



Planning Commission and Staff,

We appreciate the opportunity to present our project to you. Our development, known as “Ancient Lore Village at Boyd Hollow,” represents an enormous community investment. The \$74 million dollar enterprise will provide material improvements to the infrastructure and quality of life in the South Knoxville area including, but not limited to:

- A signalized intersection and new four-way stop connecting Dick Ford to Nixon Road, on Chapman Highway.
- Capacity and redundancy for both the water and sewer systems of Knox Chapman.
- Fiber Internet facility for the Sevierville Pike highway area through AT&T.
- Beautification of the land with the burial of KUB’s high capacity transmission lines.
- Pedestrian pathways, accessible to the public, to integrate to the Urban Trail with the assistance of Legacy Parks.
- Over 200 full-time employees, mostly hired from the local community, at a minimum living wage of \$15 an hour.
- Over \$2 million dollars in tax revenue to Knox County Government.

Our company vision statement is “To foster community, and thereby improve the world, through experiences.” We are a mission driven corporation with aspirations of highly thematic “story resorts,” that facilitate human connection. We are excited to form relationships with many different communities as we grow and are deeply appreciative of our opportunity in Knoxville.

Humbly yours,

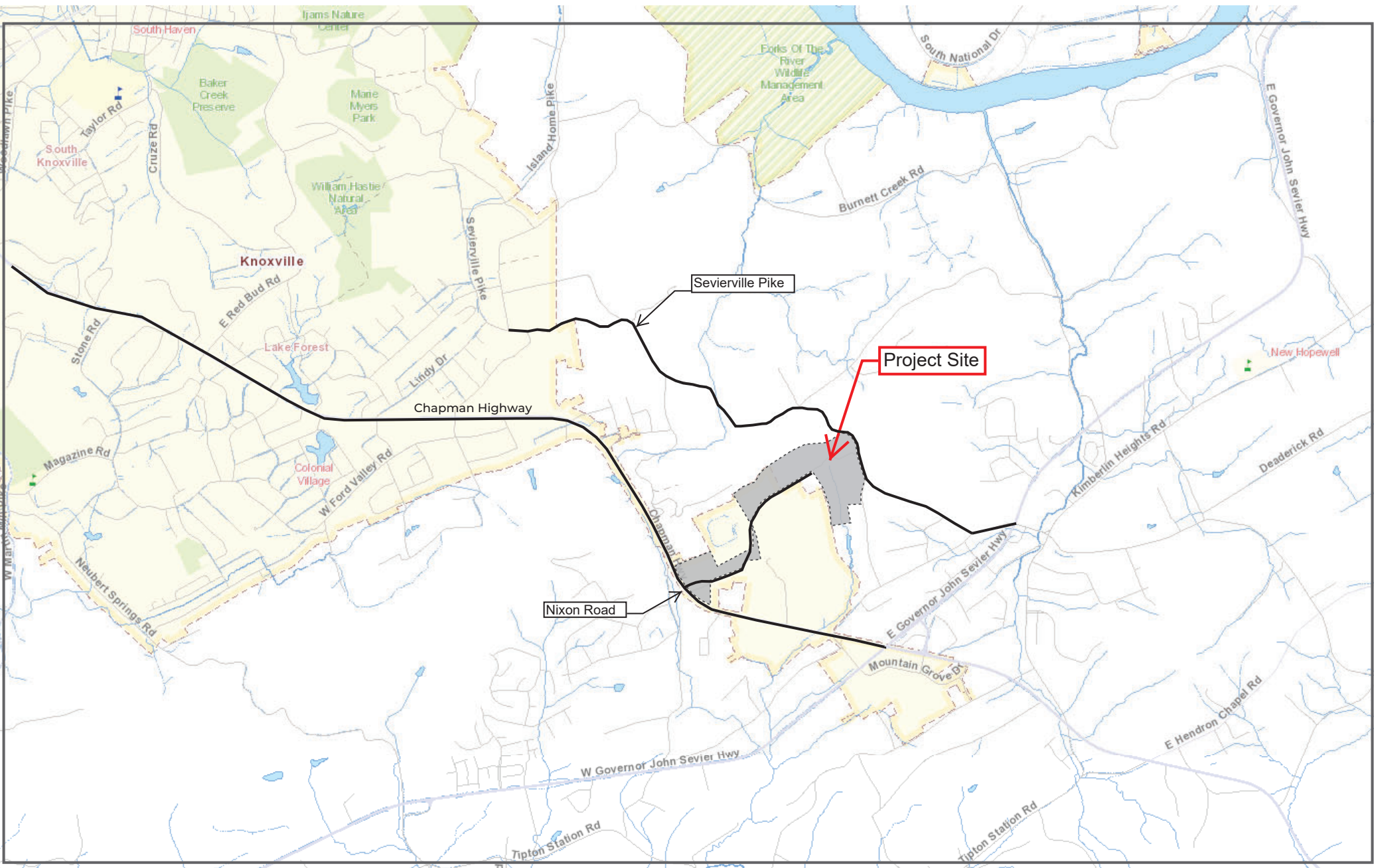
Matthew Cross
CEO





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VICINITY MAP

ANCIENT LORE VILLAGE AT BOYD HOLLOW



OVERALL SITE CONCEPT PLAN

ANCIENT LORE VILLAGE AT BOYD HOLLOW



- Proposed community trail
- Villager Parking
- Gate, Typical
- Sign Locations, Typical
- Limited Service Parking



- Signage at key decision points will be inspired by the materiality and scale of the Great Smoky Mountains National Park signs

CIRCULATION AND SIGNAGE CONCEPT PLAN

ANCIENT LORE VILLAGE AT BOYD HOLLOW



Restoration landscaping, typical

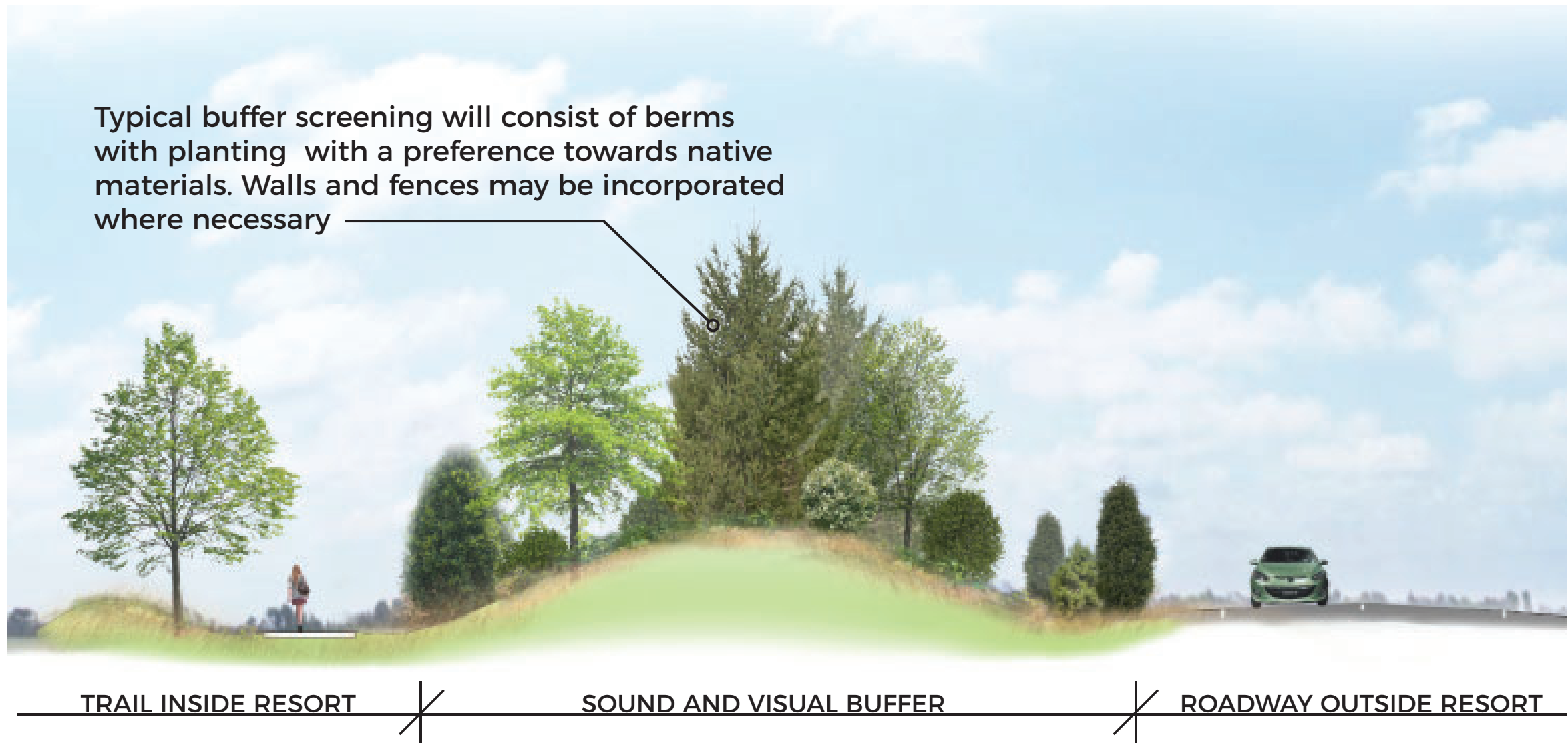
Understory landscaping typical

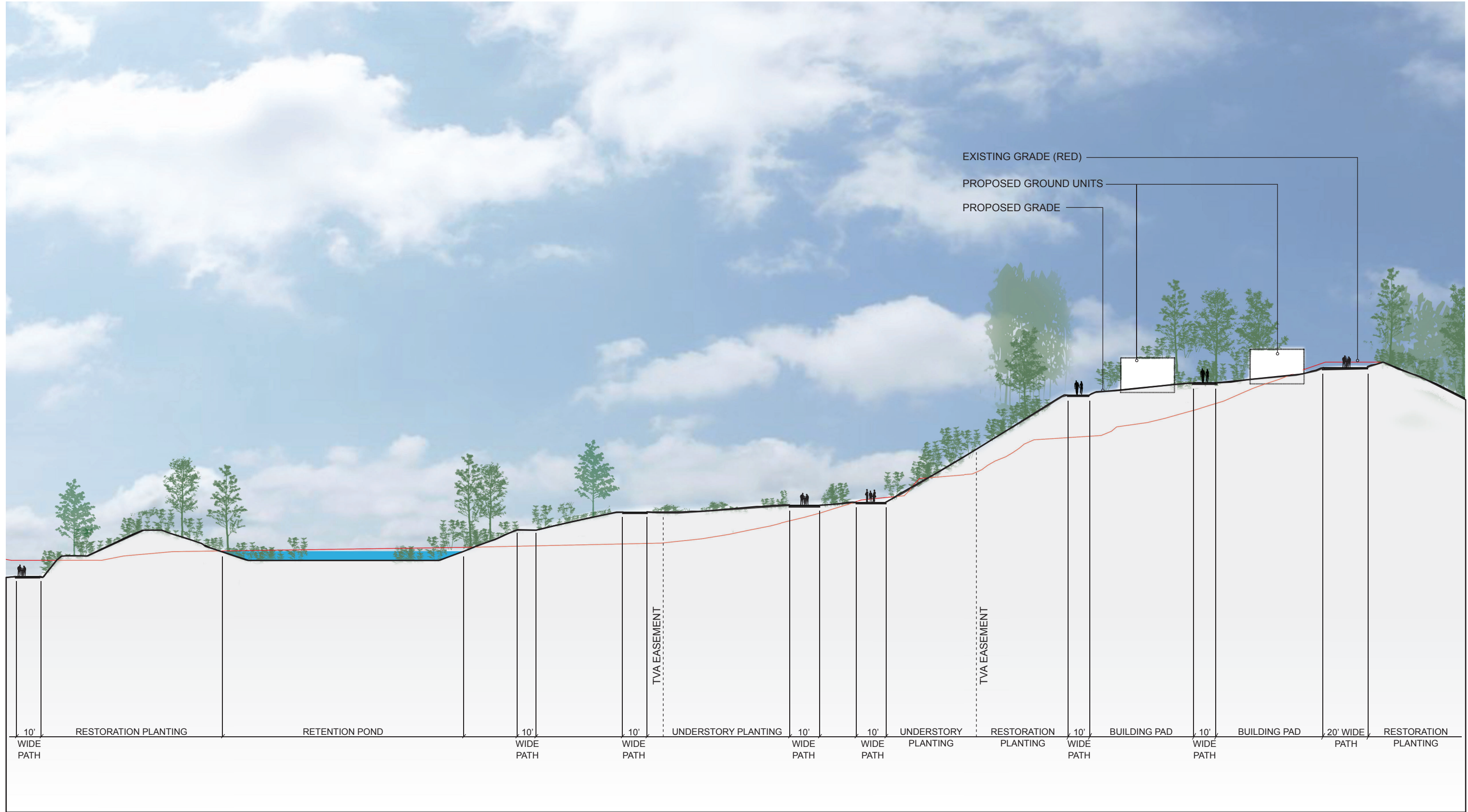
TVA Easement and right-of-way

- Restoration landscaping will incorporate native plants and trees of the oak/hickory upland forest.
- Understory landscaping will incorporate plants from the Knox County hillside and ridgetop protection plan, TVA and KUB right-of-way tree and shrub lists.
- A preference will be given for incorporating native plants.
- Green roofs will be incorporated into a portion of the ground houses to complement the thematic nature of the site.

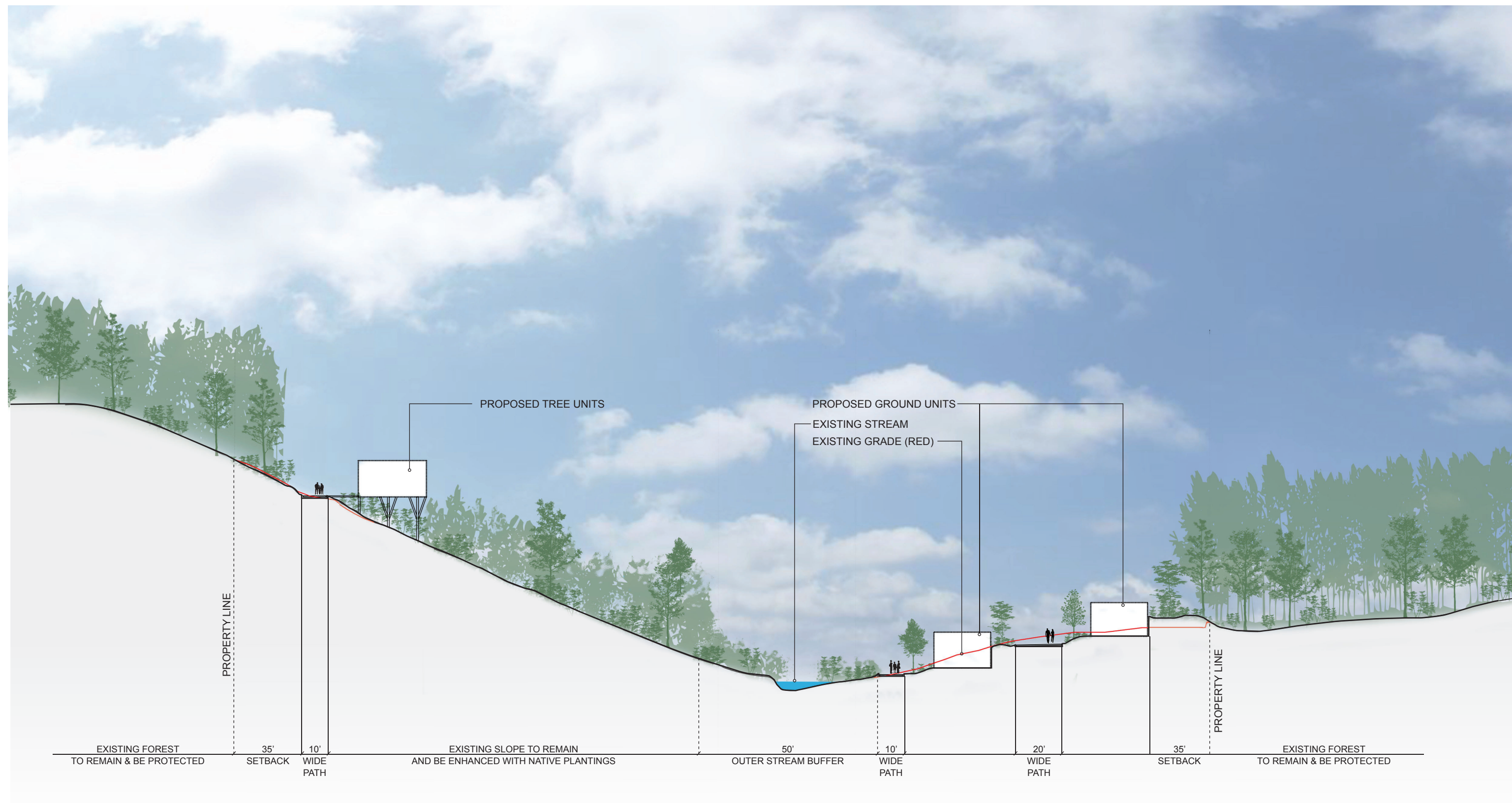


The proposed buffer location to follow property line



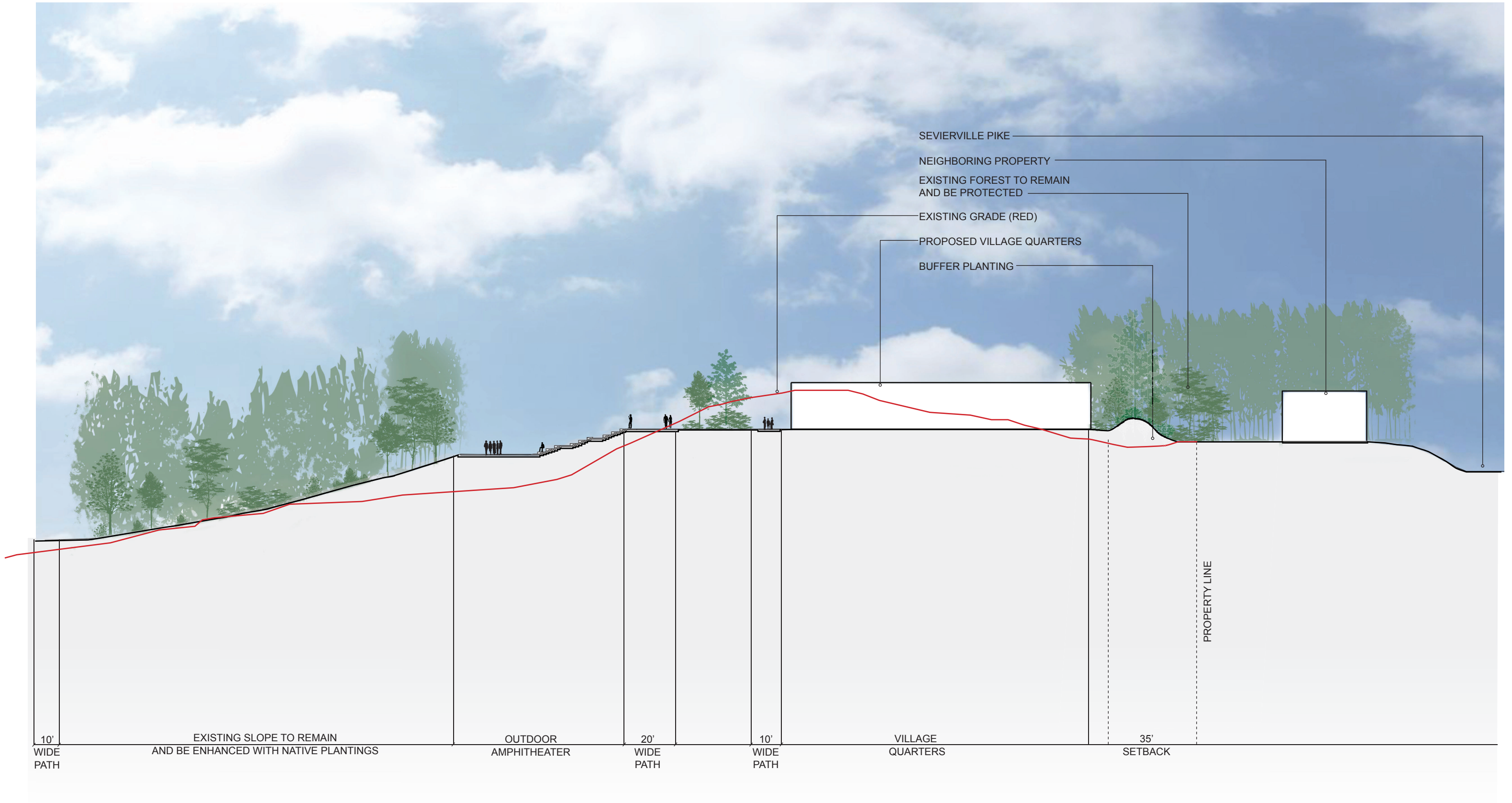


CONCEPTUAL SECTION: A



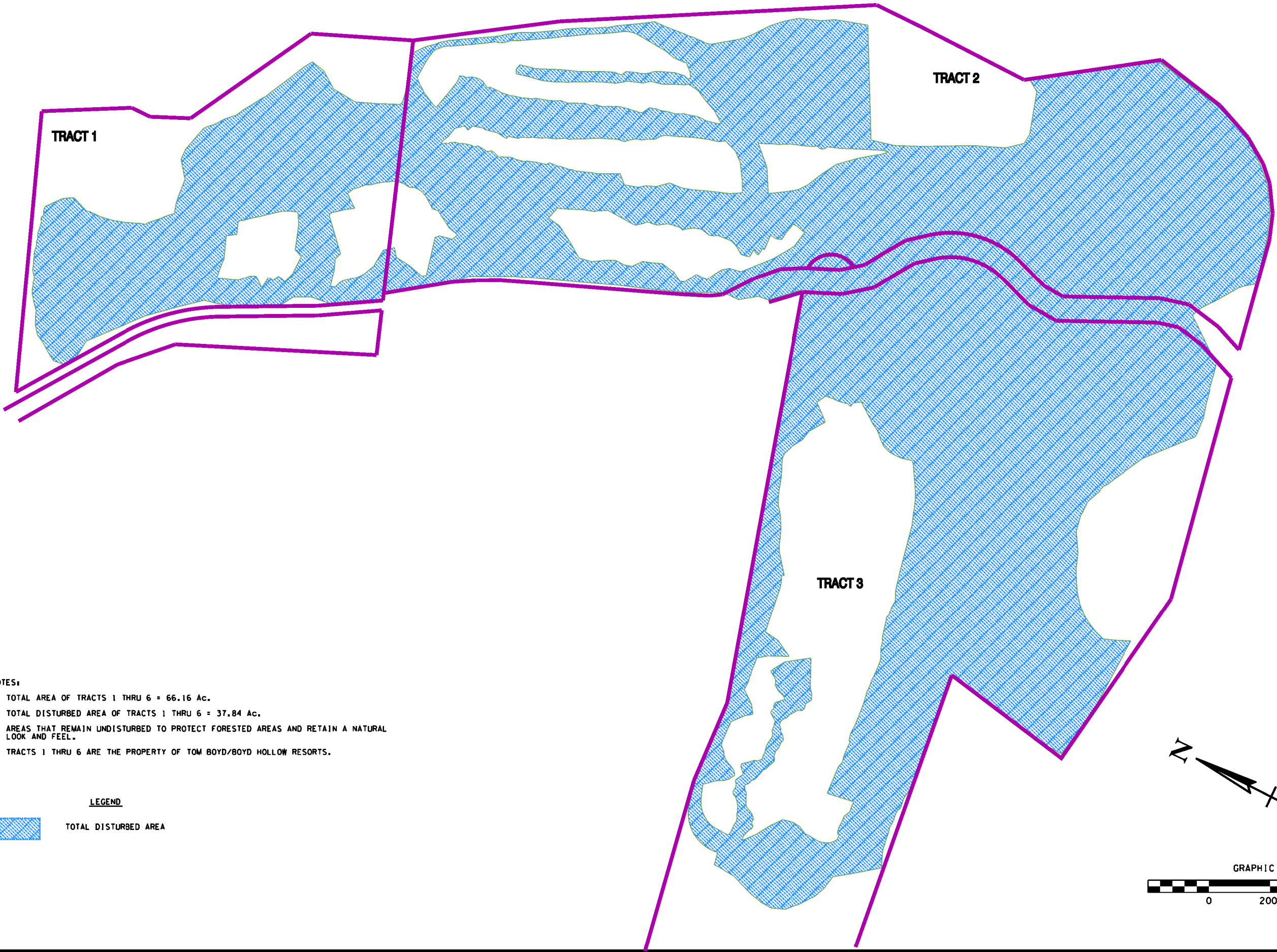
CONCEPTUAL SECTION: B

ANCIENT LORE VILLAGE AT BOYD HOLLOW




CONCEPTUAL SECTION: C

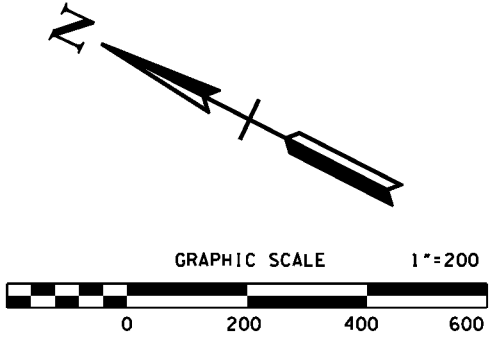
ANCIENT LORE VILLAGE AT BOYD HOLLOW

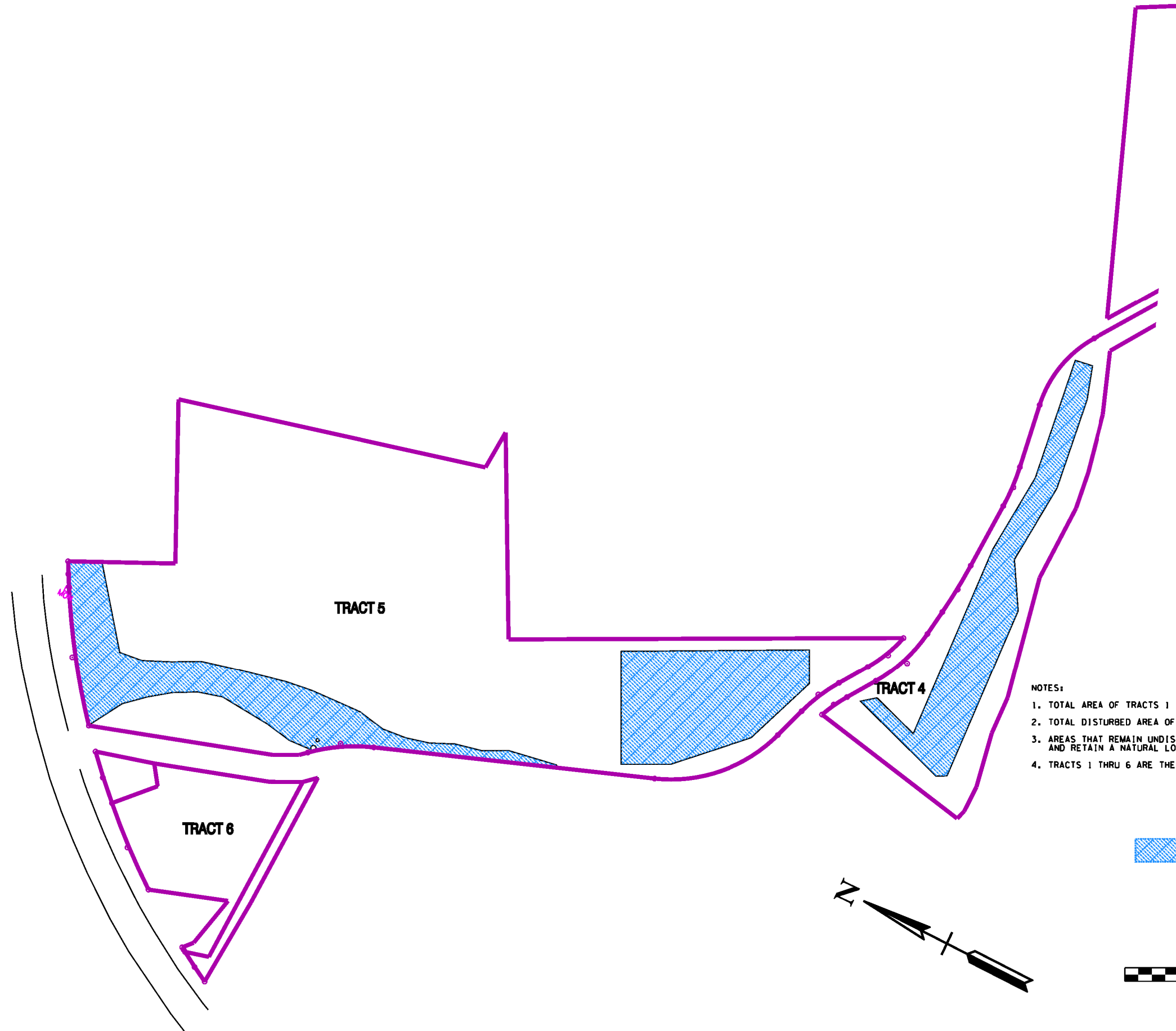


- NOTES:
1. TOTAL AREA OF TRACTS 1 THRU 6 = 66.16 AC.
 2. TOTAL DISTURBED AREA OF TRACTS 1 THRU 6 = 37.84 AC.
 3. AREAS THAT REMAIN UNDISTURBED TO PROTECT FORESTED AREAS AND RETAIN A NATURAL LOOK AND FEEL.
 4. TRACTS 1 THRU 6 ARE THE PROPERTY OF TOM BOYD/BOYD HOLLOW RESORTS.

LEGEND

 TOTAL DISTURBED AREA



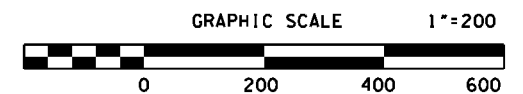
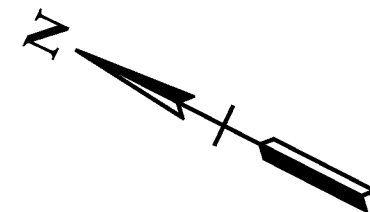


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LEGEND



TOTAL DISTURBED AREA



NO.	DATE	DESCRIPTION	BY	CKD.
REVISIONS				



ROBERT G. CAMPBELL & ASSOC., L.P.
CONSULTING ENGINEERS
KNOXVILLE, TENNESSEE

ANCIENT LORE VILLAGE AT BOYD HOLLOW

LAND DISTRUBANCED MAP

DESIGNED BY	CHECKED BY	SCALE	SHEET
MAS	RGC	1" = 200'	FIG-2
DRAWN BY	DATE	FILE NO.	
MAS	8-19-19	19003	

Ancient Lore Village Building Summary

- **Dwellings**

- Average Dwelling Square footage = 714 SF
- Max occupants of all dwellings is 550
 - (24) Studio*
 - (83) One Bedrooms*
 - (41) Two Bedrooms*
 - (1) Four Bedroom
 - (1) Five Bedrooms*
 - (*) denotes additional sleeping space via bunk bed or sleeper sofa

- **Common Area Buildings**

- Manor House
 - Primary functions: Main restaurant, meeting space, guest services, gift shop, and library
 - Approx. 18,000 SF
 - 175 Seat restaurant with select seating will be available to non-resort guest
 - 80-100 person event space
- Tavern
 - Primary Function - Coffee house and small restaurant
 - 2,000 Square Feet
 - Seating for 75 guests
 - Only available to resort guests.
- Welcome House
 - Primary Function - Guest Check in services
 - 1,000 SF
 - 20 persons
- Village Quarters (Staff building)
 - Primary Function - Support building for staff, approx 80 employees (villagers)
- Amphitheater
 - Sized to accommodate resort at maximum occupancy - seating for approx. 550
- Water Amenity
 - Primary Function - Spa-like indoor water recreation space
 - Approx. 6,500 SF
 - Approx. 75 person
- Wedding Venue
 - Primary function - Outdoor wedding ceremony space
 - 50-100 person wedding space
- Garden Maze
 - Primary function - Indoor/Outdoor landscape formal hedge gardens and indoor storytelling space
 - Approx, 1,000 SF indoor space
 - 40 persons



architecture + design

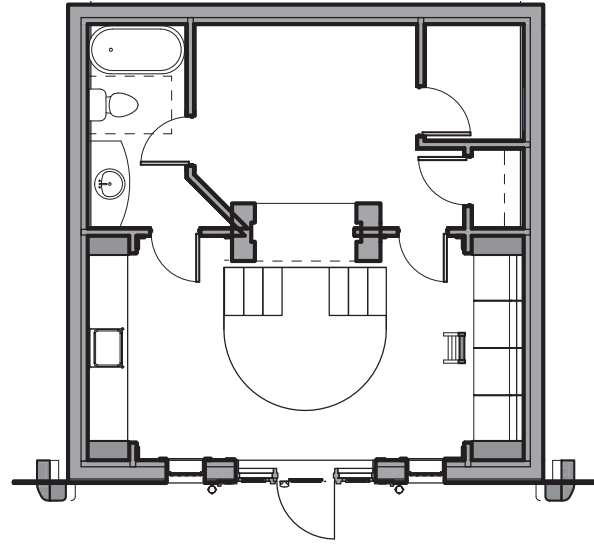
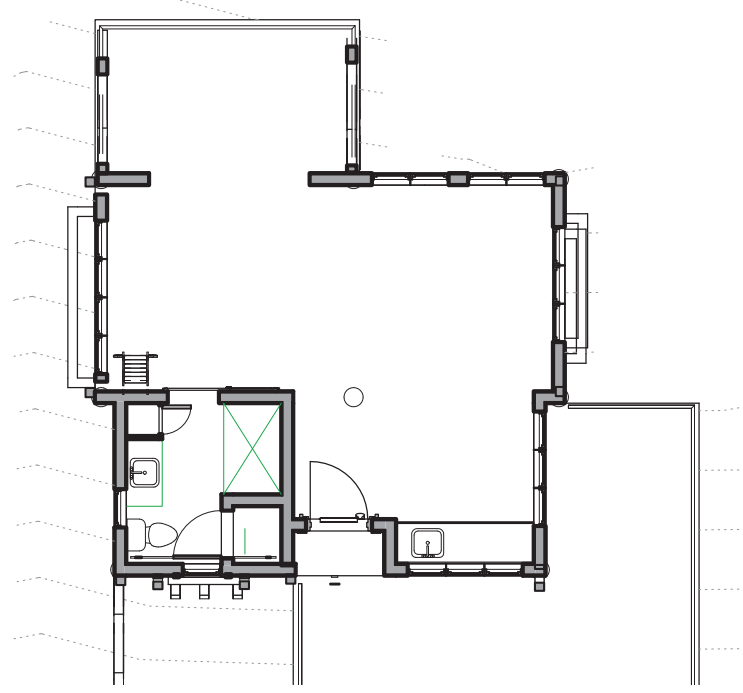
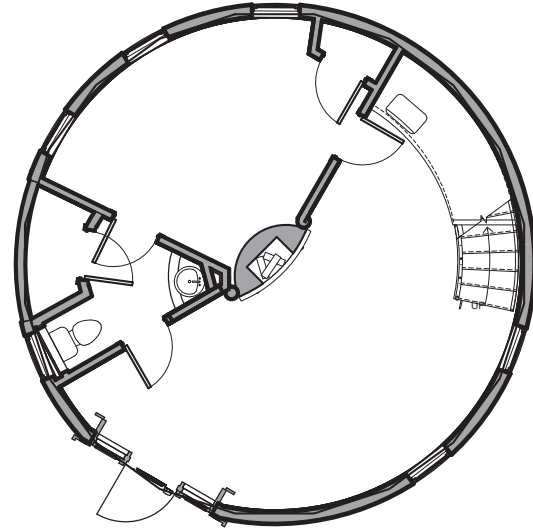
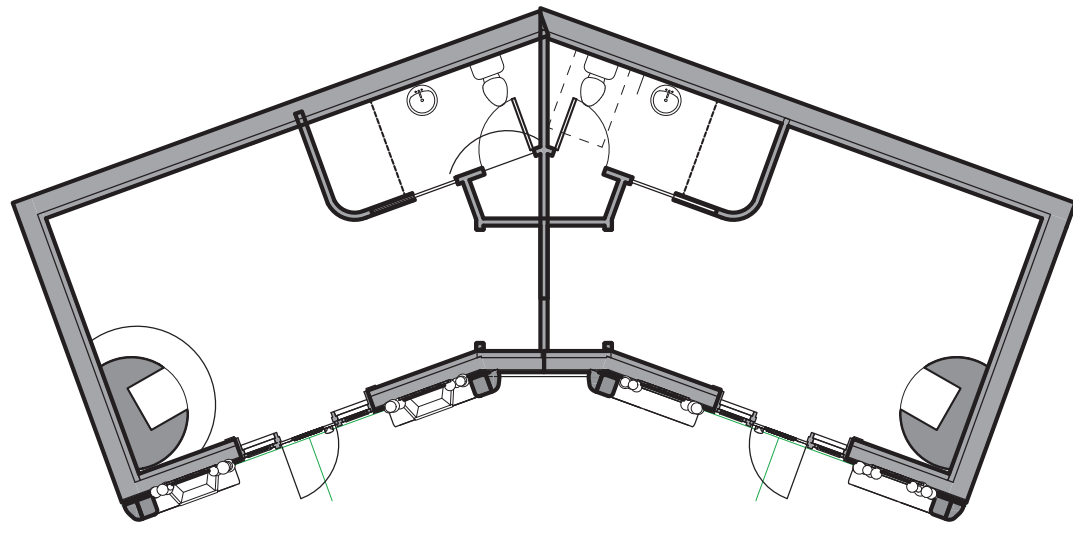
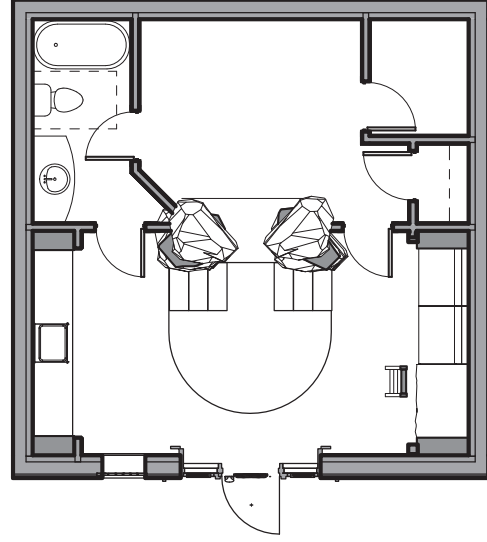
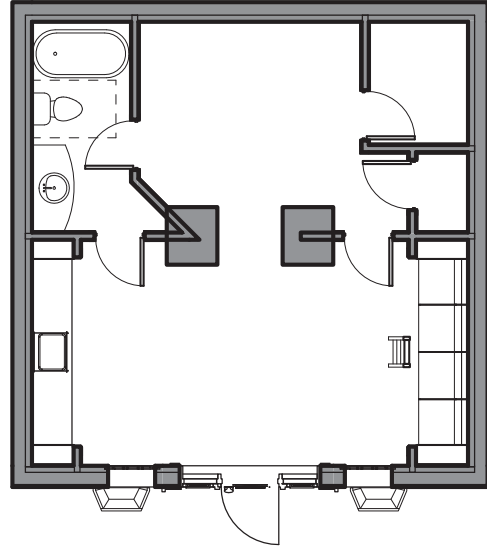
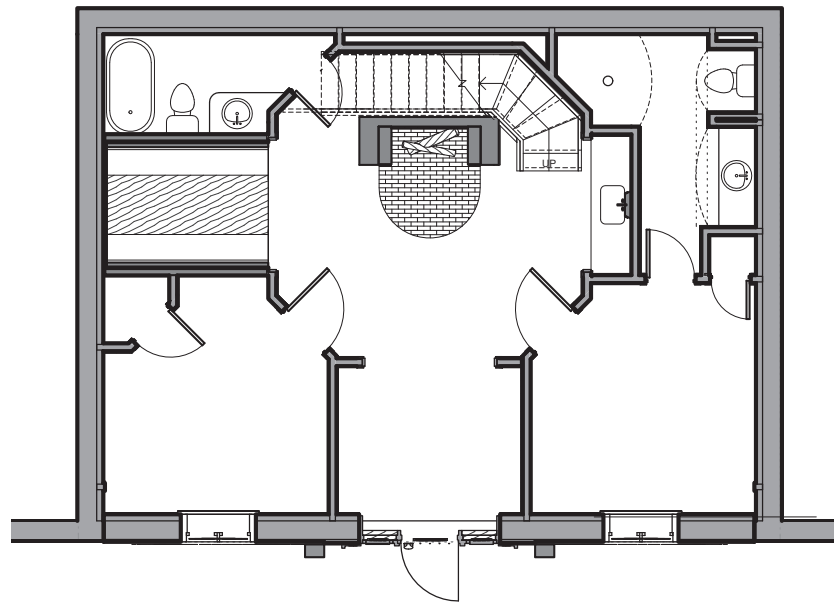
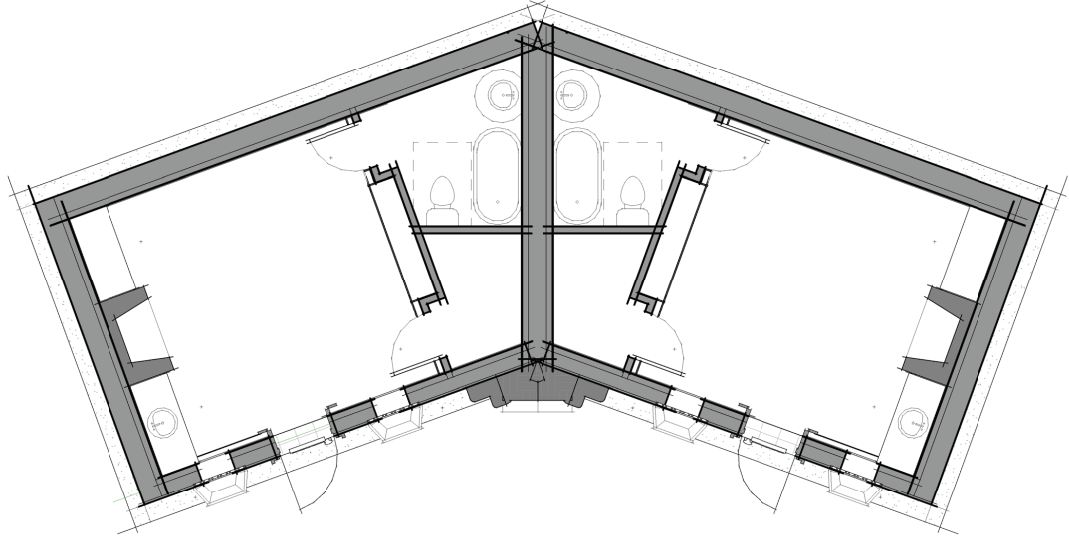
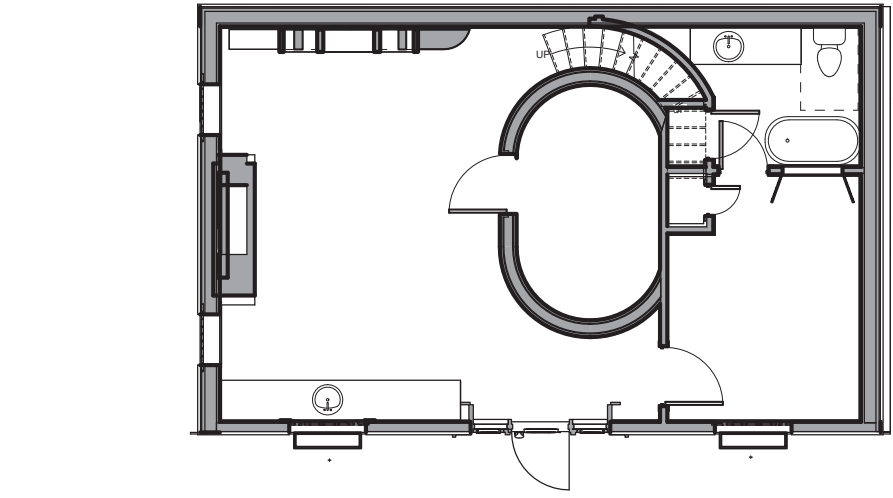
3523 Maloney Road, Knoxville TN 37920

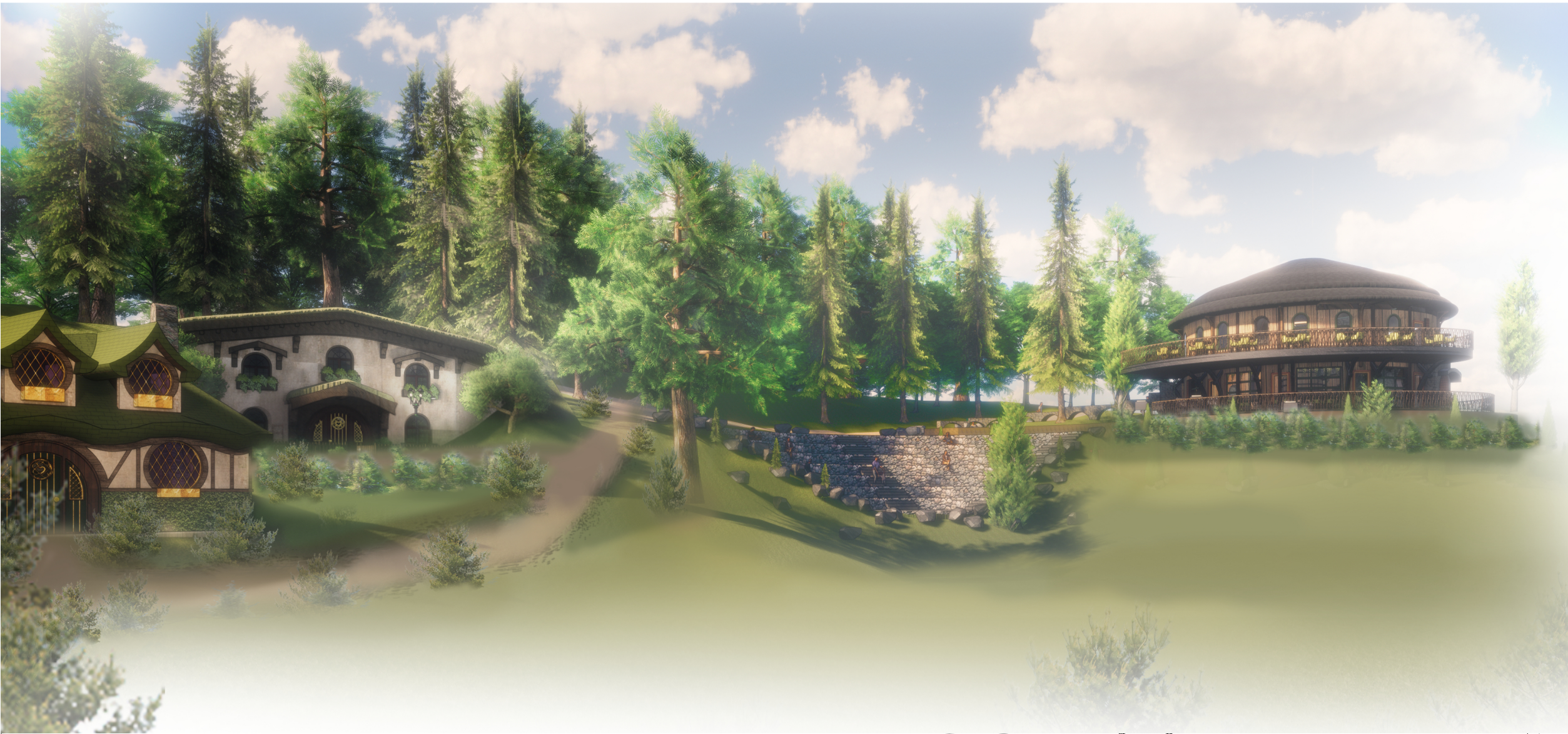
p. 865. 474. 9264 e. dlevy@dklevydesign.com



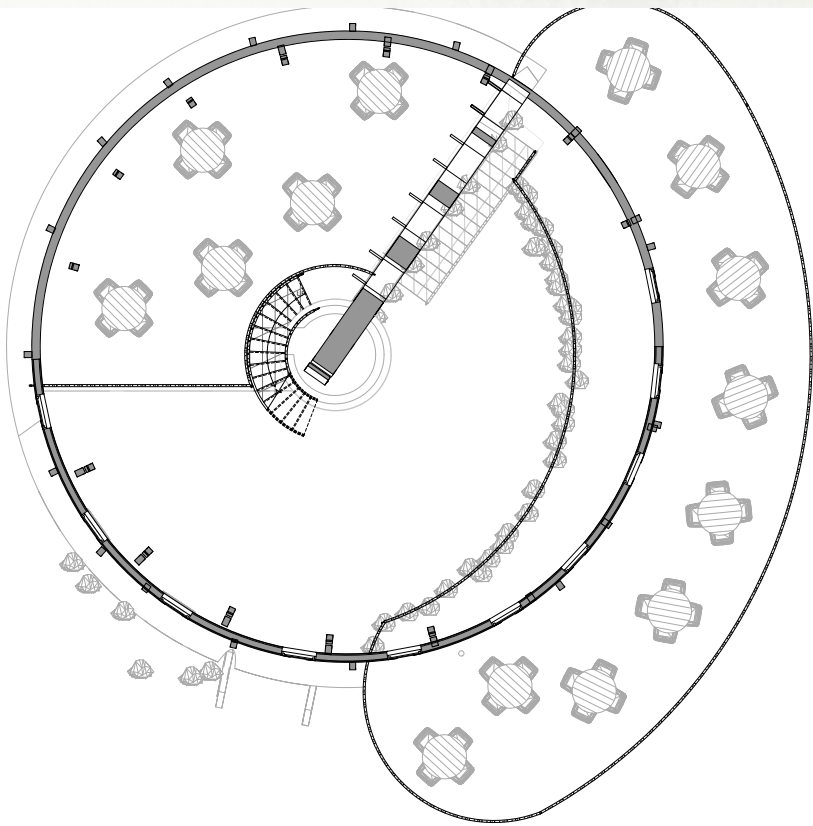
- Parking
 - Employee parking - 150 spaces
 - Guest parking - 300 spaces
- Guest / Employee counts
 - Total guest count - 540
 - Peak employee count - 100



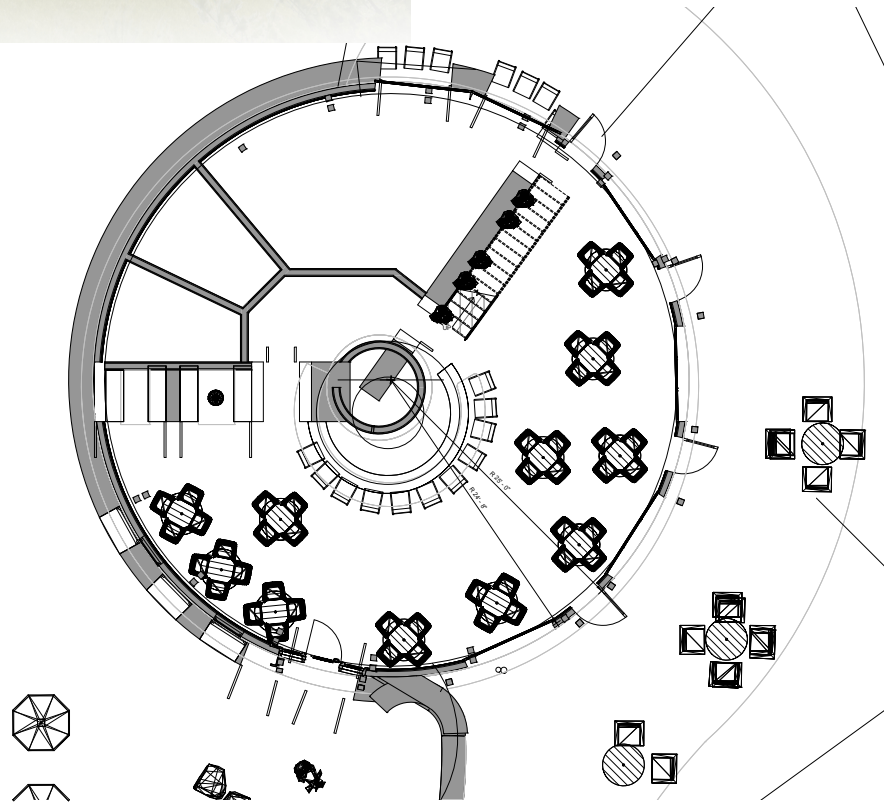




TAVERN



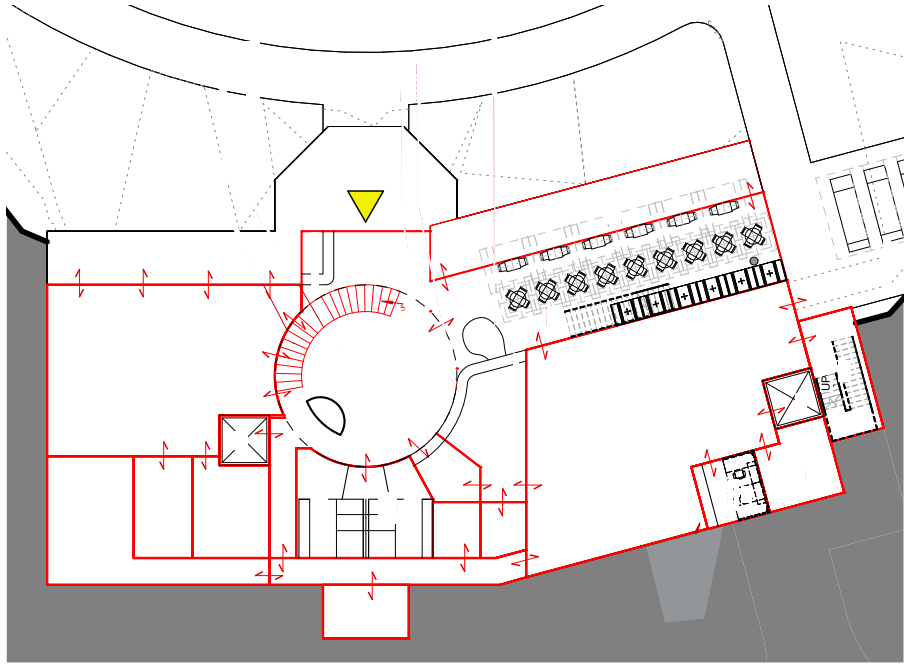
SECOND FLOOR PLAN



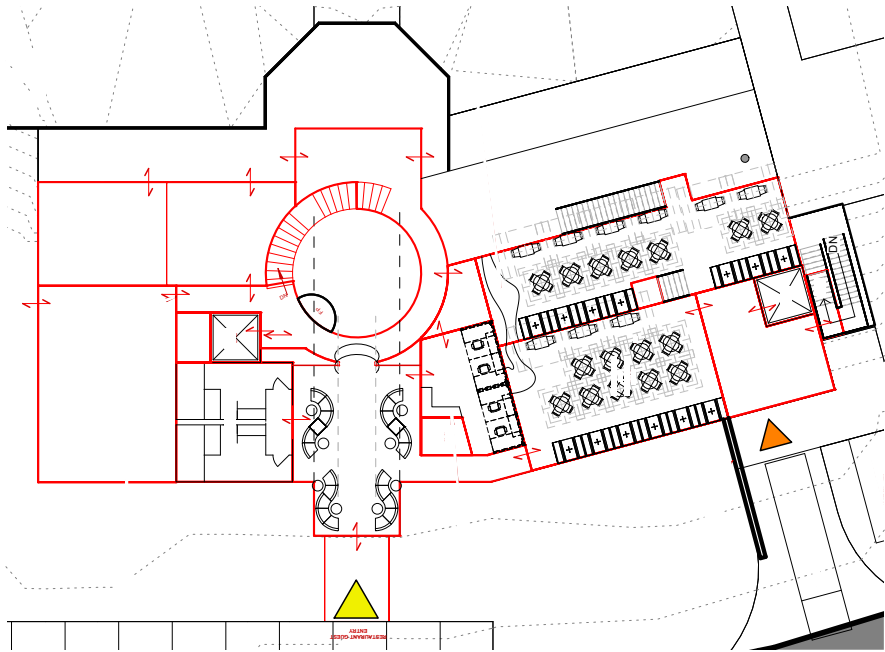
GROUND FLOOR PLAN



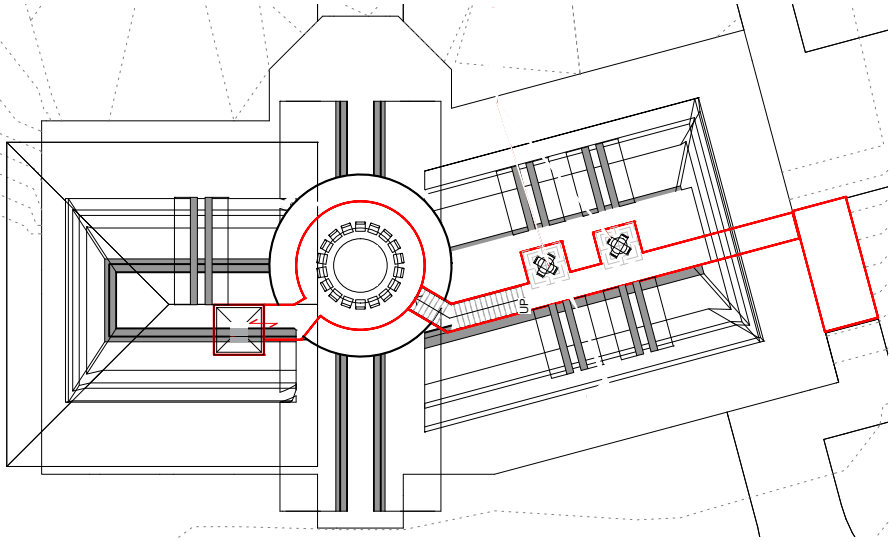
THE MANOR HOUSE RENDERING



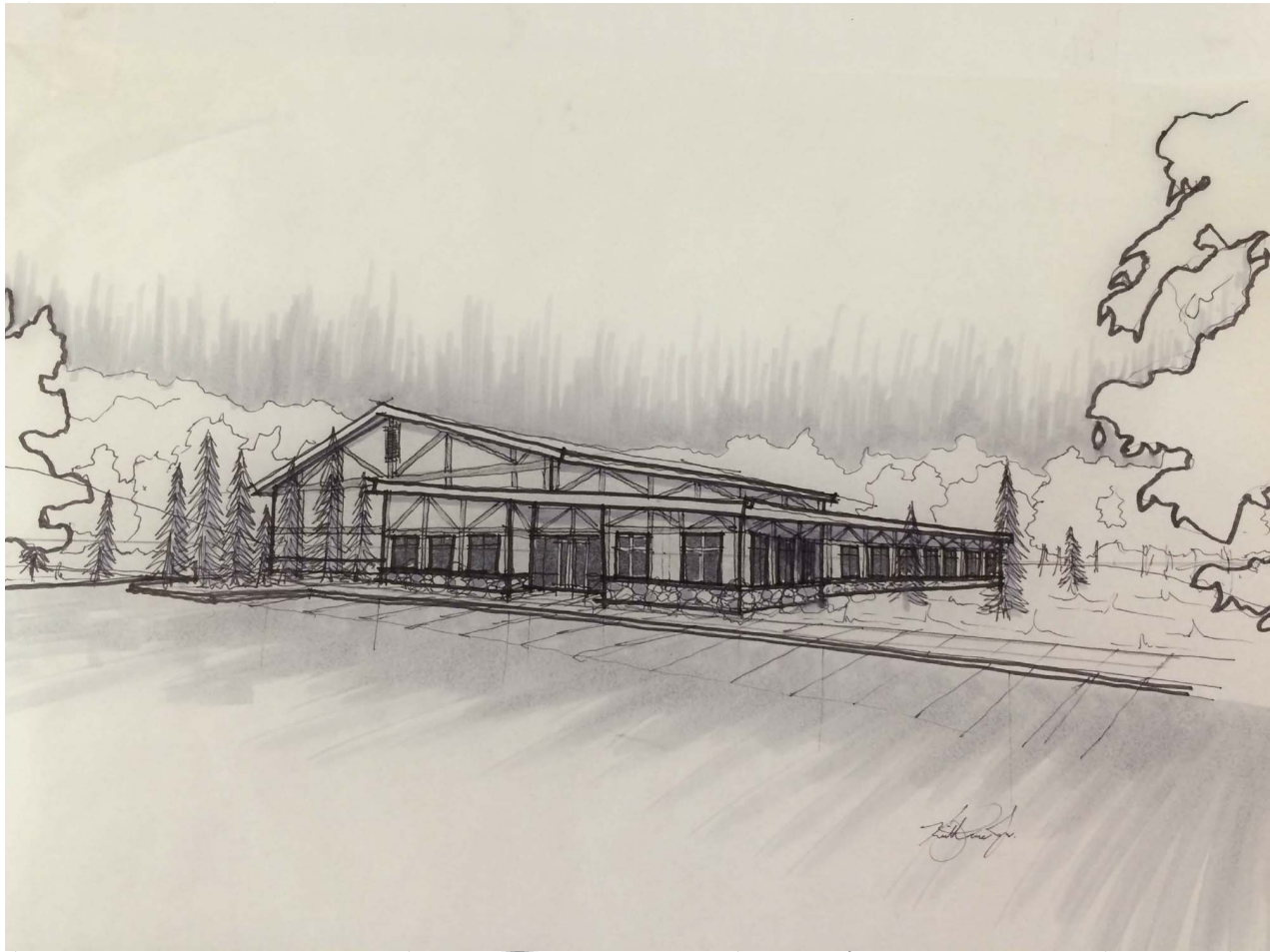
GROUND FLOOR PLAN



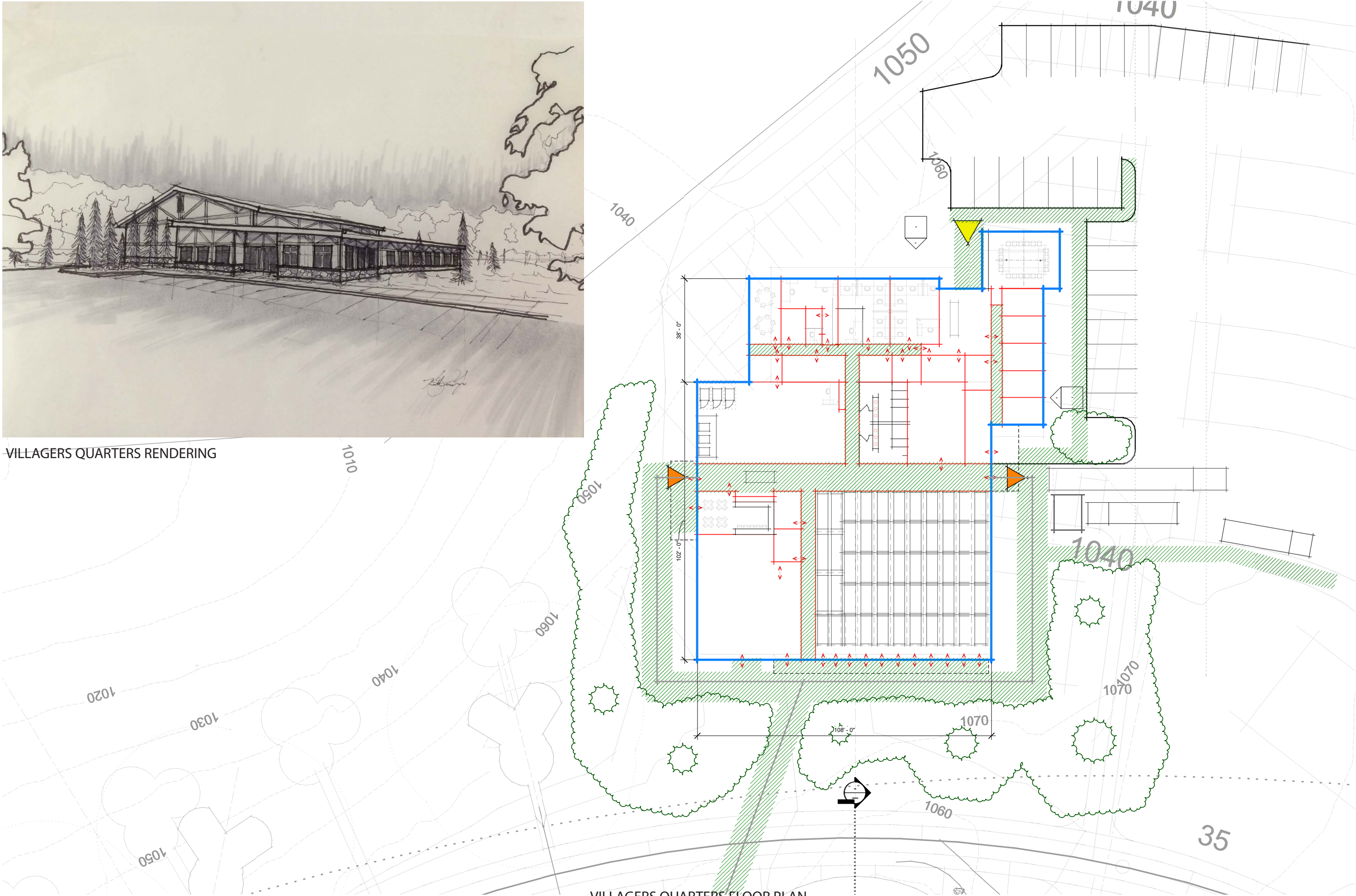
SECOND FLOOR PLAN



SPIRE FLOOR PLAN



VILLAGERS QUARTERS RENDERING



VILLAGERS QUARTERS FLOOR PLAN



1310 Centerpoint Boulevard
Knoxville, Tennessee 37932
(865) 531-5955

July 2, 2019

Daniel K Levy
DKLEVY Architecture + Design
3523 Maloney Road
Knoxville, TN 37920



Re: Ancient Lore Village at Boyd Hollow: Fire and Emergency Response Strategy

Dear Mr. Levy:

Based on our discussions and our meeting with Chief John Linsenbigler, I recommend the following equivalent approach to providing adequate facilities for emergency response. The design intent of the village is to take advantage of the topography and woodland to establish a rustic resort village. The strategy described below is intended to achieve an adequate level of emergency response while maintaining the ambience of the facility. The first element is access roads for emergency response vehicles. The intent for the village is to prohibit cars and trucks from entering the site. Visitors will park off-site (at the edge of the site) and be shuttled to lodgings by golf cart. The pathways for these carts will resemble the unpaved lanes of ancient villages. The IFC Section 503 requires fire apparatus roads extended to within 150ft of all portions of the buildings. Exception 1 allows this dimension to increase for building provided with automatic sprinkler systems if authorized by the fire code official. No specific limits are provided in this exception. Exception 2 identifies circumstances where roads cannot be installed because of conditions like topography and waterways and allows *approved alternate means of fire protection*. The conditions for both these exception are part of the design. The strategy proposed includes automatic sprinkler system protection being provided for all occupied structures. All the living spaces will be provided with residential sprinkler systems in accordance with NFPA 13D, *Installation of Sprinkler Systems in One and Two-Family Dwellings and Manufactured Homes*, and will be supplied by the domestic water supply. Likewise, the topography of the site, which is one of its rustic features, makes constructing access road suitable for fire department apparatus detrimental to the project. Plans to provide cart access to all areas for transport of fire department personnel and equipment will facilitate emergency response. This cart access would also be afforded for medical response requirements as well.

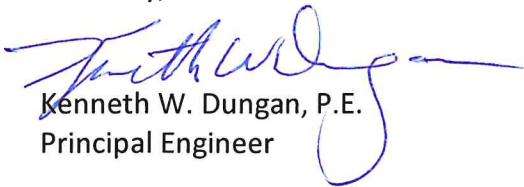
The second element is the provision of fire hydrants. IFC Section 507.5.1 requires fire hydrants within 400ft of any building assuming apparatus access roads are provided. Exception 2 allows that distance to be extended to 600ft for buildings protected with automatic sprinkler systems. The strategy for providing a fire protection water supply includes providing some onsite fire

hydrants disguised to match the rustic surroundings. From discussions with the responding fire department (Seymour), it was agreed that these hydrants will be dry hydrants, (similar to a dry standpipe system) supplied by underground piping that is normally dry. Two fire department connections will be provided near fire hydrants on the municipal water supply, where both the municipal hydrants and site FDCs are accessible to the responding fire apparatus. The plan would be to have at least one dry hydrant within 1000ft of any structure as agreed by the Seymour Fire Department. Because of the site layout, the majority of the buildings will be less than 600ft from a dry hydrant with the proposed layout. Based on the size, construction and separation of these sprinkler protected buildings, this design approach should obviate the need for the fire pumper access roads. One fire department access will be from Nixon Road. The arriving fire apparatus would connect to the municipal hydrant to the inlet of the pumper and connect the discharge to the fire department connection to charge the standpipe system. The second fire department access will be from Sevierville Pike. Similarly the arriving pumper would charge the standpipe system from a municipal hydrant on the Sevierville Pike side of the site. All private fire hydrants on the site will be charged from either or both fire department response locations.

The intent of the IFC requirements for vehicle access is twofold. First the pumper is available to assure adequate flow and pressure for the hose streams being applied to a fire. Second, the apparatus carries the necessary equipment, such as hose, nozzles, and rescue tools, to the scene. The proposed approach accomplishes both these objectives by allowing the pumper to control flow and pressure suitable for hose streams and provides carts to transport personnel and equipment where necessary. The intent of the IFC requirements for hydrant locations is to prevent excessive fire hose runs for fire fighting. The proximity of the municipal hydrants and the fire department connections to the standpipe system make hose runs minimal. The distribution of private hydrants (hose connections) on site will achieve the intended objectives of the IFC.

To summarize, the proposed approach to providing fire fighting, emergency response is equivalent to the requirements of the IFC for apparatus access and hose applications. I recommend the County accept this alternate approach as being equivalent.

Sincerely,



Kenneth W. Dungan, P.E.
Principal Engineer

Cc Travis Evans
Deputy Fire Marshal
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Knoxville, TN 37802

John Linsenbigler
Chief, Seymour Volunteer Fire Department
P. O. Box 241
Seymour, TN 37865