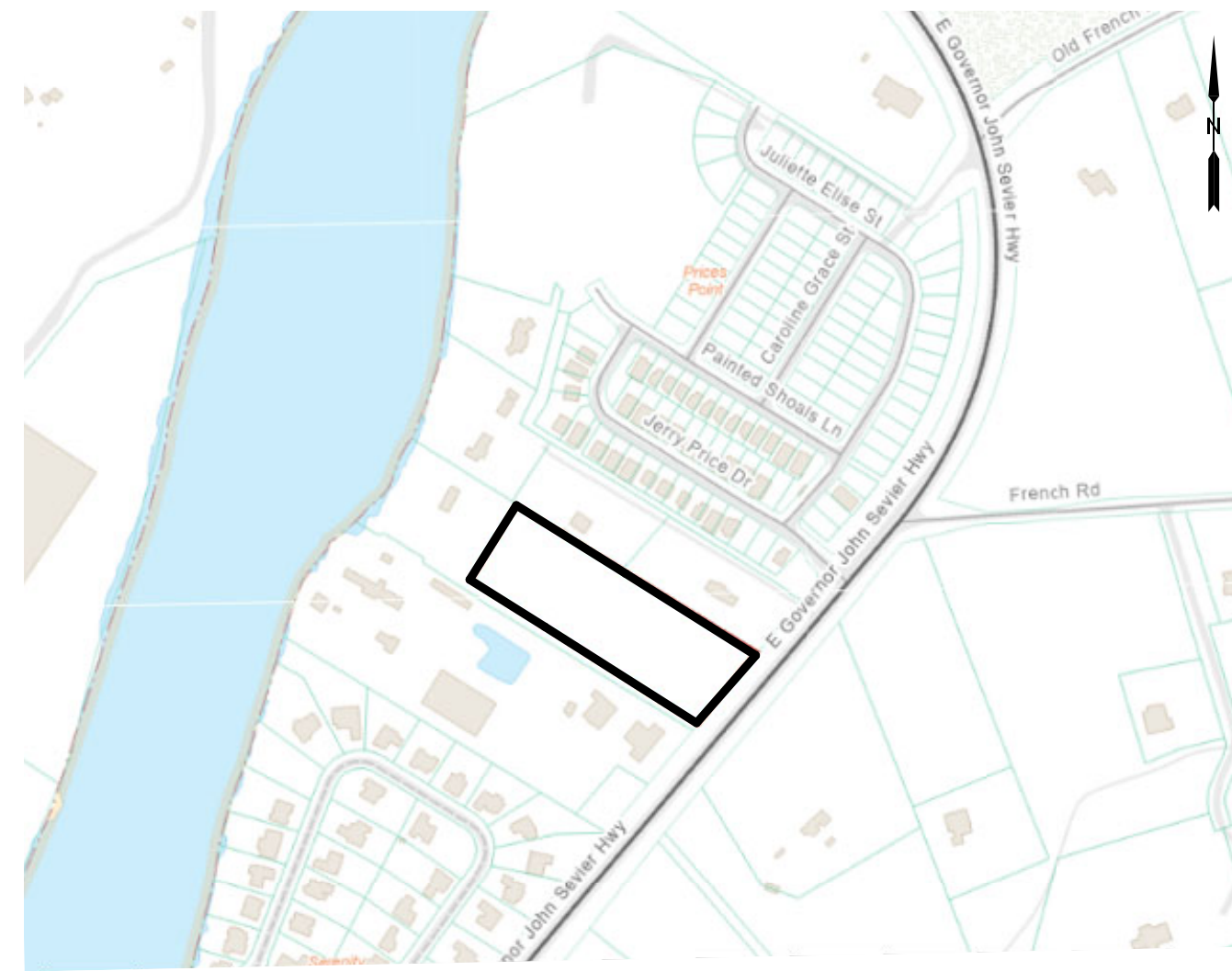


CORNERSTONE STORAGE SOLUTIONS

0 E. GOVERNOR JOHNS SEVIER HWY
KNOXVILLE, TN 37920

CONCEPT PLAN FOR M & J LAND PARTNERS, LLC

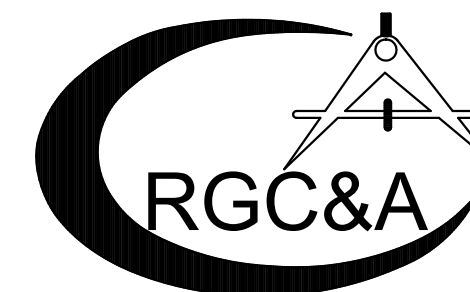


LOCATION MAP
SCALE: 1" = 500'

PREPARED BY

ROBERT G. CAMPBELL & ASSOCIATES, L.P.

an Infrastructure Consulting and Engineering company, LLC



7523 TAGGART LN.
KNOXVILLE, TN 37938

PLANNING FILE
NO. 10-A-26-UR



Robert G. Campbell & Associates

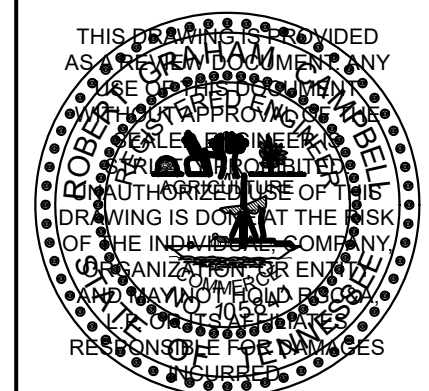
Engineering Better Communities, Together.

7523 TAGGART LN., KNOXVILLE, TN 37938
PHONE: (865) 947-5996
WEB: <https://www.rgc-a.com>
an ICE USA Company

COVER SHEET

CORNERSTONE STORAGE SOLUTIONS, LLC
E. JOHN SEVIER HIGHWAY
KNOXVILLE, TN

PREPARED FOR
M & J LAND PARTNERS, LLC
KNOXVILLE/KNOX CO./TN



SCALE : AS SHOWN	
DESIGNED BY : MJ	
DRAWN BY : MJ	
CHECKED BY : MJ	

RGC&A JOB # :
25195

ISSUED DATE :
09/08/2026

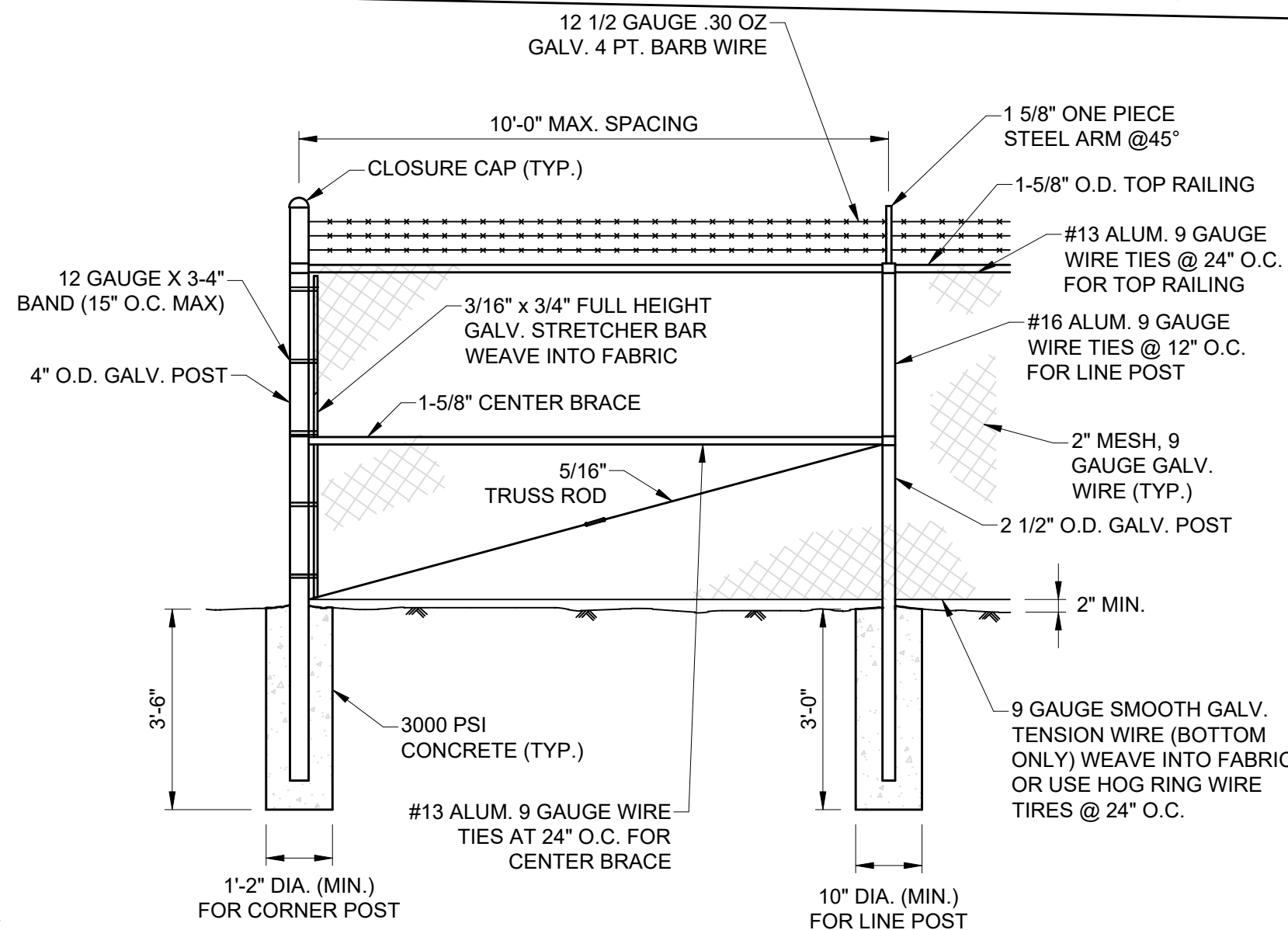
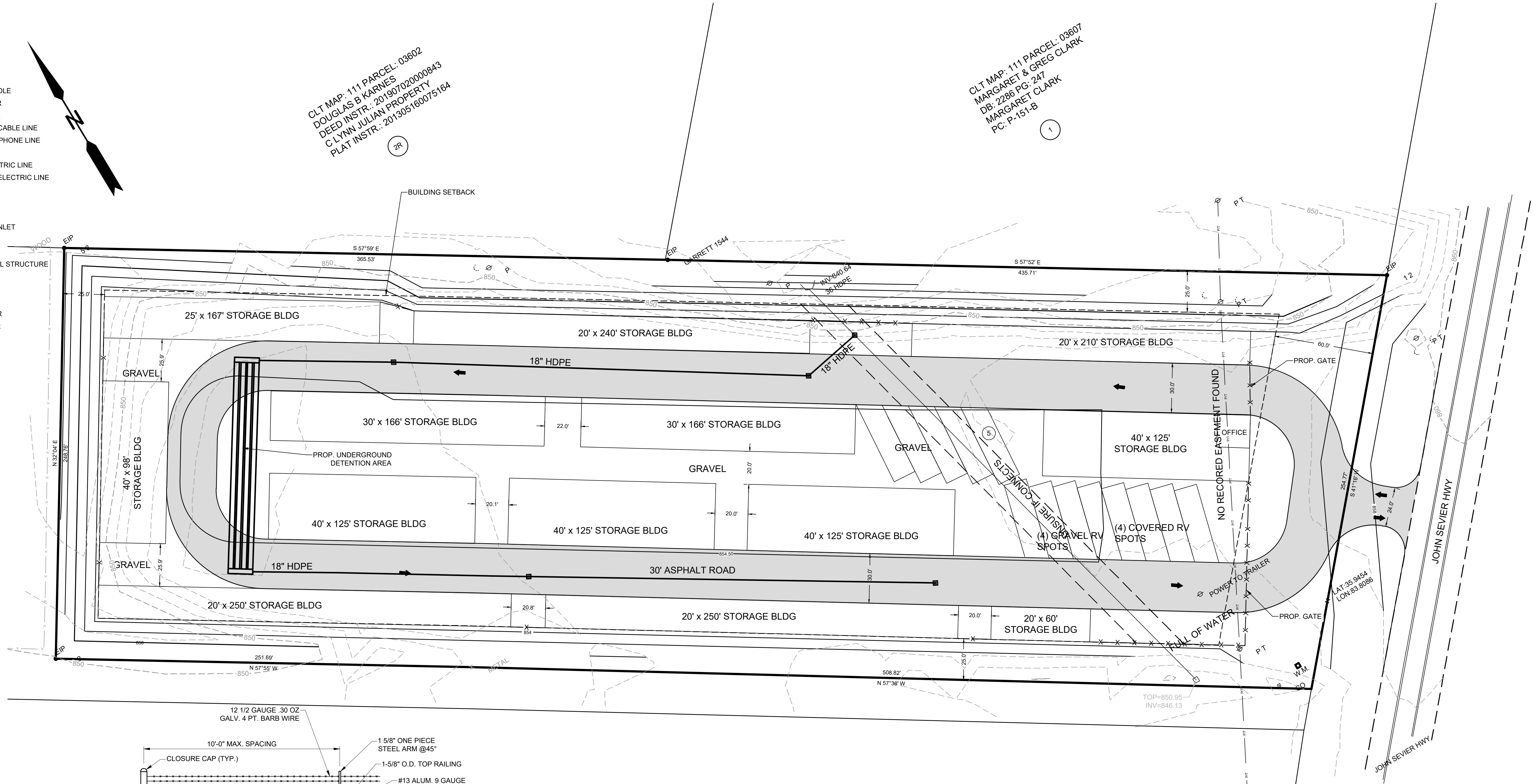
OF 5 SHEETS

1

LEGEND

- LP EX. LIGHT POLE
EU EX. UTILITY POLE
EB EX. ELECTRIC BOX
ET EX. TRANSFORMER
TV EX. CABLE BOX
WV EX. WATER VALVE
CB EX. CATCH BASIN
SM EX. SANITARY MANHOLE
1000 EX. MAJOR CONTOUR
999 EX. MINOR CONTOUR
--- EX. UNDERGROUND CABLE LINE
--- EX. OVERHEAD TELEPHONE LINE
--- EX. GAS LINE
--- EX. OVERHEAD ELECTRIC LINE
--- EX. UNDERGROUND ELECTRIC LINE
--- EX. STORM DRAIN
--- EX. WATERLINE
--- EX. SAN. SEWER
PR PR. COMBO STORM INLET
PR PR. STORM INLET
PR PR. JUNCTION BOX
PR PR. OUTLET CONTROL STRUCTURE
PR PR. HEADWALL
PR PR. STORM DRAIN
RIP RAP RIP RAP
1000 PR. MAJOR CONTOUR
999 PR. MINOR CONTOUR
--- PR. FENCE

TOTAL AREA: 4.48 +/- ACRES
ZONING: CN



CHAIN LINK FENCE DETAIL
N.T.S.



PLANNING FILE
No. 10-A-26-UR



NOTE:
THREE DAYS PRIOR TO ANY EARTHWORK
DEMOLITION OR CONSTRUCTION, THE
CONTRACTOR MUST CONTACT TENNESSEE
ONE-CALL AT 1-800-351-1111
CONTRACTOR IS RESPONSIBLE TO RECORD
AND SAVE CONFIRMATION NUMBER.

NO.	DATE	DESCRIPTION	BY	CKD.
REVISIONS				



ROBERT G. CAMPBELL & ASSOC., L.P.
CONSULTING ENGINEERS
KNOXVILLE · SEVIERVILLE

CORNERSTONE STORAGE
SOLUTIONS

SITE LAYOUT

DESIGNED BY ZW	CHECKED BY MCJ	SCALE 1"=30'	SHEET NO. 2
DRAWN BY SW	DATE 9/8/2026	FILE NO. 25195	2 OF 5 SHEETS

NOT FOR CONSTRUCTION

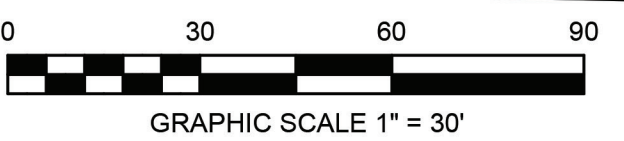
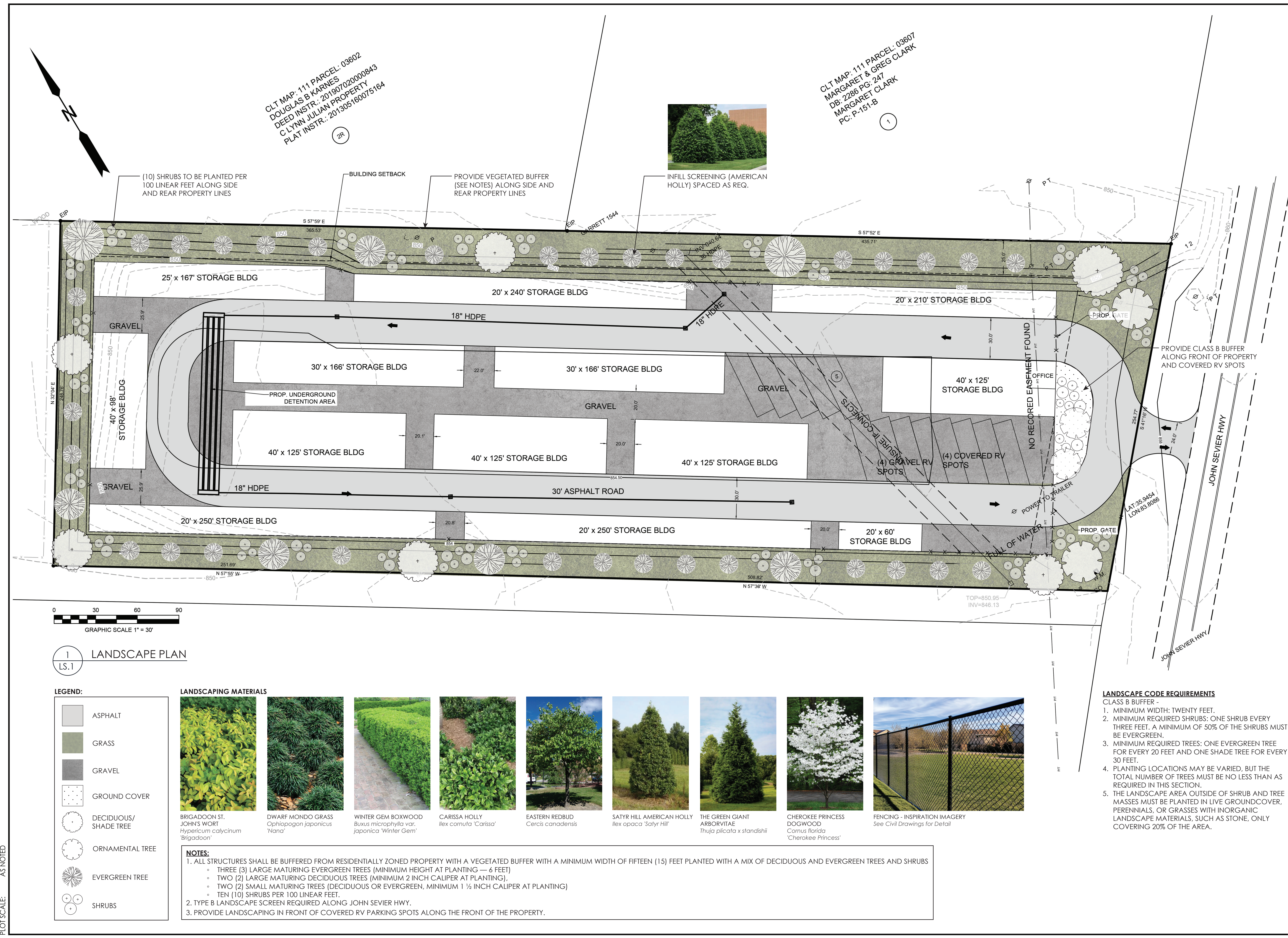
A New Storage Facility for:
CORNERSTONE STORAGE SOLUTIONS
E Governor John Sevier Hwy
Knoxville, Tennessee

LANDSCAPE PLAN

REVISIONS:

DATE: SEPTEMBER 6, 2026
FILE NAME:
PROJECT NO:

LS.1



1 LANDSCAPE PLAN
LS.1

LEGEND:

- ASPHALT
- GRASS
- GRAVEL
- GROUND COVER
- DECIDUOUS/ SHADE TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- SHRUBS

LANDSCAPING MATERIALS

BRIGADOON ST. JOHN'S WORT <i>Hypericum calycinum</i> 'Brigadoon'	DWARF MONDO GRASS <i>Ophiopogon japonicus</i> 'Nana'	WINTER GEM BOXWOOD <i>Buxus microphylla</i> var. <i>japonica</i> 'Winter Gem'	CARISSA HOLLY <i>Ilex cornuta</i> 'Carissa'	EASTERN REDBUD <i>Cercis canadensis</i>	SATYR HILL AMERICAN HOLLY <i>Ilex opaca</i> 'Satyr Hill'	THE GREEN GIANT ARBORVITAE <i>Thuja plicata</i> x <i>standishii</i>	CHEROKEE PRINCESS DOGWOOD <i>Cornus florida</i> 'Cherokee Princess'	FENCING - INSPIRATION IMAGERY See Civil Drawings for Detail

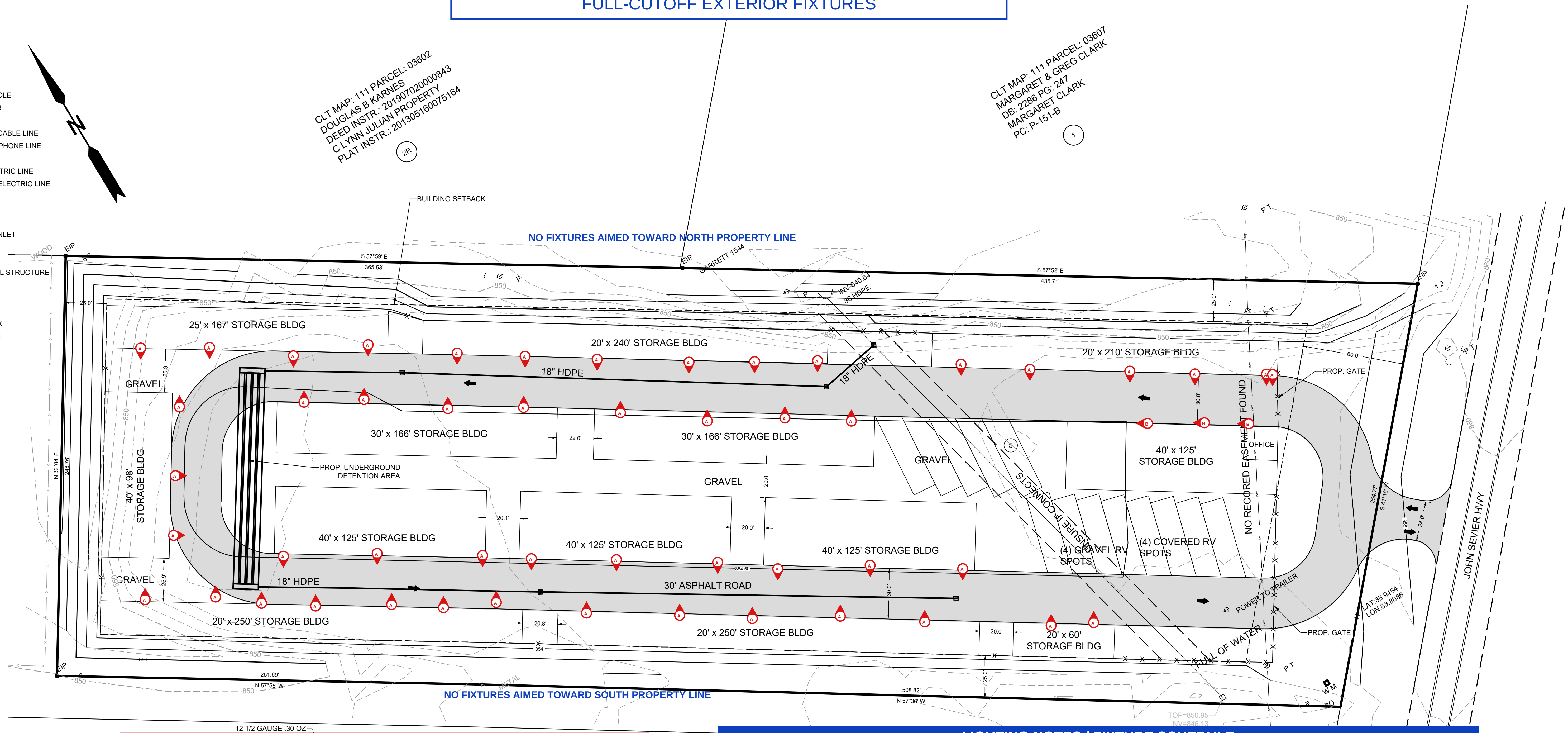
NOTES:
1. ALL STRUCTURES SHALL BE BUFFERED FROM RESIDENTIALLY ZONED PROPERTY WITH A VEGETATED BUFFER WITH A MINIMUM WIDTH OF FIFTEEN (15) FEET PLANTED WITH A MIX OF DECIDUOUS AND EVERGREEN TREES AND SHRUBS
o THREE (3) LARGE MATURING EVERGREEN TREES (MINIMUM HEIGHT AT PLANTING — 6 FEET)
o TWO (2) LARGE MATURING DECIDUOUS TREES (MINIMUM 2 INCH CALIPER AT PLANTING),
o TWO (2) SMALL MATURING TREES (DECIDUOUS OR EVERGREEN, MINIMUM 1 1/2 INCH CALIPER AT PLANTING)
o TEN (10) SHRUBS PER 100 LINEAR FEET.
2. TYPE B LANDSCAPE SCREEN REQUIRED ALONG JOHN SEVIER HWY.
3. PROVIDE LANDSCAPING IN FRONT OF COVERED RV PARKING SPOTS ALONG THE FRONT OF THE PROPERTY.

LANDSCAPE CODE REQUIREMENTS
CLASS B BUFFER -
1. MINIMUM WIDTH: TWENTY FEET.
2. MINIMUM REQUIRED SHRUBS: ONE SHRUB EVERY THREE FEET, A MINIMUM OF 50% OF THE SHRUBS MUST BE EVERGREEN.
3. MINIMUM REQUIRED TREES: ONE EVERGREEN TREE FOR EVERY 20 FEET AND ONE SHADE TREE FOR EVERY 30 FEET.
4. PLANTING LOCATIONS MAY BE VARIED, BUT THE TOTAL NUMBER OF TREES MUST BE NO LESS THAN AS REQUIRED IN THIS SECTION.
5. THE LANDSCAPE AREA OUTSIDE OF SHRUB AND TREE MASSES MUST BE PLANTED IN LIVE GROUND COVER, PERENNIALS, OR GRASSES WITH INORGANIC LANDSCAPE MATERIALS, SUCH AS STONE, ONLY COVERING 20% OF THE AREA.

LEGEND

- LP EX. LIGHT POLE
EX. UTILITY POLE
EB EX. ELECTRIC BOX
ET EX. TRANSFORMER
TV EX. CABLE BOX
 EX. WATER VALVE
 EX. CATCH BASIN
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 PR. HEADWALL
 PR. STORM DRAIN
 RIP RAP
1000 PR. MAJOR CONTOUR
999 PR. MINOR CONTOUR
-x-x-x- PR. FENCE

PRELIMINARY LIGHTING PLAN
FULL-CUTOFF EXTERIOR FIXTURES



LIGHTING SYMBOLS

- Type A - full-cutoff aisle wall pack
 Type B - full-cutoff gate / office security wall pack
 Red arrow indicates direction of light throw toward roadway/site

FIXTURE LOCATIONS APPROX. 15 FT O.C. PER BEELER MARKUP

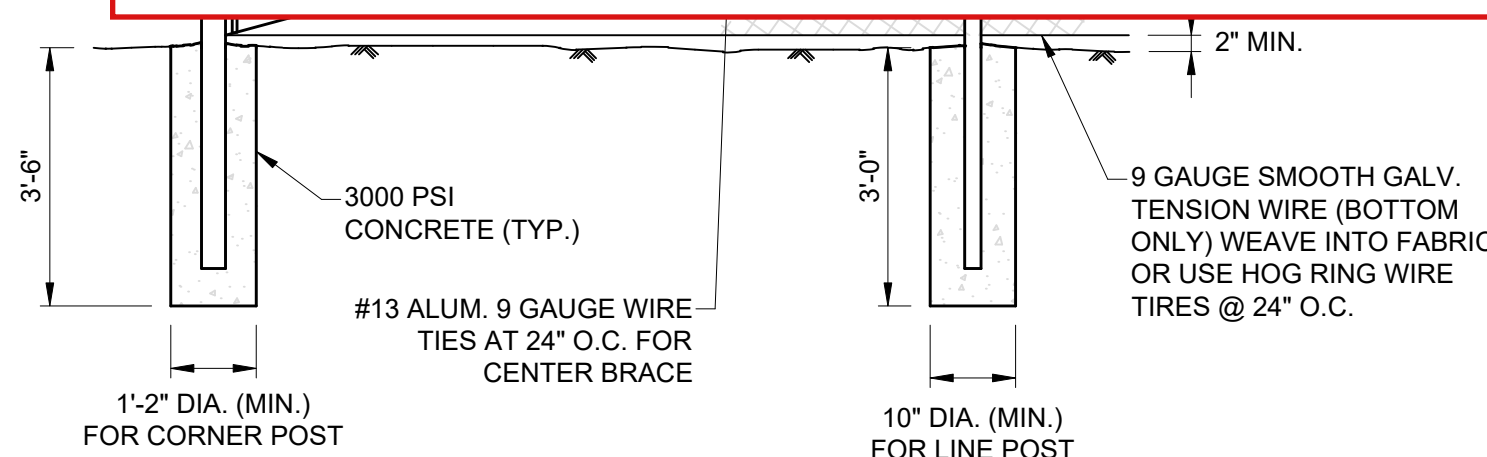
LIGHTING NOTES / FIXTURE SCHEDULE

- All exterior lighting shall be FULL CUTOFF and fully shielded. Fixtures shall direct light and glare only onto the self-service storage premises.
- Fixture locations are based on the Beeler lighting markup and are shown at approximately 15 ft on-center along the indicated building faces.
- Fixtures on interior buildings shall be mounted on roadway-facing walls and directed outward from each building toward the adjacent drive aisle/roadway. Perimeter-building fixtures shall be directed inward onto the premises. No fixture shall be aimed toward adjoining property or John Sevier Highway.
- Type A: LED full-cutoff aisle wall pack, nominal 30-40 W, approx. 3,500-5,000 lumens, 3000K-4000K, mounted 12-14 ft A.F.F. Use house-side shield where needed.
- Type B: LED full-cutoff security wall pack, nominal 45-60 W, approx. 5,500-8,000 lumens, 3000K-4000K, mounted 12-14 ft A.F.F.; use at office/gate areas.
- Lighting shall be sufficient to discourage vandalism and theft while minimizing spill light. Target drive aisles: approx. 0.5-1.0 fc minimum; gate/office: approx. 1.0-2.0 fc minimum.
- Provide photocell/time-clock control. Final wattage, optics and shielding shall be verified by manufacturer photometric calculation before installation. Adjust as needed to achieve approximately 0.0 fc at adjoining property lines where required.
- Locations are conceptual and may be shifted slightly to coordinate with doors, gutters, utilities and structural framing while maintaining the intended spacing and roadway-facing direction.

12 GAUGE X 3-4
BAND (15" O.C. MAX)
4" O.D. GALV. POST



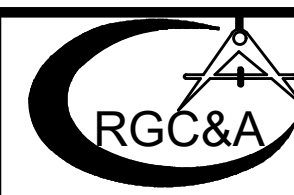
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ONE-CALL AT 1-800-351-1111
CONTRACTOR IS RESPONSIBLE TO RECORD
AND SAVE CONFIRMATION NUMBER.



CHAIN LINK FENCE DETAIL
N.T.S.



NO.	DATE	DESCRIPTION	BY	CKD.
REVISIONS				



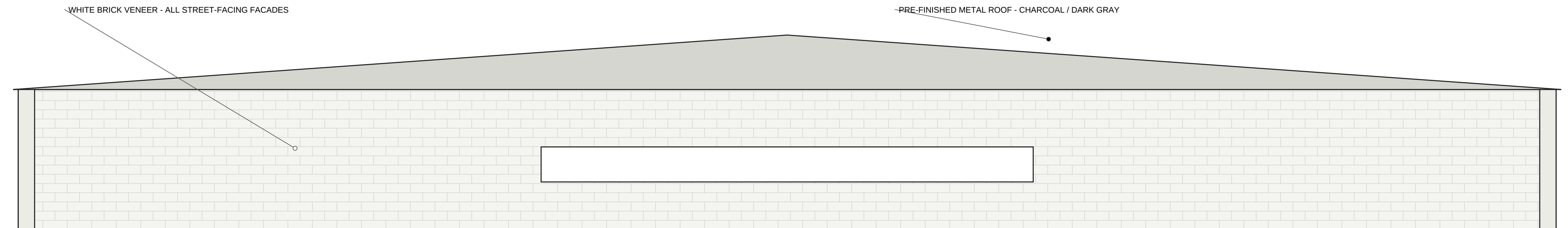
ROBERT G. CAMPBELL & ASSOC., L.P.
CONSULTING ENGINEERS
KNOXVILLE · SEVIERVILLE

CORNERSTONE STORAGE
SOLUTIONS

SITE LAYOUT

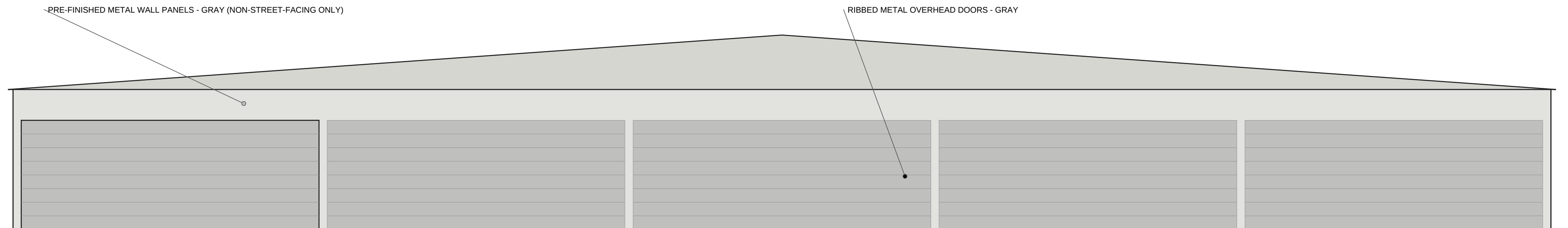
DESIGNED BY ZW	CHECKED BY MCJ	SCALE 1"=30'	SHEET NO. 1
DRAWN BY SW	DATE 9/2/2026	FILE NO. 25195	OF 1 SHEETS

NOT FOR CONSTRUCTION



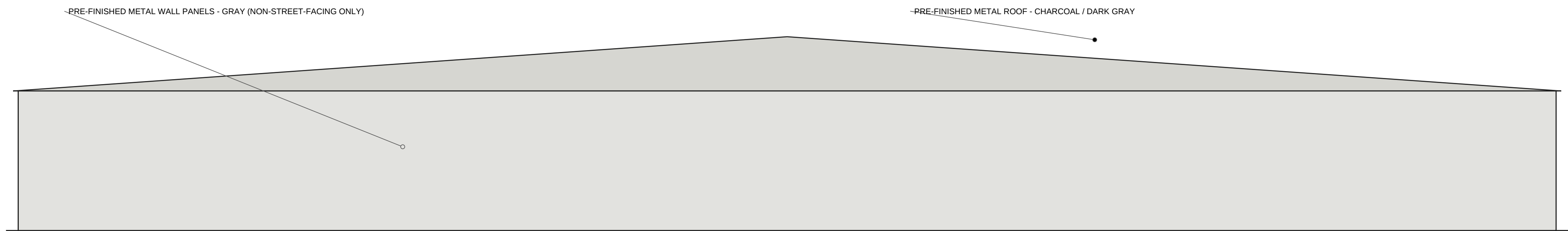
STREET-FACING ELEVATION - JOHN SEVIER HIGHWAY

Conceptual elevation - final dimensions and openings per construction drawings



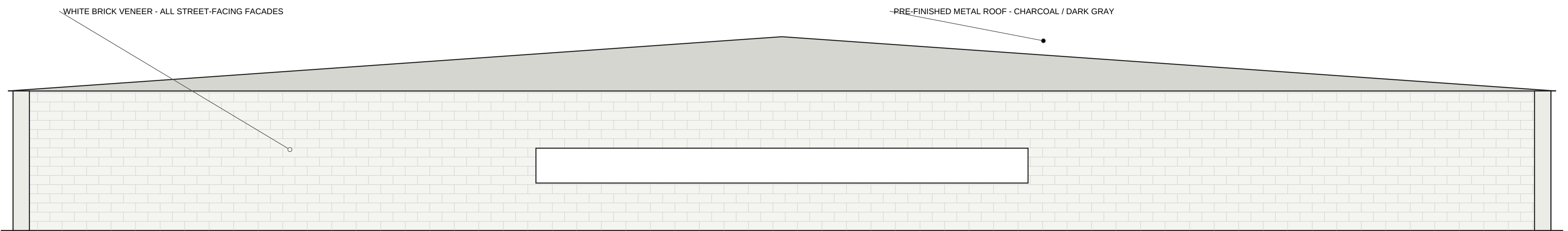
INTERIOR / DRIVE-AISLE ELEVATION

Conceptual elevation - final dimensions and openings per construction drawings



NON-STREET-FACING END ELEVATION

Conceptual elevation - final dimensions and openings per construction drawings



REPRESENTATIVE STREET-FACING BUILDING END

Conceptual elevation - final dimensions and openings per construction drawings