

CERTIFICATE OF OWNERSHIP AND GENERAL DEDICATION.
(I, WE), THE UNDERSIGNED OWNER(S) OF THE PROPERTY SHOWN HEREON, HEREBY ADOPT THIS AS (MY, OUR) PLAN OF SUBDIVISION AND DEDICATE THE STREETS AS SHOWN TO THE PUBLIC USE FOREVER AND HEREBY CERTIFY THAT (I, AM, WE ARE) THE OWNER(S) IN FEE SIMPLE OF THE PROPERTY, AND AS PROPERTY OWNER(S) HAVE AN UNRESTRICTED RIGHT TO DEDICATE RIGHT-OF-WAY AND/OR GRANT EASEMENT AS SHOWN ON THIS PLAN.

OWNERS)
PRINTED NAME: M&M PARTNERS

SIGNATURE(S):

DATE:

TAXES AND ASSESSMENTS
THIS IS TO CERTIFY THAT ALL PROPERTY TAXES AND ASSESSMENTS DUE ON THIS PROPERTY HAVE BEEN PAID.

SIGNED: CITY TAX CLERK DATE

SIGNED: KNOX COUNTY TRUSTEE DATE

ADDRESSING DEPARTMENT CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE SUBDIVISION NAME AND ALL STREET NAMES CONFORM TO THE KNOXVILLE/KNOX COUNTY STREET NAMING AND ADDRESSING ORDINANCE, THE ADDRESSING GUIDELINES AND PROCEDURES, AND THESE REGULATIONS.

SIGNED:

DATE:

CERTIFICATION OF APPROVAL OF PUBLIC WATER SYSTEM - MAJOR SUBDIVISION

I HEREBY CERTIFY THAT THE UTILITY PROVIDER WAS CONTACTED BY THE DEVELOPER OR OWNER OF THE PROPERTY TO DETERMINE THE STATUS OF THE PUBLIC WATER SYSTEM AND THE PUBLIC WATER SYSTEM WAS INSTALLED, OR WILL BE INSTALLED, IS IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.

UTILITY PROVIDER

AUTHORIZED SIGNATURE FOR UTILITY DATE

ZONING
ZONING SHOWN ON OFFICIAL MAP

BY: DATE:

KNOX COUNTY DEPARTMENT OF ENGINEERING AND PUBLIC WORKS.

THE KNOX COUNTY DEPARTMENT OF ENGINEERING AND PUBLIC WORKS HEREBY APPROVES THIS PLAN ON THIS THE ____ DAY OF _____, 20__.

ENGINEERING DIRECTOR

CERTIFICATION OF APPROVAL OF PUBLIC SANITARY SEWER SYSTEM - MAJOR SUBDIVISION

I HEREBY CERTIFY THAT THE UTILITY PROVIDER WAS CONTACTED BY THE DEVELOPER OR OWNER OF THE PROPERTY TO DETERMINE THE STATUS OF THE PUBLIC SANITARY SEWER SYSTEM AND THE PUBLIC SANITARY SEWER SYSTEM WAS INSTALLED, OR WILL BE INSTALLED, IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.

UTILITY PROVIDER

AUTHORIZED SIGNATURE FOR UTILITY DATE

CERTIFICATION OF FINAL PLAT - ALL INDICATED MARKERS, MONUMENTS AND BENCHMARKS TO BE SET WHEN CONSTRUCTION IS COMPLETED.

I HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR LICENSED TO PRACTICE SURVEYING UNDER THE LAWS OF THE STATE OF TENNESSEE. I FURTHER CERTIFY THAT THIS PLAN AND ACCOMPANYING DRAWINGS, DOCUMENTS, AND STATEMENTS CONFORM TO THE BEST OF MY KNOWLEDGE, TO ALL APPLICABLE PROVISIONS OF THE KNOXVILLE-KNOX COUNTY SUBDIVISION REGULATIONS EXCEPT AS HAS BEEN REMOVED, DESCRIBED AND JUSTIFIED IN A REPORT FILED WITH THE PLANNING COMMISSION, OR FOR VARIANCES AND WAIVERS WHICH HAVE BEEN APPROVED AS IDENTIFIED ON THE FINAL PLAT. THE BOND OR OTHER SECURITY THAT IS POSTED TO GUARANTEE THE COMPLETION OF STREETS AND RELATED IMPROVEMENTS SHALL ALSO GUARANTEE THE INSTALLATION OF THE INDICATED PERMANENT REFERENCE MARKERS AND MONUMENTS, BENCHMARKS AND PROPERTY MONUMENTS UPON COMPLETION OF THE SUBDIVISION.

REGISTERED LAND SURVEYOR

TENNESSEE LICENSE NO. DATE:

GUARANTEE OF COMPLETION OF STREETS AND RELATED IMPROVEMENTS.

I, THE UNDERSIGNED, HEREBY CERTIFY THAT A BOND OR OTHER SECURITY HAS BEEN POSTED WITH THE APPROPRIATE AGENCY TO INSURE COMPLETION OF ALL STREETS AND RELATED IMPROVEMENTS INCLUDING INDICATED PERMANENT REFERENCE MARKERS AND MONUMENTS, BENCHMARKS AND PROPERTY MONUMENTS IN THIS SUBDIVISION IN ACCORDANCE WITH REQUIRED STANDARDS AND SPECIFICATIONS.

SIGNED: DATE:

DEPARTMENT: TITLE:

GUARANTEE OF COMPLETION OF STORMWATER FACILITIES.

I, THE UNDERSIGNED, HEREBY CERTIFY THAT A BOND OR OTHER SECURITY HAS BEEN POSTED WITH THE APPROPRIATE AGENCY TO INSURE COMPLETION AND STABILIZATION OF ALL STORMWATER FACILITIES AS SHOWN ON THE STORMWATER PLANS WHICH WERE APPROVED.

THE ____ DAY OF _____, 20__.

SIGNED: DATE:

DEPARTMENT: TITLE:

PLANNING COMMISSION CERTIFICATION OF APPROVAL FOR RECORDING - FINAL PLAT

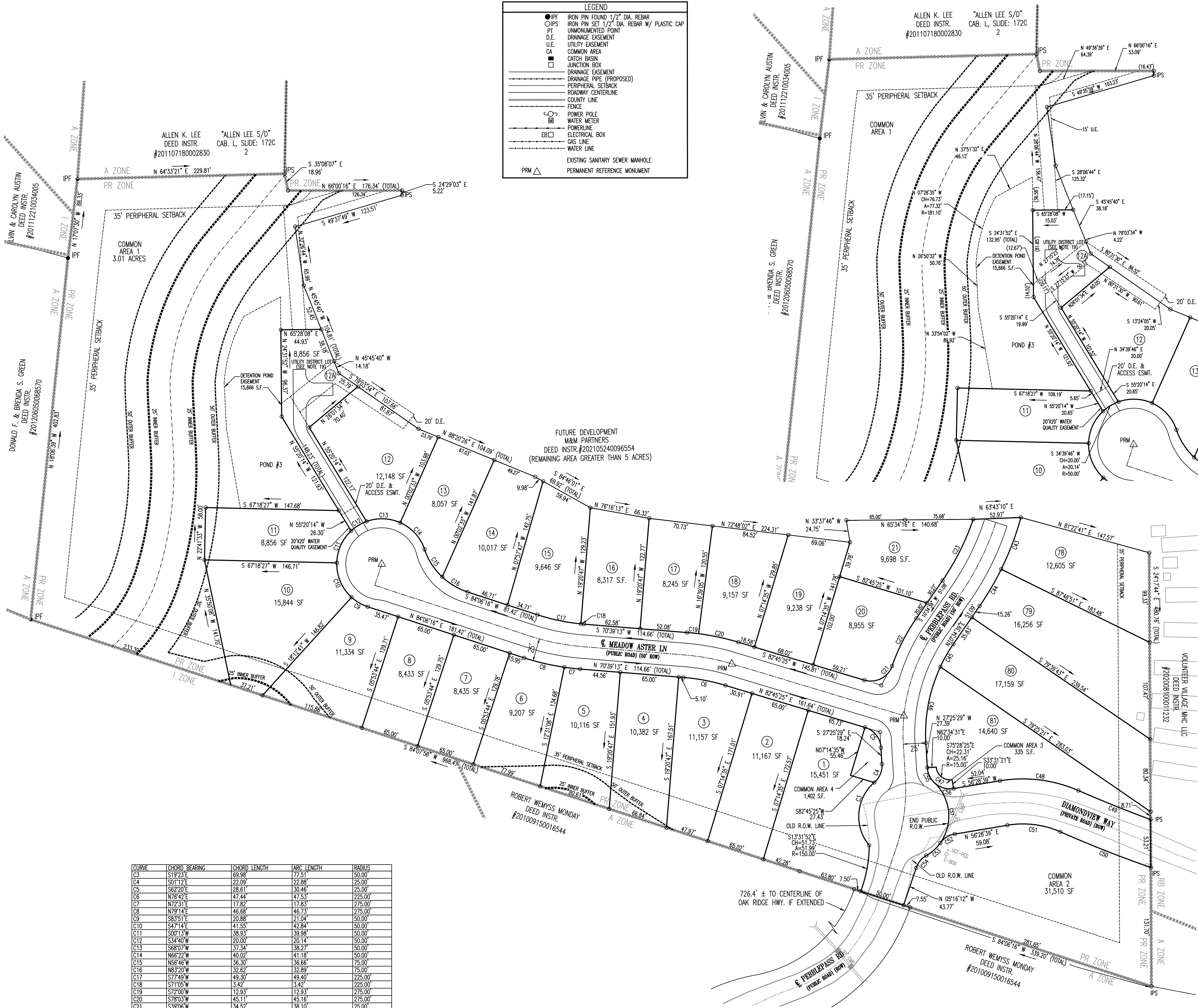
THIS IS TO CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF KNOXVILLE AND KNOX COUNTY AND WITH EXISTING OFFICIAL PLANS, WITH THE EXCEPTION OF ANY VARIANCES AND WAIVERS NOTED ON THIS PLAT AND IN THE MINUTES OF THE KNOXVILLE-KNOX COUNTY PLANNING COMMISSION, ON THIS

THE ____ DAY OF _____, 20__, AND THAT THE RECORD PLAT IS HEREBY APPROVED FOR RECORDING IN THE OFFICE OF THE KNOX COUNTY REGISTER OF DEEDS. PURSUANT TO SECTION 15-3-405 OF TENNESSEE CODE, ANNOTATED, THE APPROVAL OF THIS PLAT BY THE PLANNING COMMISSION SHALL NOT BE DEEMED TO CONSTITUTE OR EFFECT AN ACCEPTANCE BY THE CITY OF KNOXVILLE OR KNOX COUNTY OF THE DEDICATION OF ANY STREET OR OTHER GROUND UPON THE PLAT.

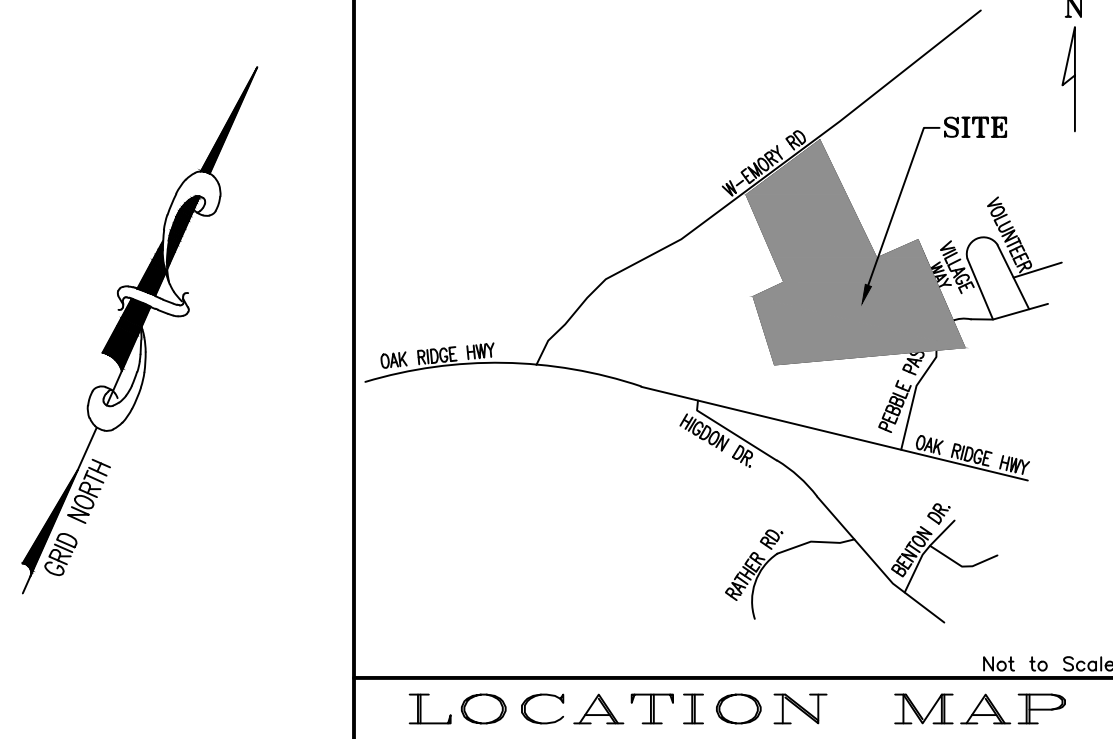
SIGNED:

DATE:

LEGEND	
●	IRON PIN FOUND 1/2" DIA. REBAR
○	IRON PIN SET 1/2" DIA. REBAR W/ PLASTIC CAP
PT	UNMONUMENTED POINT
U.E.	UTILITY EASEMENT
CA	COMMON AREA
□	CATCH BASIN
—	DRAINAGE EASEMENT
---	DRAINAGE PIPE (PROPOSED)
---	PERIPHERAL SETBACK
---	ROADWAY CENTERLINE
---	COUNTY LINE
---	FENCE
⚡	POWER POLE
⊕	WATER METER
⊕	POWERLINE
EB	ELECTRICAL BOX
---	GAS LINE
---	WATER LINE
△	EXISTING SANITARY SEWER HOLE
△	PERMANENT REFERENCE MONUMENT



CURVE	CHORD BEARING	CHORD LENGTH	ARC LENGTH	RADIUS
C3	S19°23'E	69.98'	77.51'	50.00'
C4	S01°12'E	22.09'	22.88'	25.00'
C5	S82°20'E	28.61'	30.46'	25.00'
C6	N76°42'E	47.44'	47.53'	225.00'
C7	N72°31'E	17.82'	17.83'	275.00'
C8	N79°14'E	46.68'	46.73'	275.00'
C9	S83°51'E	20.88'	21.04'	50.00'
C10	S47°14'E	41.55'	42.84'	50.00'
C11	S07°13'W	38.93'	39.98'	50.00'
C12	S34°40'W	20.00'	20.14'	50.00'
C13	S69°07'W	17.34'	18.27'	50.00'
C14	N66°22'W	40.02'	41.18'	50.00'
C15	N56°46'W	36.30'	36.66'	75.00'
C16	N63°20'W	32.62'	32.89'	75.00'
C17	S77°49'W	48.30'	49.40'	225.00'
C18	S71°05'W	3.42'	3.42'	225.00'
C19	S72°00'W	12.93'	12.93'	275.00'
C20	S78°03'W	45.11'	45.16'	275.00'
C21	S39°06'W	34.52'	38.10'	25.00'
C22	S03°00'W	59.29'	59.47'	225.00'
C23	S02°39'W	75.83'	76.07'	275.00'
C24	N03°12'E	61.40'	61.49'	325.00'
C44	N06°24'E	47.37'	47.41'	325.00'
C45	N05°48'E	29.18'	29.22'	175.00'
C46	N13°12'W	65.96'	66.86'	175.00'
C47	N75°28'W	37.19'	41.93'	25.00'
C48	S73°06'W	87.80'	89.04'	153.49'
C49	S87°54'W	86.23'	87.24'	159.87'
C50	N03°51'E	107.62'	107.94'	1409.89'
C51	N73°06'E	59.20'	60.03'	103.49'
C52	N34°15'E	18.91'	19.39'	25.00'
C53	N24°03'E	20.81'	20.96'	25.00'
C54	N15°24'E	17.64'	18.03'	25.00'
C55	N49°27'W	18.75'	19.22'	25.00'
C56	S82°30'W	21.94'	22.71'	25.00'
C57	N29°23'W	66.95'	72.35'	51.26'



- NOTES:
- IRON PINS FOUND (PF) SHOWN ON PLAT. ALL OTHERS SET BY B/MAP, UNLESS NOTED OTHERWISE ON PLAT.
 - THERE SHALL BE A (10) FOOT UTILITY AND DRAINAGE EASEMENT IN WIDTH INSIDE ALL EXTERIOR LOT LINES, ADJOINING STREETS, AND PRIVATE RIGHTS-OF-WAYS INCLUDING PREVIOUSLY APPROVED JOINT PERMANENT EASEMENTS (J.P.E.s). THERE SHALL BE A (5) FEET UTILITY AND DRAINAGE EASEMENT IN WIDTH PROVIDED ALONG BOTH SIDES OF ALL INTERIOR LOT LINES AND ON THE INSIDE OF ALL OTHER EXTERIOR LOT LINES.
 - SANITARY SEWER EASEMENT OF 15', 7.5' EACH SIDE OF SEWER AS INSTALLED (WHERE APPLICABLE).
 - QUALITY OF NORTH IS BASED ON GLOBAL POSITIONING SYSTEM DATA COLLECTED IN REAL TIME USING THE TENNESSEE GEODETIC REFERENCE NETWORK. AN ORDER 8 GEODETIC ACCURACY, RELATIVE TO THE NATIONAL GEODETIC SURVEY (NAD83(2011)), DISTANCES HAVE NOT BEEN REDUCED TO GRID.
 - THIS PROPERTY IS ZONED PRB3 DU/ACRE.
 - BUILDING SETBACK LINES WILL BE AS FOLLOWS:
FRONT: 20'
SIDES: 15'
REAR: 15'
UNLESS CONTROLLED BY A PERIPHERAL SETBACK (SEE MAP FOR LOCATIONS)
 - PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING STORMWATER FACILITIES ON THEIR PROPERTY. THE COVENANTS FOR MAINTAINING STORMWATER FACILITIES ARE RECORDED AS INSTR. #
 - THE HOMEOWNERS ASSOCIATION IS ESTABLISHED AND RECORDED AS INSTR. #
 - FOR APPROVED SUBDIVISION VARIANCES AND CONDITIONS OF APPROVAL OF THE CONCEPT AND USE ON REVIEW PLAN, REFER TO THE METROPOLITAN PLANNING COMMISSION FILES 4-S-21-C & 4-H-21-UR.
 - THIS PROPERTY CONTAINS 11.957 ACRES AND IS SUBDIVIDED INTO 25 SINGLE FAMILY LOTS, 4 COMMON AREA LOTS, A UTILITY DISTRICT LOT AND PUBLIC RIGHT OF WAY.
 - THE WATER AND SEWER LINES INSTALLED IN THIS SUBDIVISION AND/OR AS SHOWN HEREON SHALL HAVE A MINIMUM 15-FOOT WIDE EASEMENT ON CENTER, SUBJECT TO THE RESTRICTIONS AND CONDITIONS OF RECORD PER INSTRUMENT #200908100011396 ON FILE AT THE KNOX COUNTY REGISTER OF DEEDS OFFICE.
 - ALL LOTS WILL HAVE VEHICULAR ACCESS TO INTERIOR ROAD SYSTEM ONLY.
 - THE PURPOSE OF THIS PLAT IS TO CREATE A 25 LOT SUBDIVISION.
 - THE DESIGN PLAN WAS APPROVED BY KNOX COUNTY ENGINEERING ON OR ABOUT FEBRUARY 1, 2024.
 - SIGHT DISTANCE ON THE INTERSECTING PUBLIC ROAD MEETS THE SUBDIVISION REGULATIONS.
 - VARIANCES APPROVED BY KNOXVILLE/ KNOX COUNTY PLANNING ARE AS FOLLOWS:
a) REDUCE MINIMUM REVERSE CURVE TANGENT LENGTH FROM 50' TO 25' FROM STA. 0+85 TO STA. 1+10 PEBBLEPASS ROAD.
b) REDUCE MINIMUM VERTICAL CURVE LENGTH FROM 150' TO 90' (K-25 TO 15). AT STA. 2+40 PEBBLEPASS ROAD.
 - ALTERNATE DESIGN STANDARDS APPROVED BY KNOXVILLE/KNOX COUNTY PLANNING ARE AS FOLLOWS:
a) REDUCE MINIMUM HORIZONTAL CURVE RADIUS FROM 250' TO 200' AT STA. 2+40 FOR PEBBLEPASS ROAD.
 - ALTERNATE DESIGN STANDARDS APPROVED BY KNOXVILLE/KNOX COUNTY ENGINEERING ARE AS FOLLOWS:
a) INCREASE THE MINIMUM INTERSECTION CRUISE FROM 15' TO 30' STA 0+13 TO STA. 0+15, MEADOW ASTER LANE.
 - LOT 12A IS A NON BUILDABLE LOT AND IS INTENDED FOR UTILITY PURPOSES ONLY.



CERTIFICATE OF THE ACCURACY OF SURVEY
SURVEY ACCURACY SHALL MEET THE REQUIREMENTS OF THE CURRENT EDITION OF THE RULES OF TENNESSEE STATE BOARD OF EXAMINERS FOR LAND SURVEYORS- STANDARDS OF PRACTICE.

I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED IN COMPLIANCE WITH THE CURRENT EDITION OF THE RULES OF TENNESSEE STATE BOARD OF EXAMINERS FOR LAND SURVEYORS- STANDARDS OF PRACTICE.

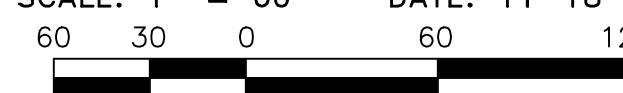
REGISTERED LAND SURVEYOR

TENNESSEE LICENSE NO. DATE:

FINAL PLAT
FOR
THE MEADOWS
AT PEBBLEPASS
PHASE 1

TAX MAP 76, PART OF PARCEL 31
6TH CIVIL DISTRICT, KNOX COUNTY, TENNESSEE

SCALE: 1" = 60' DATE: 11-18-25



OWNER/DEVELOPER

M & M PARTNERS
C/O WALLACE MCCLURE, JR.
TRUSTEE
114 DURWOOD RD.
KNOXVILLE, TN 37922
PHONE: (865) 693-3000



BATSON, HIMES, NORVELL & POIRER
REGISTERED ENGINEERS & LAND SURVEYORS
4334 PAPERMILL DRIVE
KNOXVILLE, TENNESSEE 37909
PHONE: (865) 588-6472
FAX: (865) 588-6473
email@bhn-p.com

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DEED INSTR. #202105240096554