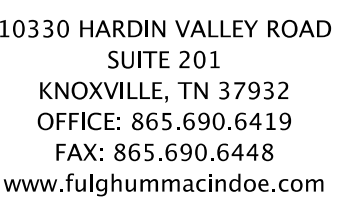
PROJ. MGR.	DESIGNED BY		WCF	DRAWN BY	JCM
	WCF	WCF			
Project 548.001	A	REVISED PER PLANNING STAFF COMMENTS			
		ADDED LOTS, REVISED LOT NUMBERS			
		ADDED PARALLEL PARKING			
		ISSUED FOR CONSTRUCTION			
Date 07/10/19	No.	Revision/Issue			
Scale 1"=50'		Date			
Sheet					



COORD GRADING WITH-
ADJACENT COMMERCIAL
PROJECT

1. UNLESS NOTED OTHERWISE, THE PROPOSED GRADES SHOWN ON THESE DRAWINGS ARE FINISHED GRADE. EXISTING AND PROPOSED CONTOURS ARE SHOWN AT 2-FT. INTERVALS.
2. THE ACCURACY OF THE GRADES IS DEPENDANT ON THE DATA PROVIDED BY THE OWNER OR OWNER'S REPRESENTATIVE. FIELD VERIFY AS NECESSARY PRIOR TO CONSTRUCTION.
3. THE SITE SHALL BE CLEARED AND GRUBBED WITHIN THE LIMITS OF EXCAVATION. COMPLETELY DISPOSE OF ALL MATERIALS RESULTING FROM CLEARING AND GRUBBING OFF-SITE. BURNING SHALL NOT BE PERMITTED UNLESS PRIOR APPROVAL IS OBTAINED BY THE LOCAL FIRE DEPARTMENT. THE CONTRACTOR MUST OBTAIN A PERMIT AND MEET ALL OF THE REQUIREMENTS AS SPECIFIED BY THE FIRE DEPARTMENT.
4. ALL TREES STUMPS, BOULDERS, AND OTHER OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF 2 FT BELOW THE SUBGRADE. ROCK SHALL BE SCARIFIED TO DEPTH OF 1 FT BELOW SUBGRADE.
5. STRIP TOPSOIL FULL DEPTH (6-IN. MIN.) AND TEMPORARILY STOCKPILE EXCAVATED MATERIALS. INSTALL SILT FENCE OR OTHER APPROPRIATE EROSION CONTROL STRUCTURES ON THE DOWN HILL SIDE OF THE STOCKPILE.
6. PROOF ROLL ALL AREAS TO RECEIVE FILL. PROOF ROLL WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK USING A CROW-FOOT (TWO-REAR AXLES MIN.) AREAS FAILING THE PROOF ROLLING SHALL BE UNDERCUT AND BACKFILLED USING AN ENGINEERED FILL OR STABILIZED BY A METHOD APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
7. AREAS THAT EXHIBIT WEAK SOIL OR OTHERWISE UNSUITABLE CONDITIONS SHALL BE UNDERCUT TO A FIRM LEVEL OF SOIL FOLLOWED BY BACKFILLING THE UNDERCUT AREAS USING AN ENGINEERED FILL. TDOT NO. 57, OR TDOT NO. 67 STONE.
8. FILL MATERIAL SHALL BE SATISFACTORY MATERIAL FREE FROM ROOTS AND OTHER ORGANIC MATERIAL, FROZEN MATERIAL, AND TRASH. FILL MATERIAL SHALL ALSO BE FREE OF STONE OR OTHER MATERIAL LARGER THAN 6 IN. AND LARGER THAN 4 IN. IN THE TOP 6 IN. OF AN EMBANKMENT.
9. FILL SOILS SHALL HAVE A PI LESS THAN 30 & A MAXIMUM DRY DENSITY OF 90 PCF OR GREATER.
10. UNSATISFACTORY SOILS INCLUDE MATERIALS THAT ARE TOO WET OR TOO STIFF, EXPANSIVE, AND SOILS CLASSIFIED PT, OH, AND OL. LEGALLY DISPOSE OF UNSATISFACTORY SOILS OFF-SITE UNLESS OTHERWISE APPROVED BY THE OWNER OR GEOTECHNICAL ENGINEER.
11. FILL MATERIAL SHALL BE PLACED IN LOOSE, HORIZONTAL LIFTS NOT EXCEEDING 8 IN. THICKNESS. UNLESS NOTED OTHERWISE, COMPACT EACH LAYER TO AT LEAST 98% MAXIMUM DRY DENSITY. COMPACT THE UPPER 24 IN. OF FILL BENEATH PAVEMENTS AND THE UPPER 12 IN. BENEATH BUILDING SLABS TO 100% MAXIMUM DRY DENSITY. MAINTAIN THE MOISTURE CONTENT TO WITHIN -1 TO +3 PERCENT OF THE OPTIMUM MOISTURE CONTENT.
12. A 6 IN. (MIN.) LAYER OF TOPSOIL SHALL BE PLACED OVER THE FINISHED GRADE TO BE SEEDDED AND TO THE FINISH GRADE ELEVATIONS AS SHOWN ON THE DRAWINGS.
13. DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS OR POND ON-SITE. PROVIDE NECESSARY MEASURES TO KEEP THE SITE FREE-DRAINING.
14. NO SLOPE SHALL EXCEED 2:1 UNLESS PROPER SLOPE STABILIZATION MEASURES ARE IMPLEMENTED.
15. PROTECT AND MAINTAIN SUBGRADES UNTIL PLACEMENT OF THE FINAL SURFACE IS ACHIEVED.
16. CONTRACTOR IS RESPONSIBLE TO ASSURE THAT THE FINISHED GRADES COME WITHIN THE DESIGN POND DESIGN PARAMETERS. ONCE GRADING IS COMPLETE AND PRIOR TO FINAL SEEDING, SUBMIT AN AS-BUILT SURVEY FOR THE OWNER'S REVIEW.
17. VERIFY GRADES WHEREVER NECESSARY TO BRING THE PROPOSED LINES, ELEVATIONS, SLOPES, AND CROSS-SECTIONS OF THE GRADING WORK TO WITHIN THE FOLLOWING TOLERANCES ABOVE OR BELOW THAT AS SHOWN ON THE PLANS: SUBGRADE 0.1", UNPAVED AREAS 0.1", SIDEWALKS 0.10", PAVEMENTS 0.04", AND BUILDINGS 0.04".
18. SLOPES GREATER THAN 4:1 SLOPE AT A HEIGHT GREATER THAN 6-FT SHALL BE TESTED BY THE PROJECT GEOTECHNICAL ENGINEER TO DETERMINE STABILITY.
19. DISTURBED AREAS SHALL BE STABILIZED IN AN EXPEDIENT MANNER TO MINIMIZE TIME OF EXPOSURE TO WEATHER.

———— 1020 ————	PROPOSED CONTOUR
----- 1020 -----	EXISTING CONTOUR
/ 1020.00	PROPOSED SPOT ELEVATION
TYP	TYPICAL
(1/C2)	DETAIL REF. (DETAIL NO./SHT. NO.)



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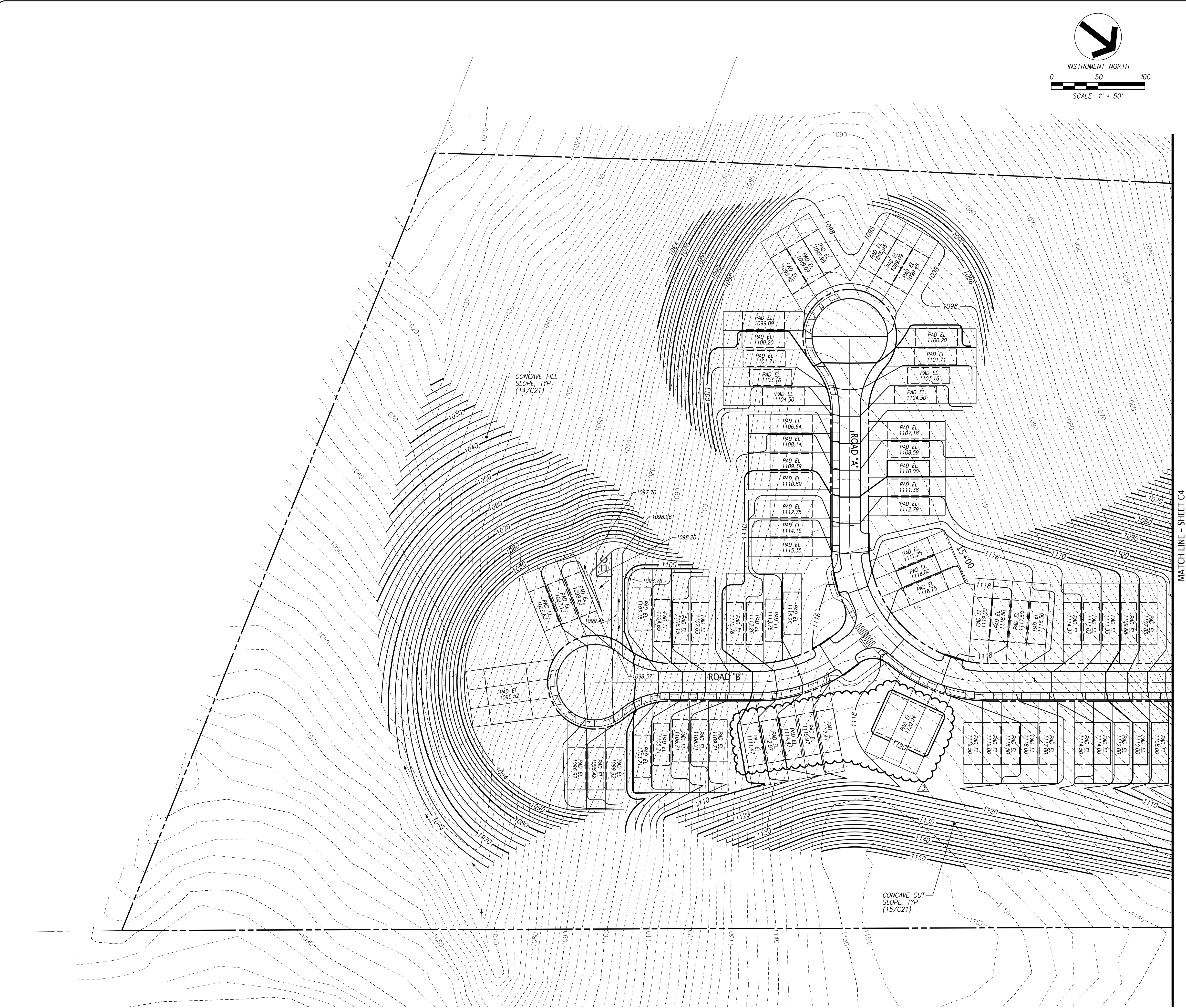
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GRADING PLAN

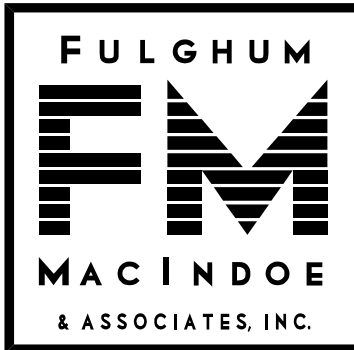
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Date	07/10/19		
Scale	1"=50'		
PROJ. MGR.	DESIGNED BY	DRAWN BY	JCM
	WCF	WCF	
Δ	REVISED PER LAYOUT CHANGES	12/23/19	
Δ	REVISED GRADING AT ENTRANCE/PARKING	08/05/19	
Δ	ISSUED FOR CONSTRUCTION	07/10/19	
No.	Revision / Issue	Date	

File Name: \\1548\\548.001\\DWG\\548001-005.dgn
Plot Date: 12/21/2019



GRADING NOTES:
1. REFERENCE SHEET C4 FOR GRADING NOTES AND LEGEND.

1-SC-20-C / 1-E-20-UR
Revised: 12/23/2019



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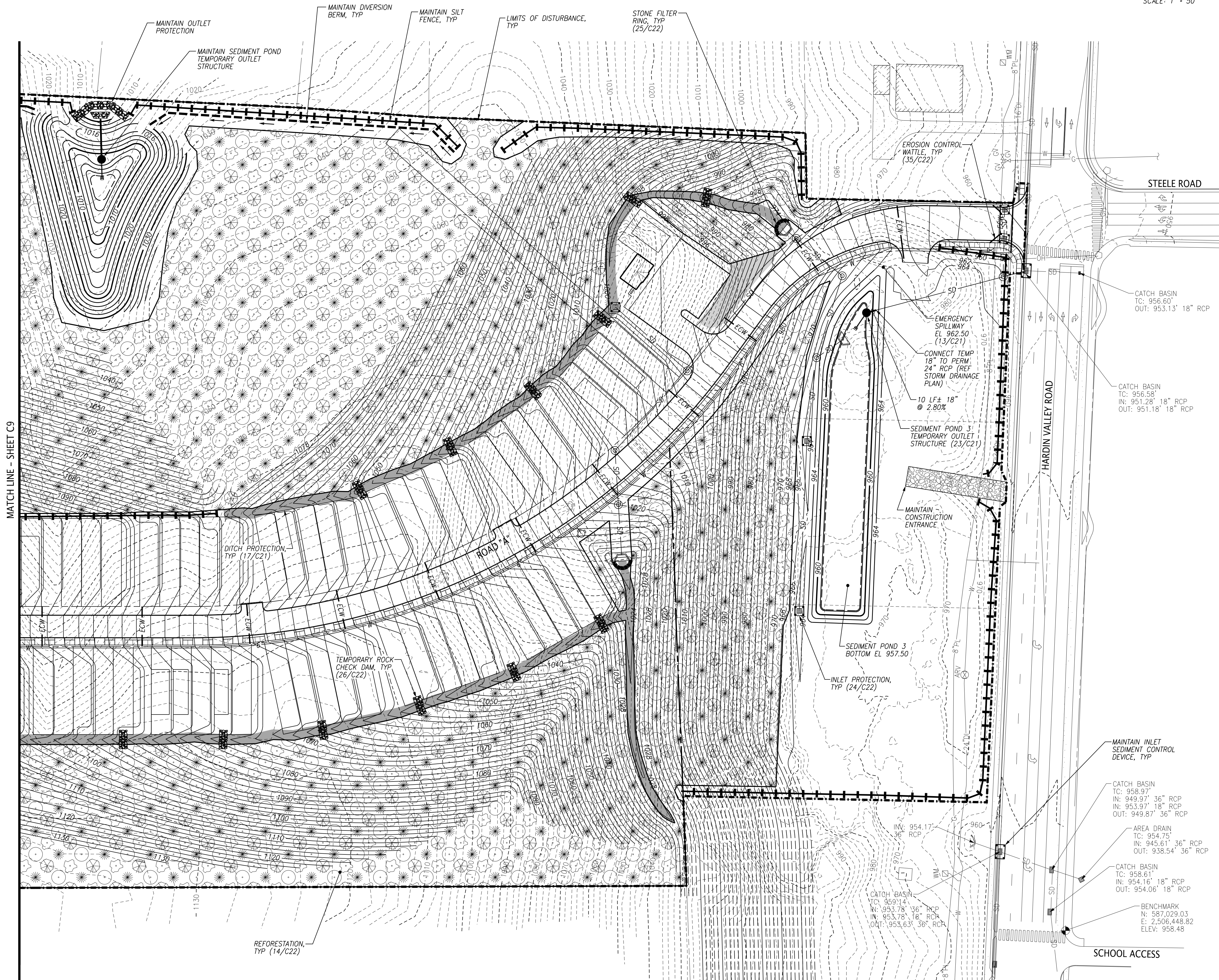
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GRADING PLAN

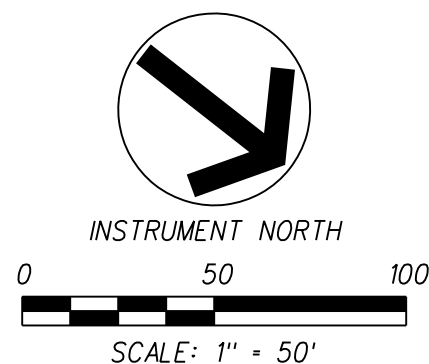
PROJ. NO.	DESIGNED BY	WCF	WCF	WCF	DATE
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Project	Sheet	Revised	Issue	Revision/Issue	Date
548.001	07/10/19	12/23/19	11/11/19	08/05/19	07/10/19
Date	Scale	No.	No.	No.	No.
07/10/19	1"=50'				
C5					

File Name: J:\548\548.001\DWG\548001-008.dwg
Plot Date: 12/21/2019

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BENCHMARK
N: 587,029.03
E: 2,506,448.82
ELEV: 958.48



EROSION CONTROL NOTES:

1. REFERENCE SHEET C6 FOR EROSION CONTROL NOTES.

STAGE 2 SEQUENCING NOTES:

1. STAGE 2 WILL BEGIN FOLLOWING COMPLETION OF STAGE 1, AND PRIOR TO MASS GRADING, UTILITY INSTALLATION, ETC.
2. MAINTAIN STAGE 1 CONSTRUCTION ENTRANCE/EXIT & OTHER EROSION & SEDIMENT CONTROL DEVICES.
3. INSTALL, ADJUST, AND MAINTAIN STAGE 2 EROSION & SEDIMENT CONTROLS AS SHOWN ON THIS PLAN INCLUDING INSTALLATION OF OTHER BMP'S NEEDED TO MEET TDEC'S PERFORMANCE REQUIREMENTS. THESE BMP'S MAY INCLUDE SEDIMENT TRAPS, DIVERSION BERMS, SLOPE DRAINS, ETC.
4. NOTE THAT THE TYPICAL LIFESPAN OF SILT FENCE IS 9 MO. REPLACE OLD SILT FENCE. INCLUDE THE COST OF THIS IN THE MAINTENANCE OF EROSION & SEDIMENT CONTROLS PAY ITEM.
5. CLEAR AND GRUB THE AREA WITHIN THE LIMITS OF DISTURBANCE.
6. BEGIN MASS GRADING, STORMWATER SYSTEM, & UTILITY CONSTRUCTION;
7. INSTALL INLET PROTECTION AS DESCRIBED ON THIS PLAN. MAINTAIN INLET PROTECTION ALONG HARDIN VALLEY RD. AS SHOWN;
8. ONCE SUBGRADES ARE ACHIEVED APPLY TOPSOIL, SEEDING, MULCH, OR OTHER PROTECTION TO THE DISTURBED AREAS;
9. DO NOT DISTURB MORE THAN 25 ACRES AT ANY TIME WITHOUT STABILIZING PREVIOUSLY DISTURBED AREAS.

LEGEND:

	DITCH PROTECTION
	REFORESTATION
	EXISTING CONTOUR
	PROPOSED CONTOUR
	SILT FENCE
	EROSION CONTROL WATTLE
	DIVERSION BERM
	DETAIL REF. (DETAIL NO./SHT. NO.)
	ROCK CHECK DAM
	INLET PROTECTION

1-SC-20-C / 1-E-20-UR
Revised: 12/23/2019



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EPSC PLAN - STAGE 2

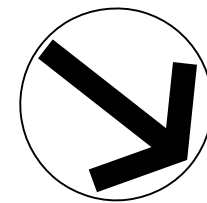
PROJ. NO.	DESIGNED BY	DRAWN BY	JCM	DATE
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				07/10/19
Project	Sheet			
Date				
Scale				

C8

File Name: \\1548\\548.001\\DWG\\1548001-010.dwg
Plot Date: 12/21/2019

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BENCHMARK
N: 587,029.03
E: 2,506,448.82
ELEV: 958.48



INSTRUMENT NORTH
0 50 100
SCALE: 1" = 50'



EROSION CONTROL NOTES:

1. REFERENCE SHEET C6 FOR EROSION CONTROL NOTES.

STAGE 3 SEQUENCING NOTES:

1. STAGE 3 BEGINS AFTER THE PAVEMENT (BINDER COURSE, MIN.) IS INSTALLED. AT THIS STAGE THE BUILDING PADS SHOULD BE READY TO TURN OVER TO THE GENERAL CONTRACTOR;
2. THE GENERAL CONTRACTOR & OTHER SUB-CONTRACTORS SHALL SUBMIT A NOI TO KNOX COUNTY PRIOR TO BEGINNING WORK;
3. THROUGHOUT STAGE 3, ADJUST, MAINTAIN, & REPLACE SILT FENCE, ROCK CHECK DAMS, & INLET PROTECTION AS NECESSARY TO MEET TDEC AND KNOX COUNTY'S PERFORMANCE STANDARDS;
4. INSTALL ADDITIONAL EROSION PROTECTION & SEDIMENT CONTROL DEVICES TO PREVENT EROSION AT THE PAVEMENT AND SOIL INTERFACE AND TO PREVENT SEDIMENT RUNOFF ONTO THE NEW PAVEMENT;
5. FOR TEMPORARY SEDIMENT PONDS 1 AND 2, ONCE THE CONTRIBUTING AREA IS FULLY STABILIZED, REMOVE THE BERM AND TEMPORARY OUTLET CONTROLS, AND REFOREST THE AREAS AS SHOWN ON THIS PLAN.
6. FOR TEMPORARY SEDIMENT POND 3, ONCE THE CONTRIBUTING AREA IS FULLY STABILIZED, CLEAN OUT ANY ACCUMULATED SEDIMENT FROM THE SEDIMENT POND, PERFORM ANY GRADING, RE-SPREADING OF TOPSOIL AND SEEDING NECESSARY TO CONVERT THE TEMPORARY SEDIMENT POND INTO PERMANENT DRY EXTENDED DETENTION POND AS SHOWN ON THE GRADING PLAN.
7. BEGIN HOUSE CONSTRUCTION & INSTALL REMAINING SITE UTILITIES;
8. AS SOON AS PRACTICAL, RE-SPREAD TOPSOIL AND APPLY SEEDING & MATTING OR MULCH TO DISTURBED AREAS;
9. REMOVE AND DISPOSE OF REMAINING EROSION & SEDIMENT CONTROL DEVICES ONCE THE SITE IS FULLY STABILIZED;
10. THE CONTRACTOR SHALL SUBMIT A NOTICE OF TERMINATION (NOT) AFTER THE COMPLETE INSTALLATION AND SUCCESSFUL ESTABLISHMENT OF THE FINAL STABILIZATION ACTIVITIES HAVE OCCURRED AT THE SITE.
11. DO NOT DISTURB MORE THAN 25 ACRES AT ANY TIME WITHOUT STABILIZING PREVIOUSLY DISTURBED AREAS.

LEGEND:

	REFORESTATION
	EXISTING CONTOUR
	PROPOSED CONTOUR
	SILT FENCE
	DETAIL REF. (DETAIL NO./SHT. NO.)
	ROCK CHECK DAM
	INLET PROTECTION



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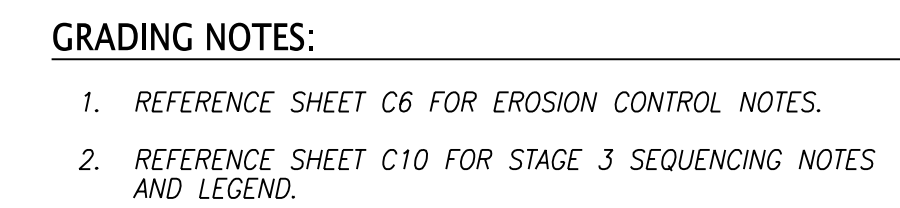
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EPSC PLAN - STAGE 3

PROJ. MGR.	DESIGNED BY	WCF	DRAWN BY	JCM	Date
					12/23/19
					08/05/19
					07/10/19
					Revision/Issue
					No.
Project	548.001				Sheet
Date	07/10/19				C10
Scale	1"=50'				



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EPSC PLAN - STAGE 3

Project		Sheet						
548.001								
Date		C11						
07/10/19								
Scale								
1"=50"		PROJ.	MGR.	WCF	DESIGNED BY	WCF	DRAWN BY	JCM
		A	REVISED PER LAYOUT CHANGES ISSUED FOR CONSTRUCTION					12/23/19 07/10/19
		No.	Revision/Issue					Date