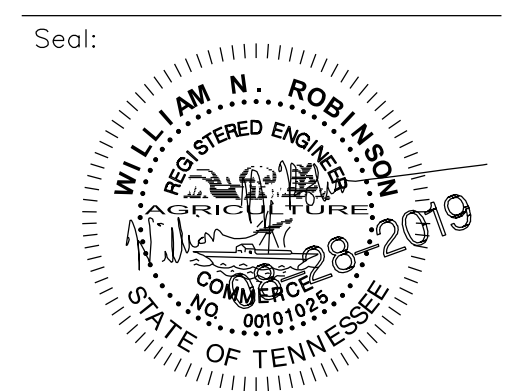


**BARRY BYRD
ARCHITECTURE**

P.O. Box 5482
Knoxville, TN 37928
(865) 687-6500



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Project Name:

Drawn By:

Revisions:

No.	DATE	DESCRIPTION

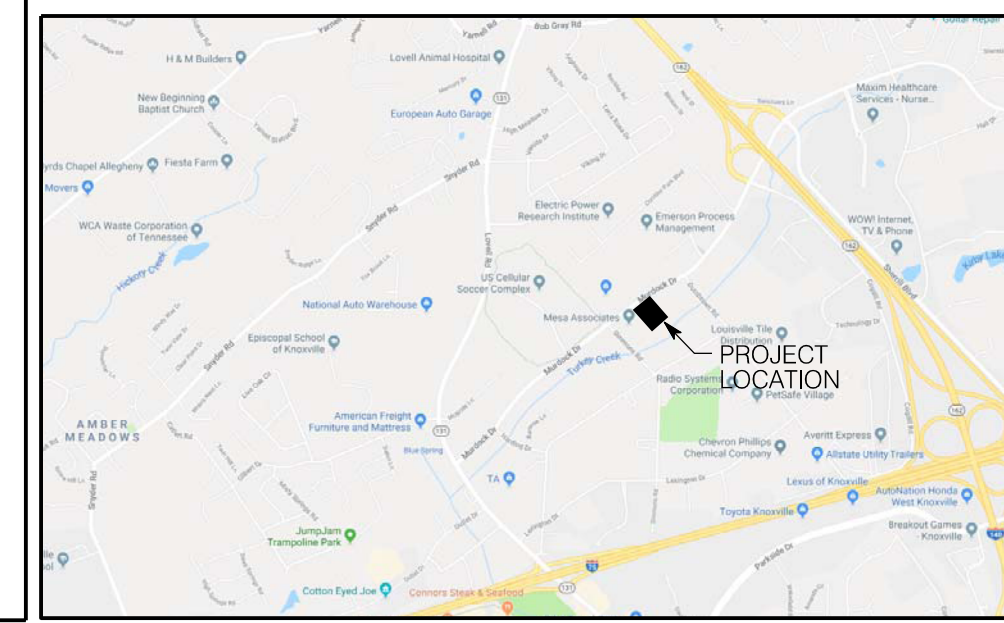
Project Title:

A NEW FACILITY FOR:

EXISTING	PROPOSED	
535	535	GROUND CONTOUR ELEVATION
535.25'	535.25'	SPOT ELEVATION
		STRUCTURE
	NA	PROPERTY LINE
	NA	EASEMENT
		EDGE OF PAVEMENT
		STORM DRAIN
	NA	SANITARY SEWER
		POTABLE WATER
		NATURAL GAS
		FIRE PROTECTION
		MANHOLE
		WATER METER
		FIRE HYDRANT
		SILT FENCING
		INLET PROTECTION
		CURB
		CONCRETE PAVEMENT
		ASPHALT PAVEMENT

PROJECT DATA
USE: OFFICE
ZONING: BP/TO
PARCEL: 118 117320
PARKING SUMMARY:
PARKING REQUIRED: 106 - 282 SPACES
PARKING PROVIDED: 210 SPACES
ELIMINATED FOR CONNECTIONS: 12 SPACES
ADS SPACES REQUIRED: 201-300 1 VAN ACCESSIBLE 6 HANDICAP
ADA SPACES PROVIDED: 2 VAN ACCESSIBLE 6 HANDICAP
CALCULATION (COUNTY):
OFFICE: 3-8 PER 1,000 SF
35.2 X 3 = 105.6 SPACES, 35.2 X 8 = 281.6 SPACES
CALCULATION (TTODA):
OFFICE: 3-4.5 PER 1,000 SF
35.2 X 3 = 105.6 SPACES, 35.2 X 4.5 = 158.4 SPACES (WAIVER REQUESTED FOR MAXIMUM)
SETBACKS:
FRONT: (BP) 50', (TO) 75'
SIDE: (BP) 20', (TO) 40'
REAR: (BP) 20', (TO) 30'
BUILDING AREA: 35,200 SF 2 STORY
PARCEL AREA: 11.37 AC (INCLUDING OFFICE WAREHOUSE PROPERTY ACROSS CREEK) 4.97 ACRES CONSIDERED IN SITE CALCULATIONS FOR THIS DEVELOPMENT
IMPERVIOUS AREA: 2.39 AC
FLOOR AREA RATIO: 16.3 %
IMPERVIOUS AREA RATIO: 48 %
GROUND AREA COVERAGE: 8.1 %

10-A-19-UR
Revised: 8/29/2019



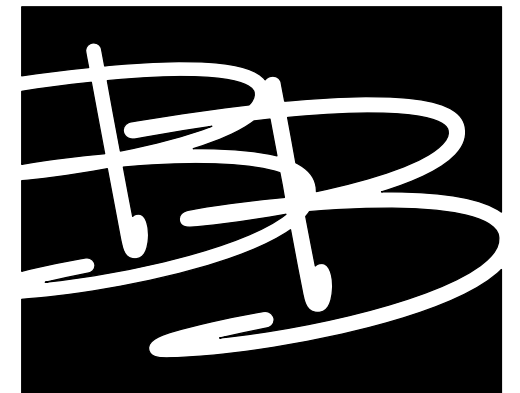
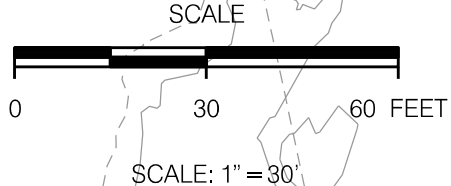
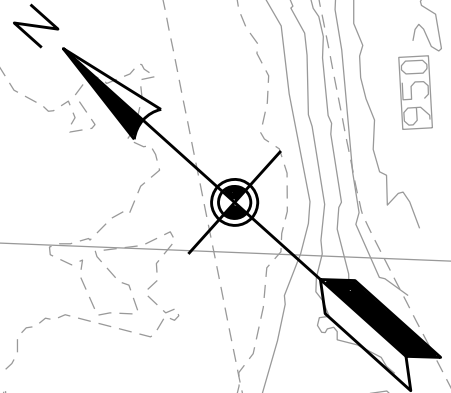
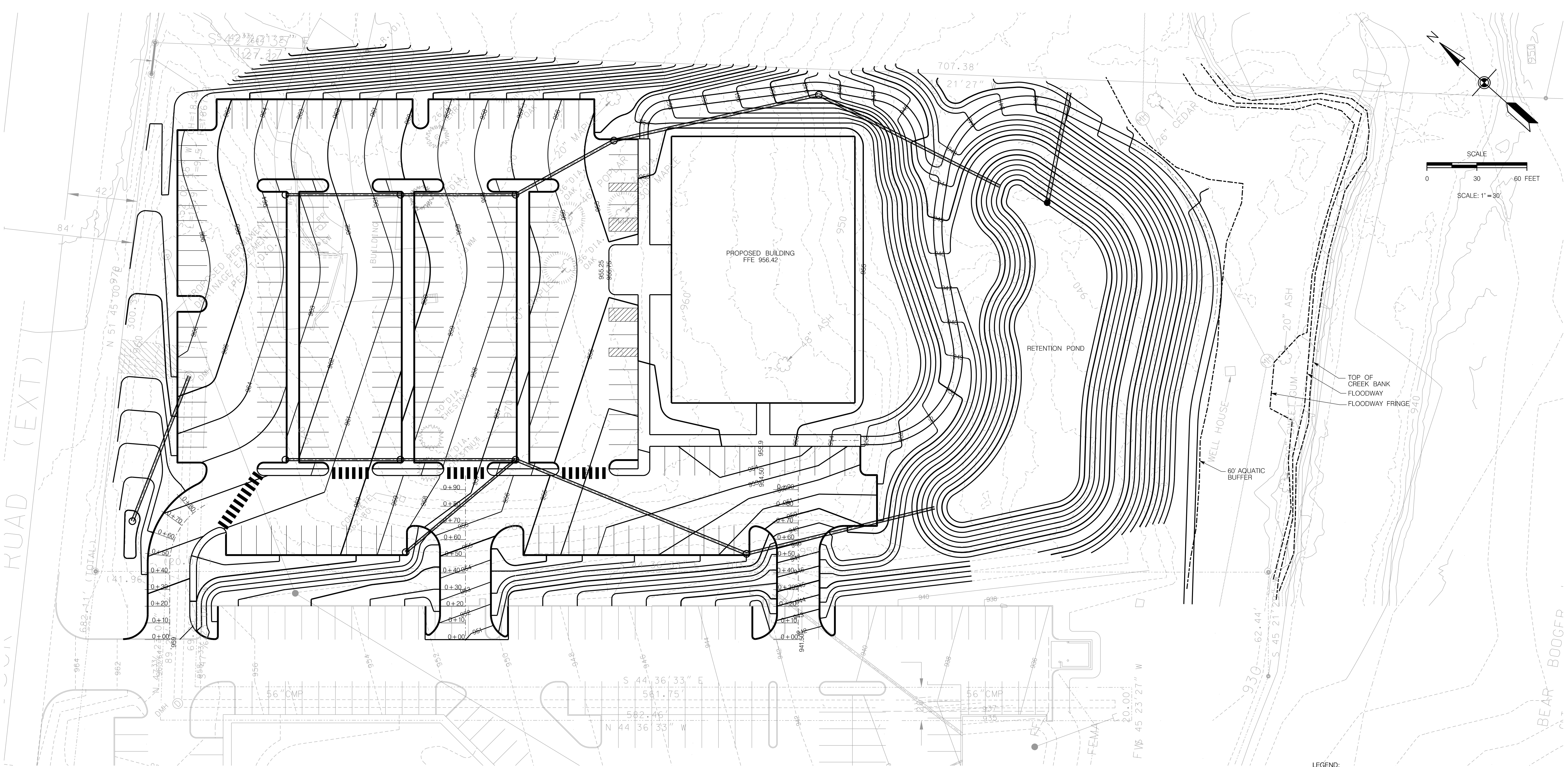
MESA:
**PROPOSED NEW
OFFICE BUILDING
(EAST PROPERTY)
10-A-19-UR/
9-B-19-TOB**

Location:

Sheet Contents:

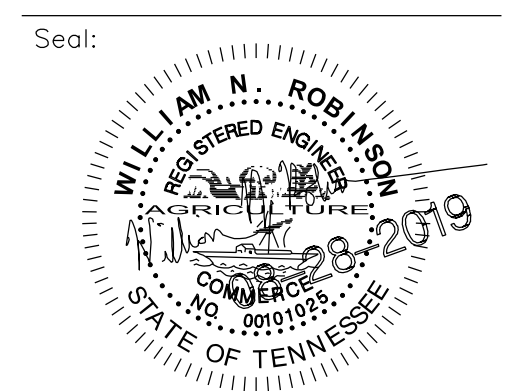
Date:

Sheet Number:
MPC01



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Project Name:

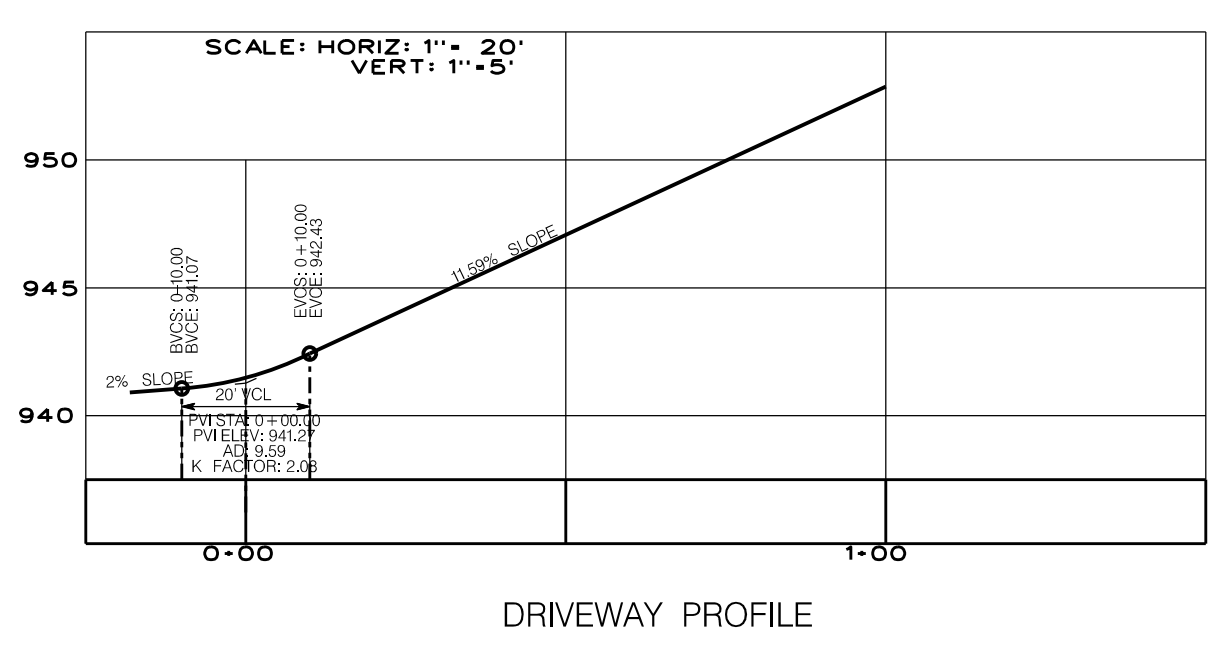
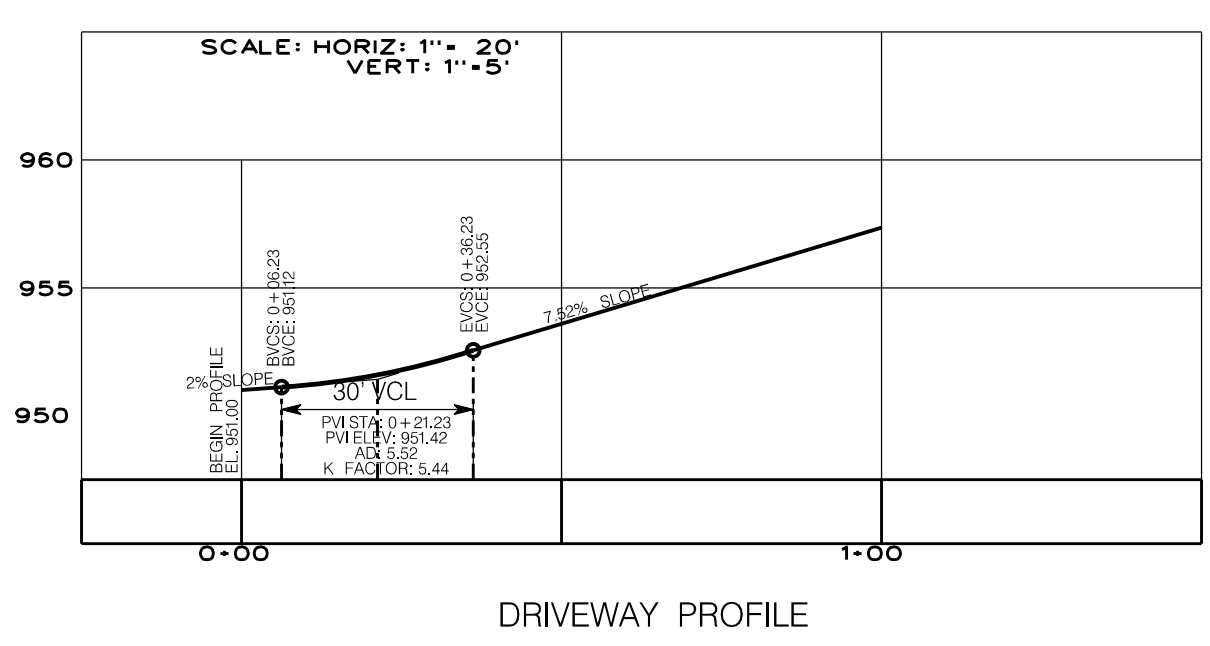
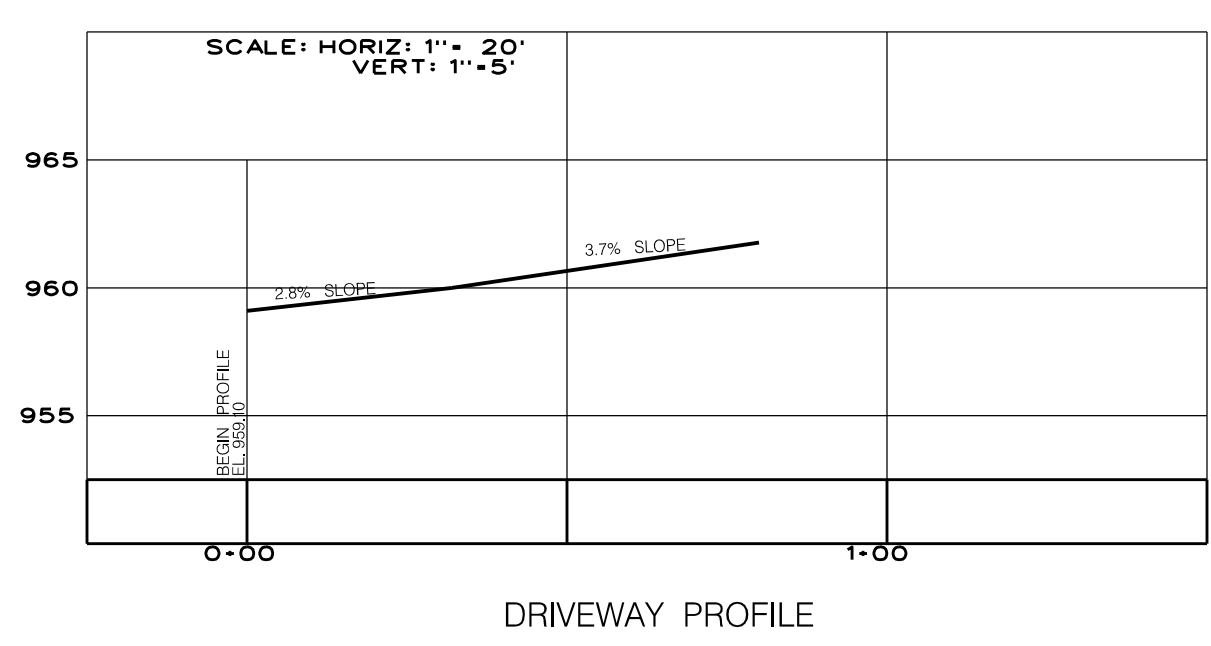
Drawn By:

Revisions:

No.	DATE	DESCRIPTION

Project Title:

A NEW FACILITY FOR:



10-A-19-UR
Revised: 8/29/2019

EXISTING	PROPOSED	
535	535	GROUND CONTOUR ELEVATION
535.25'	535.25'	SPOT ELEVATION
		STRUCTURE
NA	NA	PROPERTY LINE
NA	NA	EASEMENT
SD		EDGE OF PAVEMENT
SS		STORM DRAIN
W	NA	SANITARY SEWER
NG	PW	POTABLE WATER
W	NG	NATURAL GAS
	FW	FIRE PROTECTION
		MANHOLE
		WATER METER
		FIRE HYDRANT
	X-X	SILT FENCING
		INLET PROTECTION
		CURB
		CONCRETE PAVEMENT
		ASPHALT PAVEMENT

MESA:

**PROPOSED NEW
OFFICE BUILDING
(EAST PROPERTY)
10-A-19-UR/
9-B-19-TOB**

Location:

Sheet Contents:

Date:

Sheet Number:
MPC01

GENERAL NOTES & SPECIFICATIONS

LAWN INSTALLATION: Lawn areas shall be fine graded to a smooth, positively draining slope, removing all stones over 3/4" . Agricultural limestone shall be incorporated into the soil at a rate of 50 pounds per 1000 square feet. Apply specified seed at recommended rate. Straw mulch or hydromulch shall be used as deemed necessary by the Landscape Contractor and Landscape Architect. The Landscape Contractor shall be responsible to establish a full stand of grass and will repair any bare spots 1'- 0" square due to uneven seed distribution, drought or erosion.

SOD INSTALLATION: Sodded lawn areas shall be fine graded to a smooth, positively draining slope, removing all stones over 3/4" . Sod shall be healthy, thick sod placed so that joints are butt tight. Staple as necessary. Sod shall be trimmed to match bed lines shown on plan. Startup fertilizer shall be incorporated into the soil at the manufacturer's recommended rate. Any area of sod that fails to root, settles or dies will be replace by the Landscape Contractor.

UTILITY LOCATION: The Landscape Contractor is responsible for contacting the utility locator service and is responsible for any damage done to utilities.

QUANTITIES Plant quantities are shown for the contractor's convenience only. **PLANTS SHALL BE INSTALLED AS SHOWN.** Contractor is responsible for confirming all quantities prior to bidding and installation.

BIDS In order to keep all bids standard, all bids are to have unit prices listed. The Owner has the option to delete any portion of the contract prior to signing the contract or beginning work. This will be a unit price contract.

PLANT QUALITY All plants shall be nursery grown, have a full habit of growth as is characteristic of that species, and shall be free of disease or insects. General plant quality shall be as specified in the "USA Standard for Nursery Stock" (published by the American Association of Nurserymen). Please contact the Landscape Architect if there is difficulty in locating a particular plant. If necessary, a substitute plant will be recommended by the Landscape Architect.

PLANTING HOLES Trees and shrubs: Remove rock and construction debris from planting area. Dig holes two to three times as wide as the rootball and only as dep as the height of the root ball. Soil at the bottom of the hole is left undisturbed. See planting detail additional information.

SETTING OF PLANTS The root ball of container grown plants shall be scarified in several places prior to planting. Plant shrubs and trees so that the top of the root ball will be even with or slightly above the adjacent soil line. **SINGLE PLANTING HOLE** - backfill bottom half of space around the rootball with loosened original soil (use amended soil only when necessary for good soil tilth. (See ORGANIC AMENDMENTS). Tamp lightly. Finish filling the hole with loose soil and gently tamp again. **SHRUB BEDS** - Backfill bottom half of bed surrounding shrubs with amended backfill (see ORGANIC AMENDMENTS). Tamp lightly and water to settle soil. Finish filling hole with llose amended backfill and gently tamp again. Water shrub bed to settle soil. **PLANTINGS NOT DONE IN THIS MANNER SHALL BE REMOVED AND PROPERLY REPLANTED.**

ORGANIC AMENDMENTS Organic amendments should be added to backfill for all shrub beds and when deemed necessary to improve soil tilth of single planting holes. Organic matter should comprise approximately 10 to 20 percent of this total soil volume.

PREPARATION OF GROUND COVER AND SEASONAL COLOR BEDS : The existing soil in ground cover and seasonal color beds shall be thoroughly cultivated 6 inches deep, to a fine texture (no clods over 1/2") with a mechanical tiller. A plant mix of 60% screened shredded topsoil, 20% sand, and 20% well rotted sawdust or peat shall then be thoroughly incorporated into the existing soil with the tiller so that the soil mix (6" deep) is 1/2 original soil and 1/2 plant mix. All groundcover and seasonal color beds shall receive a 2" layer of fine textured, screened, pine bark mulch, or equal. **PLANTINGS NOT DONE IN THIS MANNER SHALL BE REMOVED AND PROPERLY REPLANTED.**

FERTILIZING Upon completion of plantings, all shrubs shall receive 1/6 cup of 16-4-8 fertilizer (50% of nitrogen slow release) evenly broadcast at the base of the plants. Trees shall receive 1/4 cup of 16-4-8 fertilizer (50% of nitrogen slow release) per inch of caliper. Ground cover beds shall be fertilized at the rate of 20 pounds of 16-4-8 (50% of nitrogen slow release) per 1000 square feet.

STAKING OF TREES Trees should only be staked if necessary, such as when planted in areas of high winds or steep slopes. Under certain circumstances, others may be staked at the discretion of the Landscape Contractor or Landscape Architect. The Landscape Contractor is responsible for all wind damage to trees, (provided winds are less than 60 mph) during the guarantee period, and may stake other trees (for his own protection) at his option. Landscape Contractor will be responsible for removal of all staking material one year after installation.

TRANSPLANTS All plant material to be transplanted shall be transplanted according to guidelines set by AAN standards. Transplanted material will not be guaranteed by the landscape contractor.

MULCHING As specified on planting list. Hardwood mulch: All beds to receive a 3" layer of aged hardwood bark mulch (free of wood chips or large chunks of bark). Fresh hardwood bark mulch is not recommended to be used, as water run-off may cause staining on adjacent concrete surfaces. All damages incurred by the use of fresh hardwood mulch shall be the responsibility of the landscape contractor. Pinestraw: All beds to receive a 4" layer (prior to compaction) of pinestraw. After natural compaction, pinestraw should have a depth of 2". All trees located in lawn areas shall receive a 3' diameter ring of mulch. Mulch in these areas is to follow the above listed guidelines.

GRADING All final grading shall be the responsibility of the landscape contractor. The responsibility for any additional grading (if needed) shall be determined prior to bidding.

BACKFILL Landscape contractor to verify any additional backfill/topsoil needed prior to beginning work. A unit price for topsoil shall be included in all bid documents to allow for circumstances that might arise during installation.

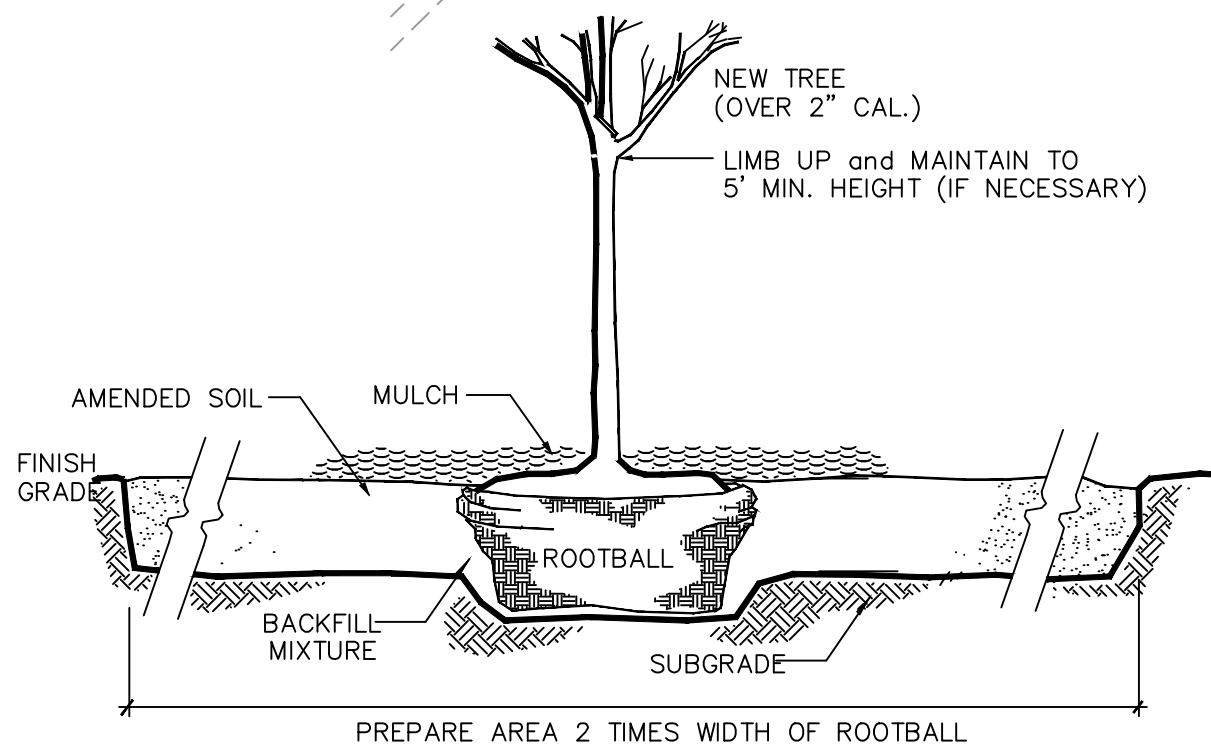
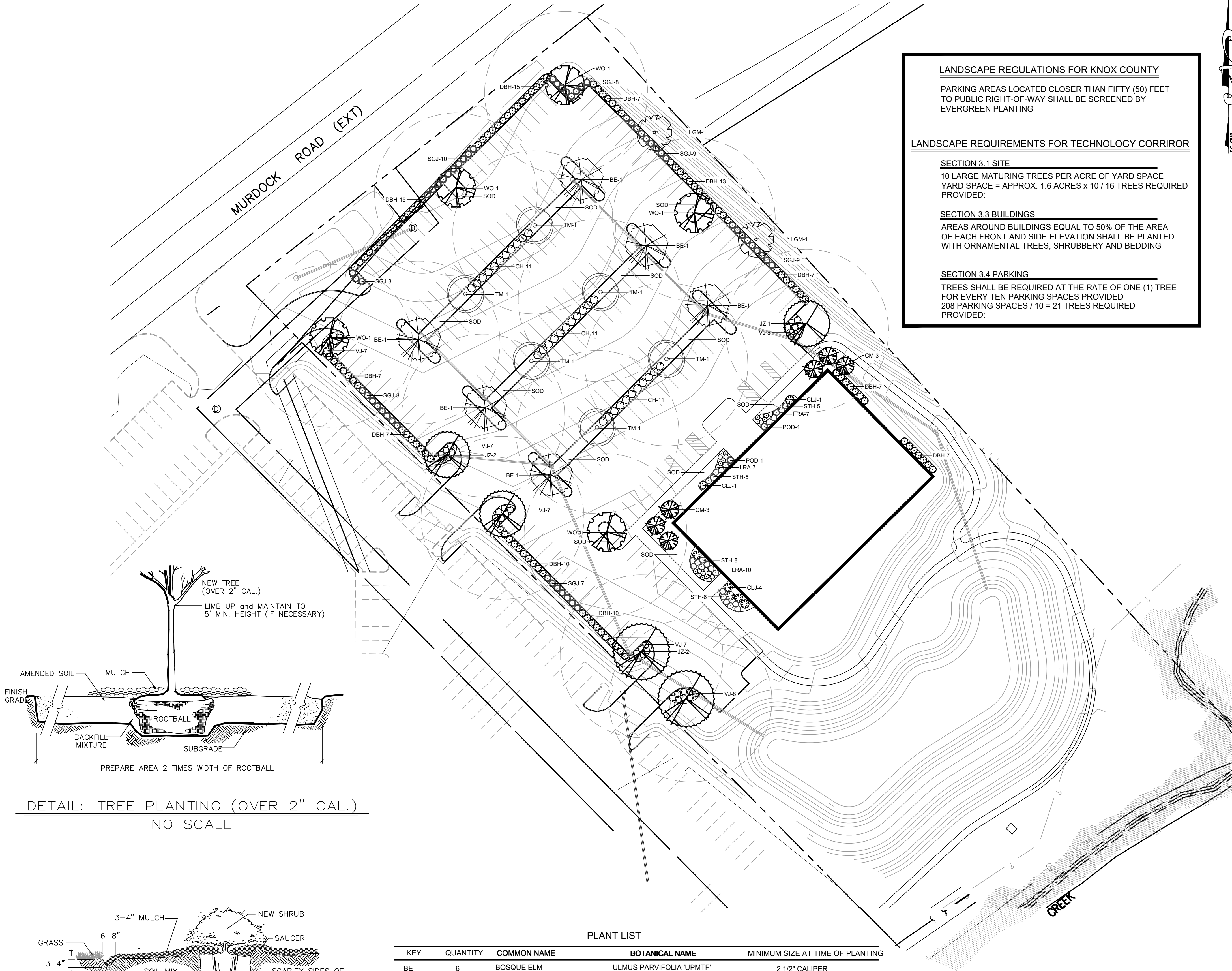
CLEAN UP Final clean up of any disturbances occurring as a result of landscape operations shall be the responsibility of the landscape contractor.

INSPECTION It shall be the contractor's responsibility to provide for inspection of the plant material by the Landscape Architect prior to installation. All plant material will be inspected. Plants not conforming precisely to the plant list will not be accepted and shall be replaced at the contractor's own expense.

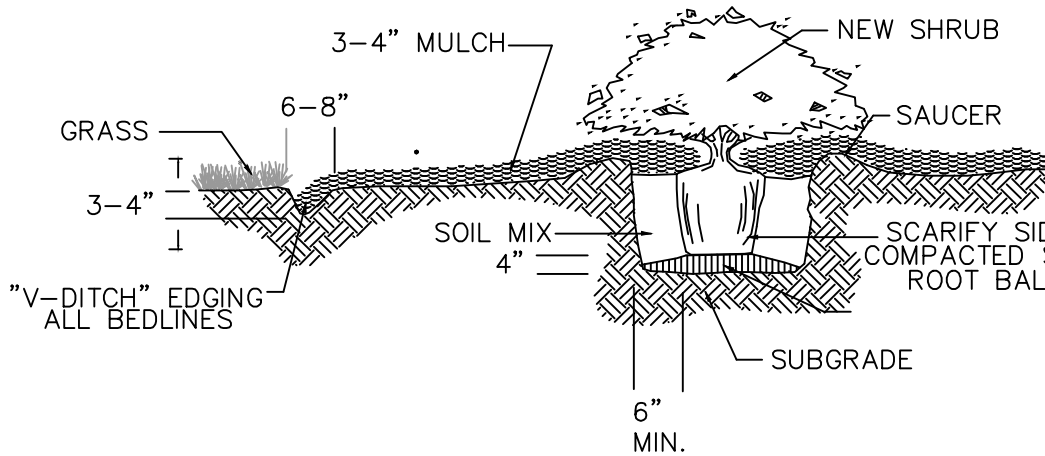
LICENSES The contractor will be responsible for obtaining all licenses necessary to complete the work.

INSURANCE With the submittal of bid documents, the landscape contractor shall also submit a certificate of insurance for workman's compensation and a contractor's general liability. Contractors not providing evidence of such insurance will be ineligible to relieve the contract for the job

GUARANTEE All plant material and workmanship to be guaranteed for one year from the date of acceptance by the Owner. Plant replacement to occur only once. The contractor will not be responsible for defects resulting from neglect by the Owner, abuse or damage by others, or unusual phenomena or incidents beyond the landscape contractors control which result from natural causes such as floods, lightning, storms, freezing rains, or winds over 60 miles per hour, fire, vandalism or theft.



DETAIL: TREE PLANTING (OVER 2" CAL.)
NO SCALE



DETAIL: SHRUB PLANTING & BED EDGING
NO SCALE

PLANT LIST

KEY	QUANTITY	COMMON NAME	BOTANICAL NAME	MINIMUM SIZE AT TIME OF PLANTING
BE	6	BOSQUE ELM	ULMUS PARVIFOLIA 'UPMT'	2 1/2" CALIPER
CM	6	GRAPE MYRTLE	LAGERSTROEMIA (LX. FAURIEI 'SIOUX)	6' HEIGHT (3 CANE MIN / 5 CANE MAX)
JZ	5	JAPANESE ZELKOVA	ZELKOVA SERATA	2 1/2" CALIPER
LGM	2	LITTLE GEM MAGNOLIA	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	2 1/2" CALIPER
TM	6	TRIDENT MAPLE	ACER RUBRUM 'BUERGERIANUM'	2 1/2" CALIPER
WO	4	WILLOW OAK	QUERCUS PHELLOS	2 1/2" CALIPER
CH	33	COMPACTA HOLLY	ILEX CRENATA 'COMPACTA'	3 GALLON
CLJ	6	CLEYERA	CLEYERA JAPONICA	3 GALLON
DBH	105	DWARF BURFORD HOLLY	ILEX CORNUTA 'BURFORDII NANA'	3 GALLON
LRA	24	LITTLE RICHARD ABELIA	ABELIA X 'LITTLE RICHARD'	3 GALLON
POD	2	PODOCARPUS	PODOCARPUS MACROPHYLLUS VAR. MAKI	3 GALLON
VJ	29	VINTAGE JADE	DISTYLUM 'VINTAGE JADE' pp23,128	3 GALLON
SGJ	55	SEA GREEN JUNIPER	JUNIPERUS CHINENSE 'SEA GREEN'	3 GALLON
STH	24	SOFT TOUCH HOLLY	ILEX CRENATA 'SOFT TOUCH'	3 GALLON
SOD		BERMUDA		
MULCH		HARDWOOD 4" DEPTH		

NOTES:

1. PLANT MATERIAL / SOD / MULCH SHALL BE VERIFIED BY THE LANDSCAPE CONTRACTOR PRIOR TO BIDDING. ANY DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT IMMEDIATELY. LANDSCAPE ARCHITECT ASSUMES NO LIABILITY FOR QUANTITY DISCREPANCIES. CONTRACTOR TO VERIFY THAT ALL PLANT MATERIALS ARE AVAILABLE, AS SPECIFIED, WHEN PROPOSAL IS SUBMITTED.
2. NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED WITHOUT WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
3. LANDSCAPE ARCHITECT OR OWNER SHALL HAVE THE RIGHT, AT ANY STAGE OF THE CONSTRUCTION OPERATION, TO REJECT ANY AND ALL WORK WHICH, IN HIS OPINION, DO NOT MEET THE REQUIREMENTS OF THESE PLANS OR SPECIFICATIONS.

LANDSCAPE REGULATIONS FOR KNOX COUNTY

PARKING AREAS LOCATED CLOSER THAN FIFTY (50) FEET TO PUBLIC RIGHT-OF-WAY SHALL BE SCREENED BY EVERGREEN PLANTING

LANDSCAPE REQUIREMENTS FOR TECHNOLOGY CORRORR

SECTION 3.1 SITE

10 LARGE MATURING TREES PER ACRE OF YARD SPACE
YARD SPACE = APPROX. 1.6 ACRES x 10 / 16 TREES REQUIRED PROVIDED:

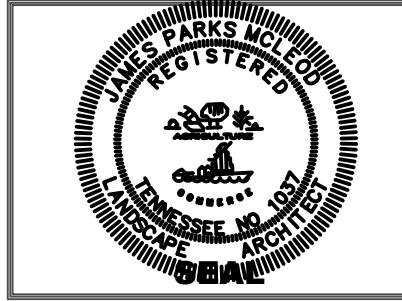
SECTION 3.3 BUILDINGS

AREAS AROUND BUILDINGS EQUAL TO 50% OF THE AREA OF EACH FRONT AND SIDE ELEVATION SHALL BE PLANTED WITH ORNAMENTAL TREES, SHRUBBERY AND BEDDING

SECTION 3.4 PARKING

TREES SHALL BE REQUIRED AT THE RATE OF ONE (1) TREE FOR EVERY TEN PARKING SPACES PROVIDED
208 PARKING SPACES / 10 = 21 TREES REQUIRED PROVIDED:

McLeod
Landscape Architects, LLC
100 West Washington St.
Suite 400
Greenville, SC 29601
(864) 370-3635



REVISED PER COMMENTS
GMA 08/29/2019
SUBMITTED FOR APPROVAL
GMA 07/16/2019

REVISIONS

MESA ASSOCIATES OFFICE BUILDING
KNOXVILLE, TENNESSEE
LANDSCAPE COMPLIANCE PLAN

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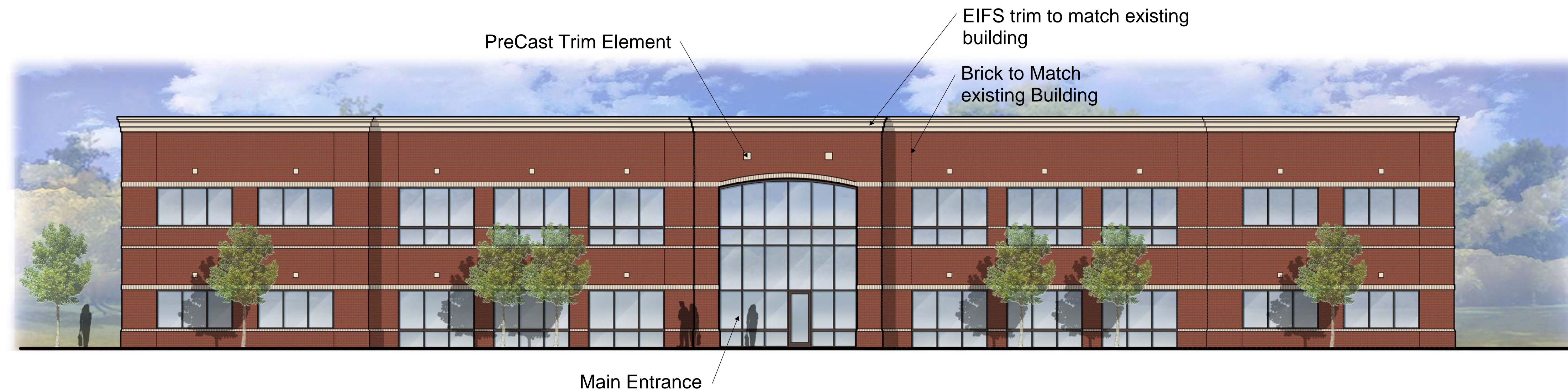
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JULY, 2019
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19027
SHEET

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10-A-19-UR

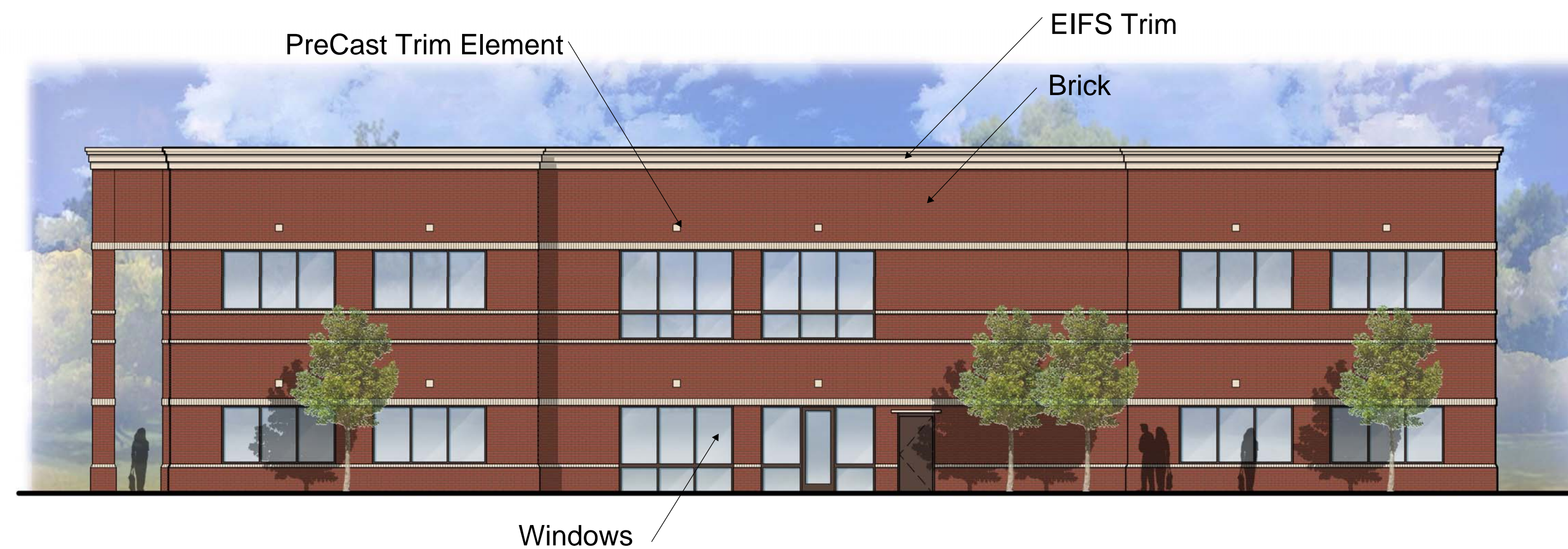
Revised: 8/29/2019

MESA - EAST PROPERTY (10-A-19-UR / 9-B-19-TOB)



① NORTH (MURDOCK DR) ELEVATION
1/8" = 1'-0"

The materials on this building are intended to match the existing materials on the main MESA building.

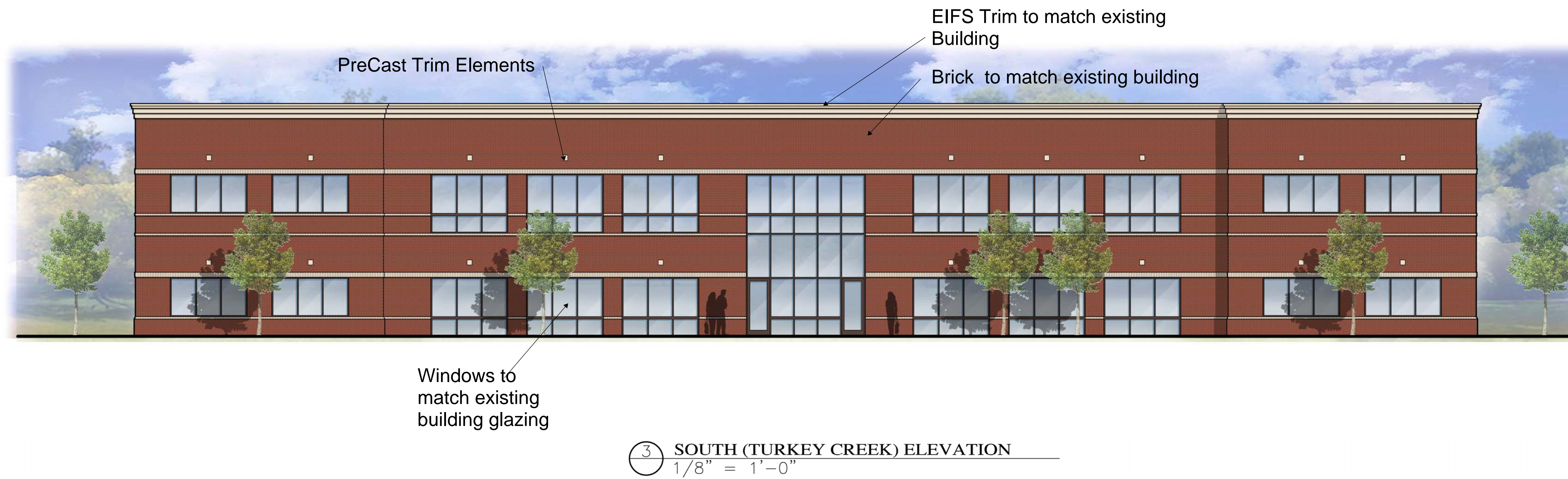


② WEST ELEVATION (FACING MAIN MESA CAMPUS)
1/8" = 1'-0"



PROPOSED OFFICE BUILDING MESA ASSOCIATES MURDOCK DR., KNOXVILLE, TN

Project # 10-A-19-UR / 9B-19-TOB
Revised August 29, 2019

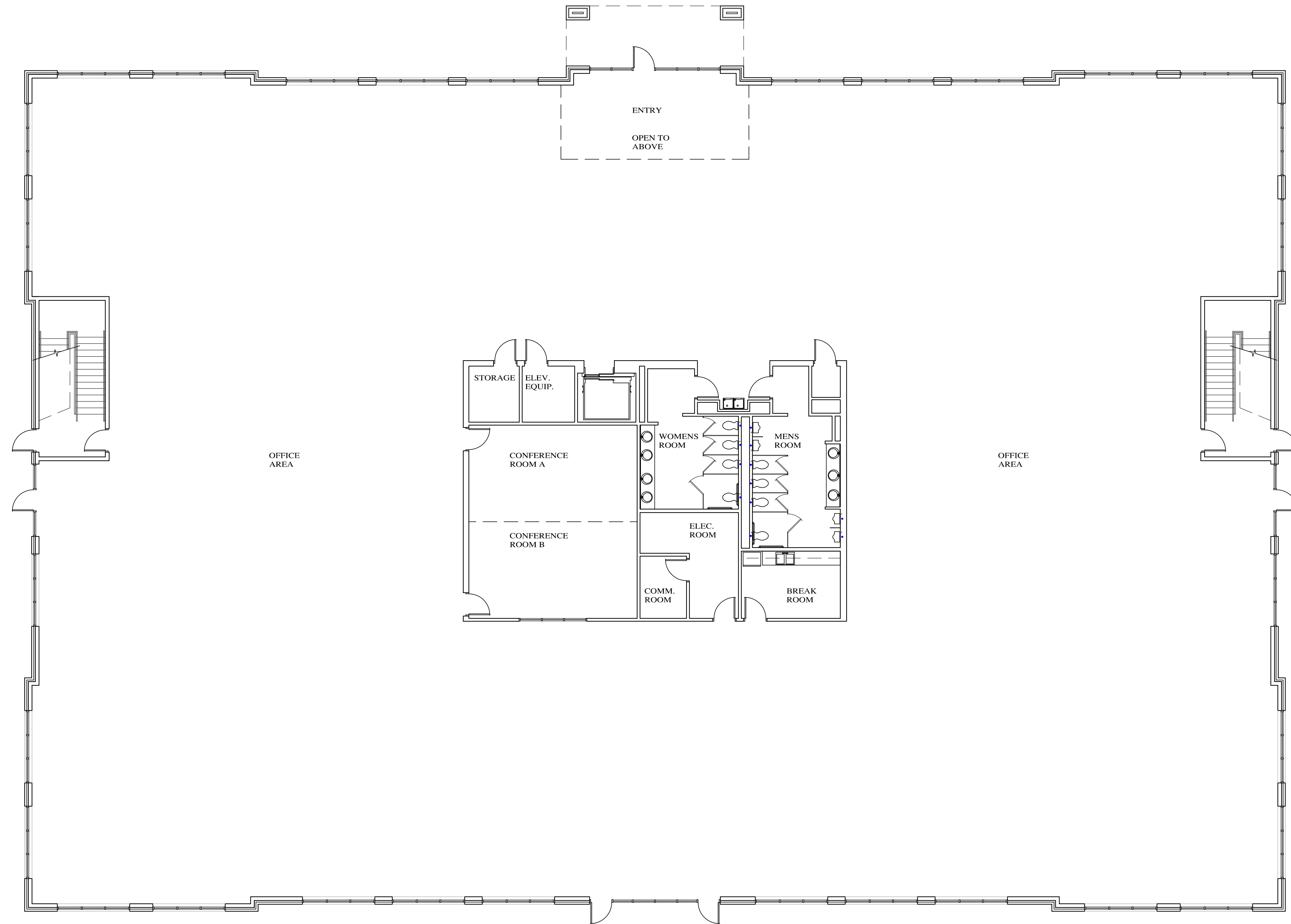


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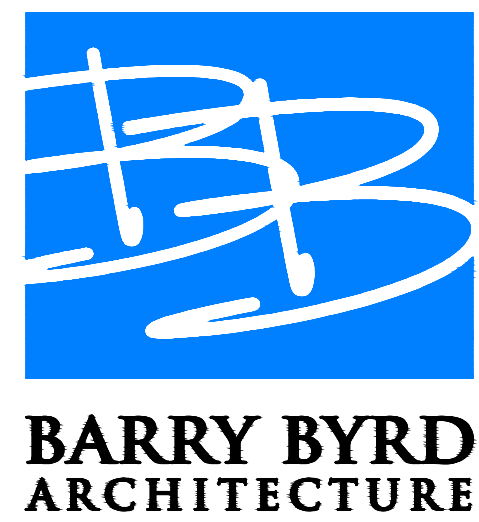
PROPOSED OFFICE BUILDING MESA ASSOCIATES MURDOCK DR., KNOXVILLE, TN

Project # 10-A-19-UR / 9B-19-TOB
Revised August 29, 2019





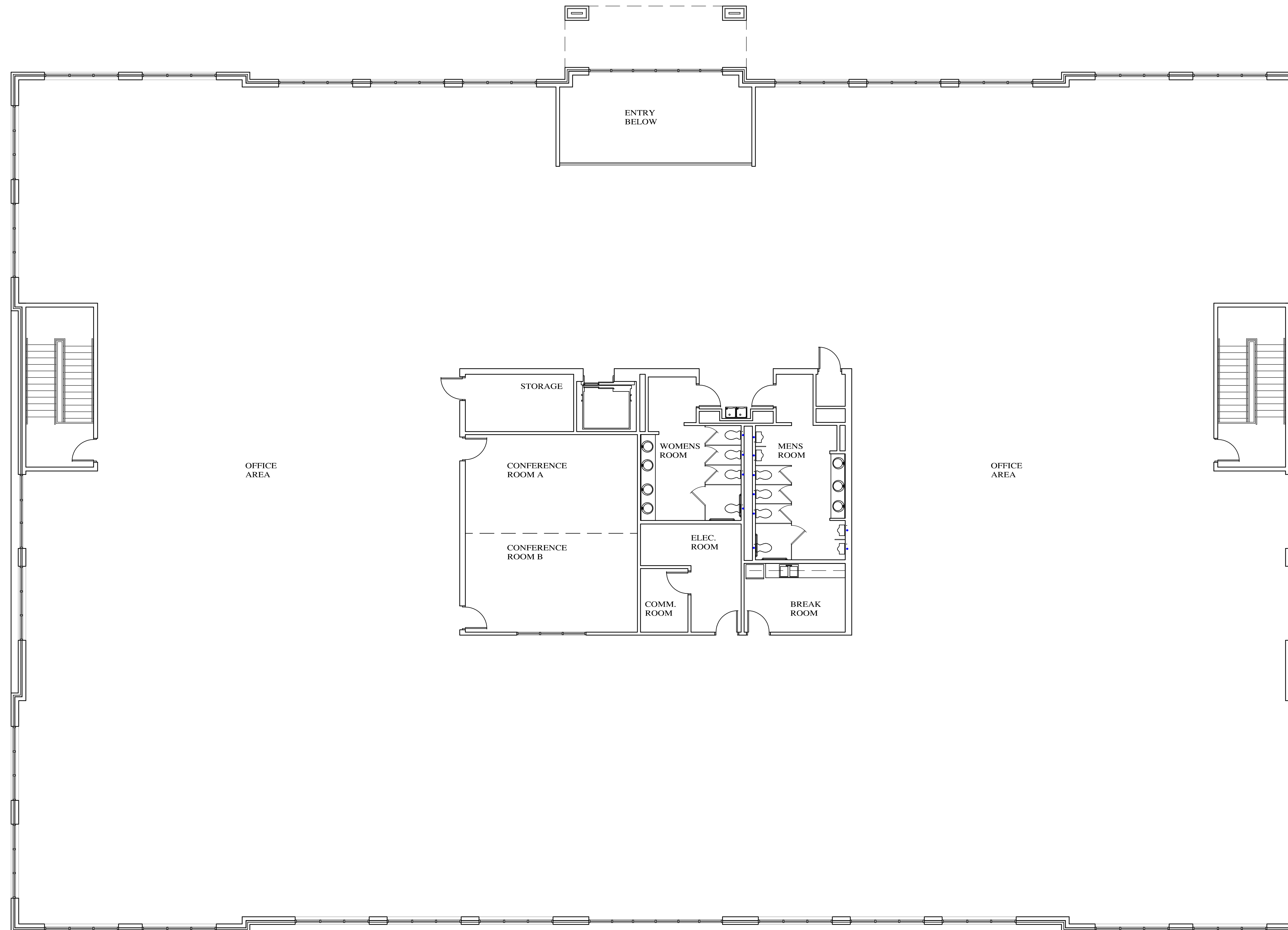
FIRST FLOOR PLAN
 1/8" = 1'-0"

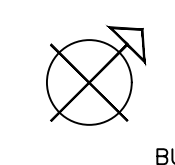
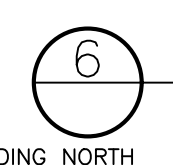


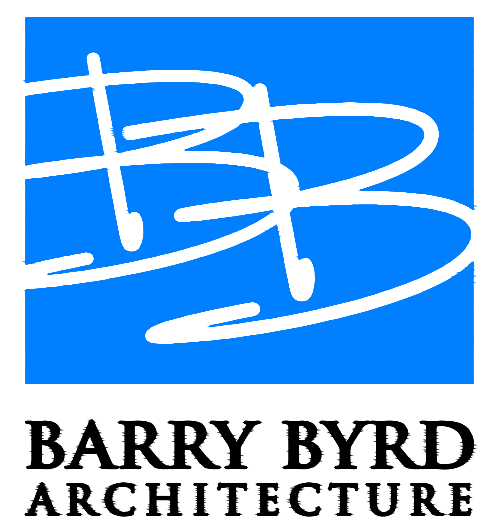
PROPOSED OFFICE BUILDING MESA ASSOCIATES MURDOCK DR., KNOXVILLE, TN

JULY 29, 2019
 PROJECT # 10-A-19-UR/9B-19-TOB

Revised: 8/29/2019





SECOND FLOOR PLAN
 1/8" = 1'-0"



PROPOSED OFFICE BUILDING
MESA ASSOCIATES
MURDOCK DR., KNOXVILLE, TN

JULY 29, 2019
 PROJECT # 10-A-19-UR/9B-19-TOB

Revised: 8/29/2019