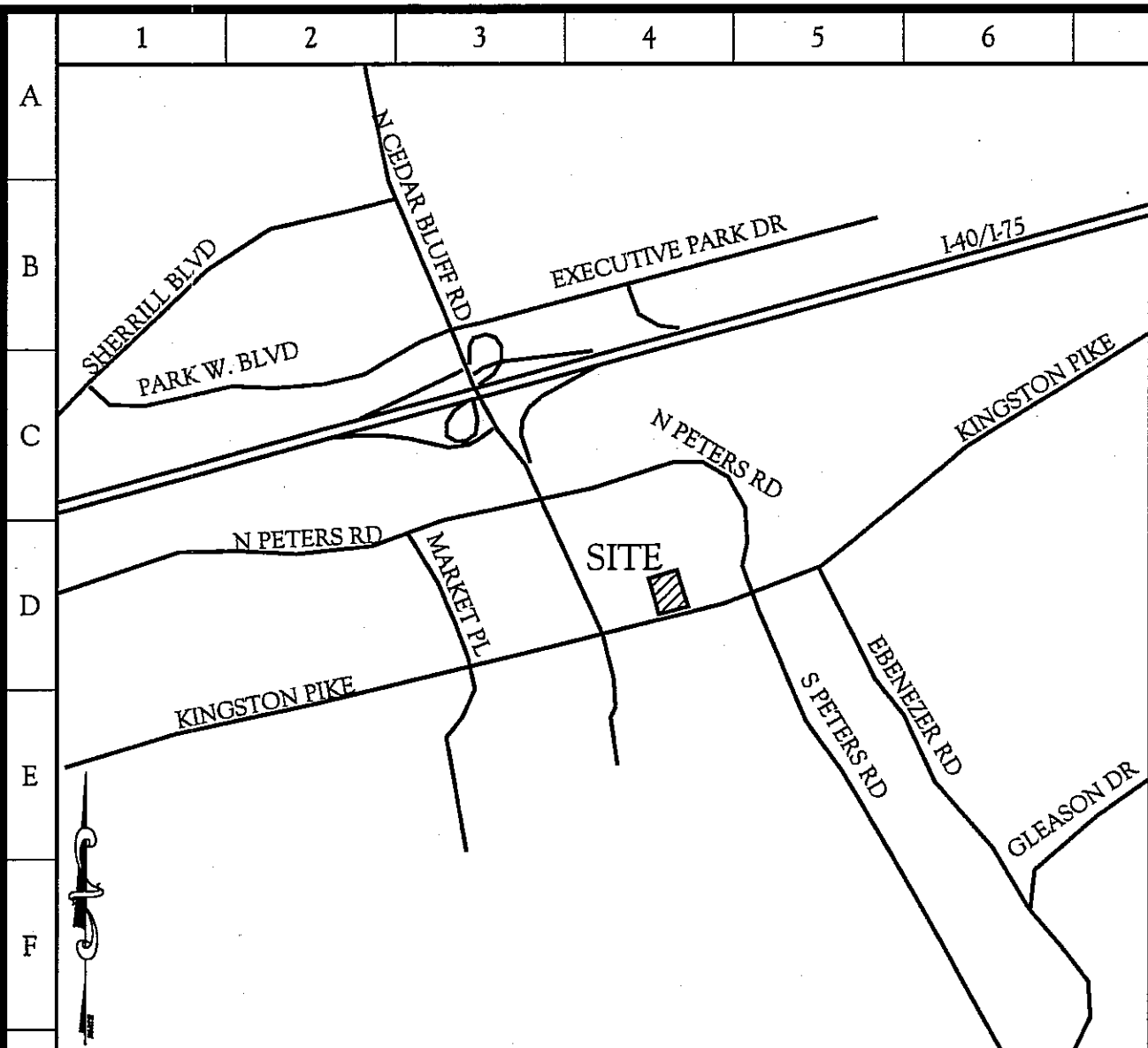


	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31																		
A	 Vicinity Map N.T.S.																								INDEX TO DRAWINGS <table><tr><td>C0.0</td><td>Cover Sheet</td><td>09/24/13</td></tr><tr><td>C3.0</td><td>Site Grading Plan</td><td>09/24/13</td></tr><tr><td>C4.0</td><td>Site Layout Plan</td><td>09/24/13</td></tr><tr><td>C6.0</td><td>Landscape Plan</td><td>09/24/13</td></tr><tr><td>A2.1</td><td>Exterior Elevations</td><td>08/26/13</td></tr><tr><td>A2.2</td><td>Exterior Elevations</td><td>08/26/13</td></tr></table>							C0.0	Cover Sheet	09/24/13	C3.0	Site Grading Plan	09/24/13	C4.0	Site Layout Plan	09/24/13	C6.0	Landscape Plan	09/24/13	A2.1	Exterior Elevations	08/26/13	A2.2	Exterior Elevations	08/26/13
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Use on Review
for

Carolina Ale House

Kingston Pike & N Cedar Bluff Road
Knoxville, Tennessee

Developed By:
LM Restaurants, Inc.
6510 Chapel Hill Road Suite #200
Raleigh, NC 27607
(919) 551-0858

All necessary inspections and/or certifications required by codes
and/or utility service companies shall be performed prior to
the final connection of services.

CONTACTS					
Water & Sewer	Gas	Electric	Department of Transportation	Telephone	City
First Utility District of Knox County 122 Durwood Knoxville, Tennessee 37922 Contact: Troy Wedekind Phone: (865) 966-9741 Fax: (865) 675-4955	Knoxville Utilities Board 4505 Middlebrook Pike Knoxville, TN 37919 Contact: New Service Department (865) 558-2555	Knoxville Utilities Board 4505 Middlebrook Pike Knoxville, TN 37919 Contact: New Service Department (865) 558-2555	T.D.O.T. 7345 Regions Lane Knoxville, TN 37914 Phone: (865) 594-2400	AT&T 9733 Parkside Drive Knoxville, TN 37922 Contact: Shannon Simms Phone: (865) 539-8596	City of Knoxville 400 Main St., Room 480 Knoxville, TN 37902 Phone: (865) 215-2148 Fax: (865) 215-2631

REVISIONS

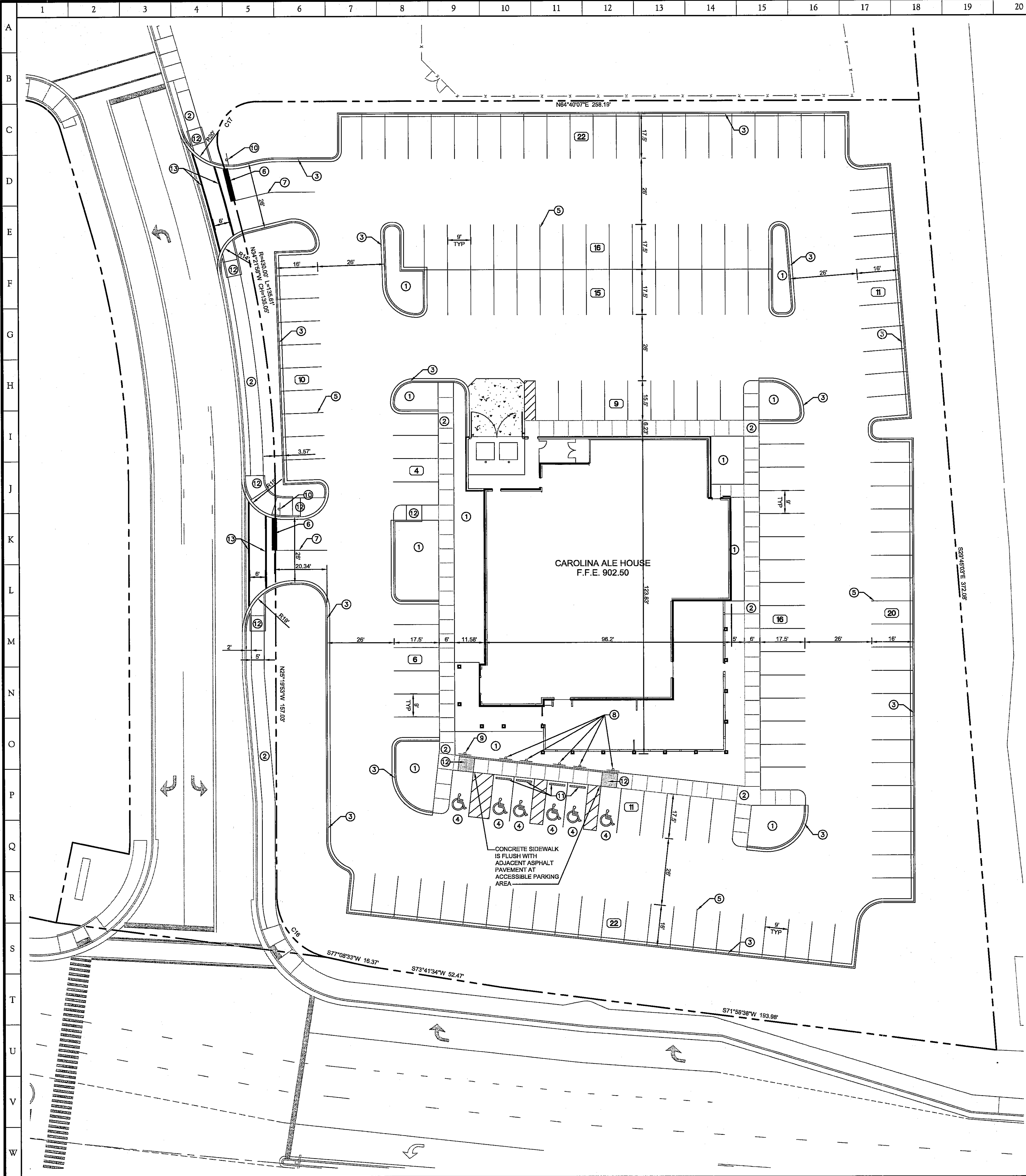
NO.	DATE	COMMENTS
1	09/24/13	Revised per MPC comments

Parcel ID: 132 028
Block Number: 46104

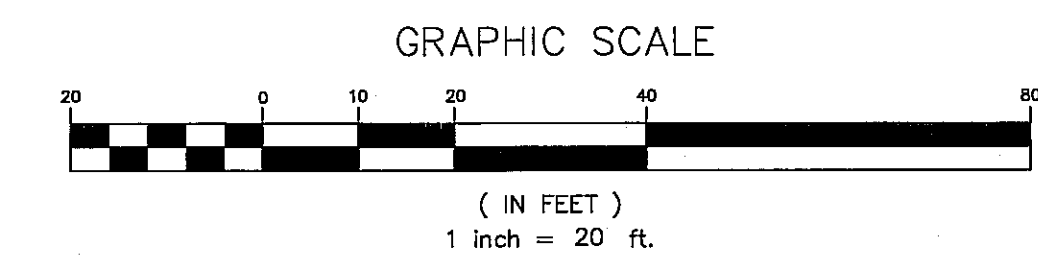
Use on Review - Cover Sheet

Carolina Ale House
Kingston Pike & N Cedar Bluff Road
Knoxville, Tennessee

DRAWN BY: acb DATE: 08/26/13
CHECKED BY: FILE: 1810 CAH Cover



CURVE TABLE				
CURVE	LENGTH	RADIUS	BEARING	CHORD
C16	33.83'	25.00'	S84°00'40\"E	31.31'
C17	28.29'	15.00'	S10°38'02\"W	24.28'



PARKING DATA:	
GROSS BUILDING AREA:	7192 SF
PATIO AREA:	2469 SF
TOTAL AREA:	9661 SF
PARKING SPACES PROVIDED:	156 SPACES
STANDARD SPACES:	156 SPACES
HANDICAP ACCESSIBLE:	6 SPACES
TOTAL SPACES PROVIDED:	162 SPACES
PARKING RATIO:	SPACES/1000 SF GROSS BUILDING AREA = 16.77
PARKING REQUIRED BY LOCAL CODE:	10 SPACES/1000 SF GROSS FLOOR AREA = 97 SPACES
PROPERTY DATA:	
LOT AREA:	2.19 ACRES
ZONING:	PC-1
BUILDING SETBACKS:	50'
PERIPHERAL BOUNDARY:	25'
FRONT:	0'
SIDE:	0'
REAR:	0'
LEGEND:	
①	LANDSCAPE AREA/ISLAND
②	CONCRETE SIDEWALK (SEE DETAIL SHEET)
③	18\" CONCRETE CURB & GUTTER (SEE DETAIL SHEET)
④	HANDICAP SPACE WITH PAINTED ACCESSIBLE SYMBOL (SEE DETAIL SHEET)
⑤	4\" WIDE PAINTED WHITE PARKING STRIPES (TYP)
⑥	2\" WIDE WHITE PAINTED STOP BAR (SEE DETAIL SHEET)
⑦	4\" WIDE PAINTED SOLID YELLOW LINE
⑧	*RESERVED PARKING* SIGN (R7-8) (SEE DETAIL SHEET)
⑨	*RESERVED PARKING* SIGN (R7-8) WITH *VAN ACCESSIBLE* SIGN (SEE DETAIL SHEET)
⑩	R 1-1 *STOP* SIGN (24\"x24\") (SEE DETAIL SHEET)
⑪	CONCRETE WHEEL STOPS (SEE DETAIL SHEET)
⑫	ACCESSIBLE RAMP (SEE DETAIL SHEET)
⑬	6\" WIDE CROSSWALK WITH 8\" WIDE WHITE STRIPES

SITE PLAN NOTES:

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- ALL DISTURBED AREAS NOT BUILT NOR PAVED UPON ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- ALL ISLANDS WITH CURB AND GUTTER SHALL BE LANDSCAPED. THOSE ISLANDS ARE TO HAVE 18\" CURB AND GUTTER.
- ALL CURBED AND STRIPED RADII ARE TO BE 3' UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS AND RADII ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- BUILDING DIMENSIONS SHOWN ON SITE LAYOUT PLAN ARE NOMINAL. DIMENSION ONLY INTENDED FOR USE IN DETERMINING APPROXIMATE SQUARE FOOTAGES. SEE ARCHITECTURAL PLANS FOR ACTUAL DIMENSIONS OF BUILDING CONSTRUCTION.
- EXISTING STRUCTURES WITHIN THE CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED, OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNS, FENCING, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION WAS TAKEN FROM DESIGN PLANS FOR KINGSTON CORNER BY SITE, INC. DATED 08/15/13.
- THE SITEWORK FOR THIS PROJECT SHALL MEET OR EXCEED *THE PROJECT SITE WORK SPECIFICATIONS*. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
- IN ORDER TO PREVENT PONDING THE CONTRACTOR SHALL INSTALL REVERSE-PITCH GUTTER AT ALL LOCATIONS WHERE ASPHALT SLOPES AWAY FROM GUTTER.
- ELECTRONIC FILE WILL BE PROVIDED TO THE GENERAL CONTRACTOR AT HIS REQUEST FOR LAYOUT PURPOSES AFTER THE BID IS AWARDED.

SITE PAVING NOTES:

PAVING ELEVATION TOLERANCE
FINAL SUBGRADE SHALL BE INSPECTED BY PAVING CONTRACTOR FOR REQUIRED ELEVATION AND ADEQUATE COMPACTION BEFORE COMMENCING ANY PAVING ACTIVITY. PAVING ELEVATION SHALL NOT HAVE MORE THAN 1/4\" DEVIATION IN ANY 10' INCREMENT.

PAVING THICKNESS TOLERANCE
PAVING THICKNESS AT ANY ONE CORE SHALL NOT BE LESS THAN 90% OF SPECIFIED THICKNESS. THE AVERAGE OF ALL APPROVED TESTS MUST BE AT LEAST EQUAL TO THE SPECIFIED THICKNESS FOR EACH MATERIAL. NOT MORE THAN 20% OF ALL APPROVED TEST MAY FALL BELOW SPECIFIED MINIMUMS. ANY AREA FOUND TO BE LESS THAN 90% SPECIFIED THICKNESS SHALL BE OVERLAIN WITH ASPHALT AS DIRECTED BY SITE, INC.

TESTING DURING PLACEMENT
GENERAL CONTRACTOR SHALL PERFORM SEVERAL SPOT CHECKS OF PAVING BASE THICKNESS PRIOR TO INSTALLATION OF ANY ASPHALTIC OR CONCRETE PAVING. DENSITY TESTS SHALL BE PERFORMED ON EACH LIFT AT THE RATE OF ONE TEST PER 10,000 SQUARE FEET.

CONTRACTOR SHALL PROVIDE FOR TESTING OF COMPLETED PAVING INSTALLATION FOR COMPLIANCE WITH DESIGN CRITERIA AND REQUIRED THICKNESS. CONTRACTOR SHALL REPLACE ALL NON-CONFORMING MATERIAL AT HIS OWN EXPENSE.

TESTING SHALL BE PERFORMED ONLY BY AN INDEPENDENT TESTING AGENT APPROVED BY SITE, INC. TEST HOLES NOT SPOTTED BY SITE, INC. MAY NOT BE CONSIDERED ACCEPTABLE.

ALLOW A MINIMUM OF SIXTEEN CORE TESTS TO BE LOCATED ONLY BY WRITTEN INSTRUCTION BY SITE, INC.

THE PAVING CONTRACTOR SHALL REPAIR ALL CORING HOLES BY FILLING HOLES WITH CONCRETE FLUSH TO TOP OF PAVEMENT.

ASPHALTIC PAVING MATERIALS
MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SPECIFICATION OF THE HIGHWAY DEPARTMENT OF THE STATE IN WHICH THE PROJECT IS LOCATED. REFER TO PAVING MATERIALS LEGEND.

CONCRETE
CONCRETE CURBING SHALL BE 4000 PSI 28 DAY STRENGTH 2\" - 3\" SLUMP, (NO CURB DEFORMATION) 3% - 5% AIR ENTRAINED. INSTALL WITH RC-70 TACK COAT EMULSION OVER ASPHALT.

PROVIDE CYLINDER BREAK TEST - 3/500 L.F. OF CURBING OR 1-DAY POUR WITH BREAKS - 1 @ 7-DAYS, 2 @ 28-DAYS. COMPLY WITH ASTM C-31 AND ASTM C-39. ALSO PROVIDE ONE SLUMP TEST PER 500 L.F. OF CURBING OR 1-DAY POUR.

PROVIDE EXPANSION JOINT @ 50' O.C. (MAX) AND CONTROL JOINTS @ 20' O.C. (MAX) AT ALL CONCRETE PAVING AREAS. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.

PAVEMENT MARKING
PROVIDE PAVEMENT MARKING AS SHOWN ON THE DRAWINGS. STRIPING SHALL BE 4\" WIDE OR AS NOTED OTHERWISE ON THE PLANS. ALL MARKINGS SHALL BE THERMOPLASTIC AND SHALL MEET THE TENNESSEE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, MARCH 1, 2006 (SECTION 918.23).

CONTRACTOR SHALL REMOVE ALL EXISTING PAVEMENT MARKINGS THAT DO NOT CONFORM TO TDOT STANDARDS FOR MODIFIED INTERSECTION.

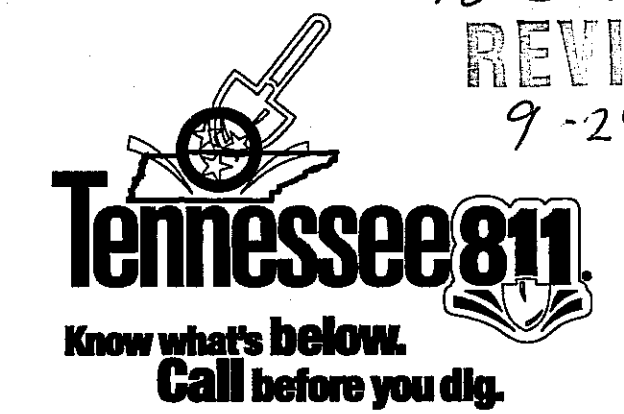
TEMPORARY PAVEMENT LINE MARKINGS ON INTERMEDIATE LAYERS OF PAVEMENT SHALL BE REFLECTIVE TAPE OR REFLECTORIZED PAINT INSTALLED TO PERMANENT STANDARDS BEFORE DARK HOURS. SHORT, UNMARKED SECTIONS SHALL NOT BE ALLOWED.

ALL MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD AND TDOT STANDARD DRAWINGS T-M-1 THROUGH T-M-4.

REFER TO SHEETS C8.2 AND C8.3 FOR SITE DETAILS.

PAVING MATERIALS SCHEDULE:			
STANDARD DUTY ASPHALT PAVING			
AGGREGATE BASE COURSE*	6"	TDOT TYPE A, CLASS A & GRADING D	
BITUMINOUS ASPHALT BASE MIX**	2"	TDOT GRADING B	
BITUMINOUS ASPHALT SURFACE MIX***	1 1/2"	TDOT GRADING E	
PRIME COAT	0.25 GAL PER SQ. YD. OVER TOP BASE LIFT		
HEAVY DUTY ASPHALT PAVING			
ALLIANCE GEOSYNTHETICS BX2020 GEOGRID	1 LAYER	PLACED ON APPROVED SUBGRADE WITH 1FT OVERLAP	
AGGREGATE BASE COURSE*	6"	TDOT TYPE A, CLASS A & GRADING D	
BITUMINOUS ASPHALT BASE MIX**	2 1/2"	TDOT GRADING BM	
BITUMINOUS ASPHALT SURFACE MIX***	1 1/2"	TDOT GRADING E	
PRIME COAT	0.25 GAL PER SQ. YD. OVER TOP BASE LIFT		
HEAVY DUTY CONCRETE PAVING			
AGGREGATE BASE COURSE	4"	TDOT TYPE A, CLASS A & GRADING D	
PORTLAND CEMENT CONCRETE	9"	PCC 4000 PSI TYPE I WITH 4x4 W4.0 x W4.0 WWF	
*REFER TO TDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTION 903.05			
**REFER TO TDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTION 307			
***REFER TO TDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTION 411			

10-B-13-UR
REVISED
9-24-13



STEEL
INCORPORATED
Site Infrastructure Transportation Engineers
10215 Technology Drive, Suite 304
Knoxville, TN 37932
Phone: (865) 777-4160
Fax: (865) 777-4189

ANNETTE C. HORN
REGISTERED ENGINEER
NO. 0010574
STATE OF TENNESSEE

Use On Review - Site Layout Plan

Carolina Ale House

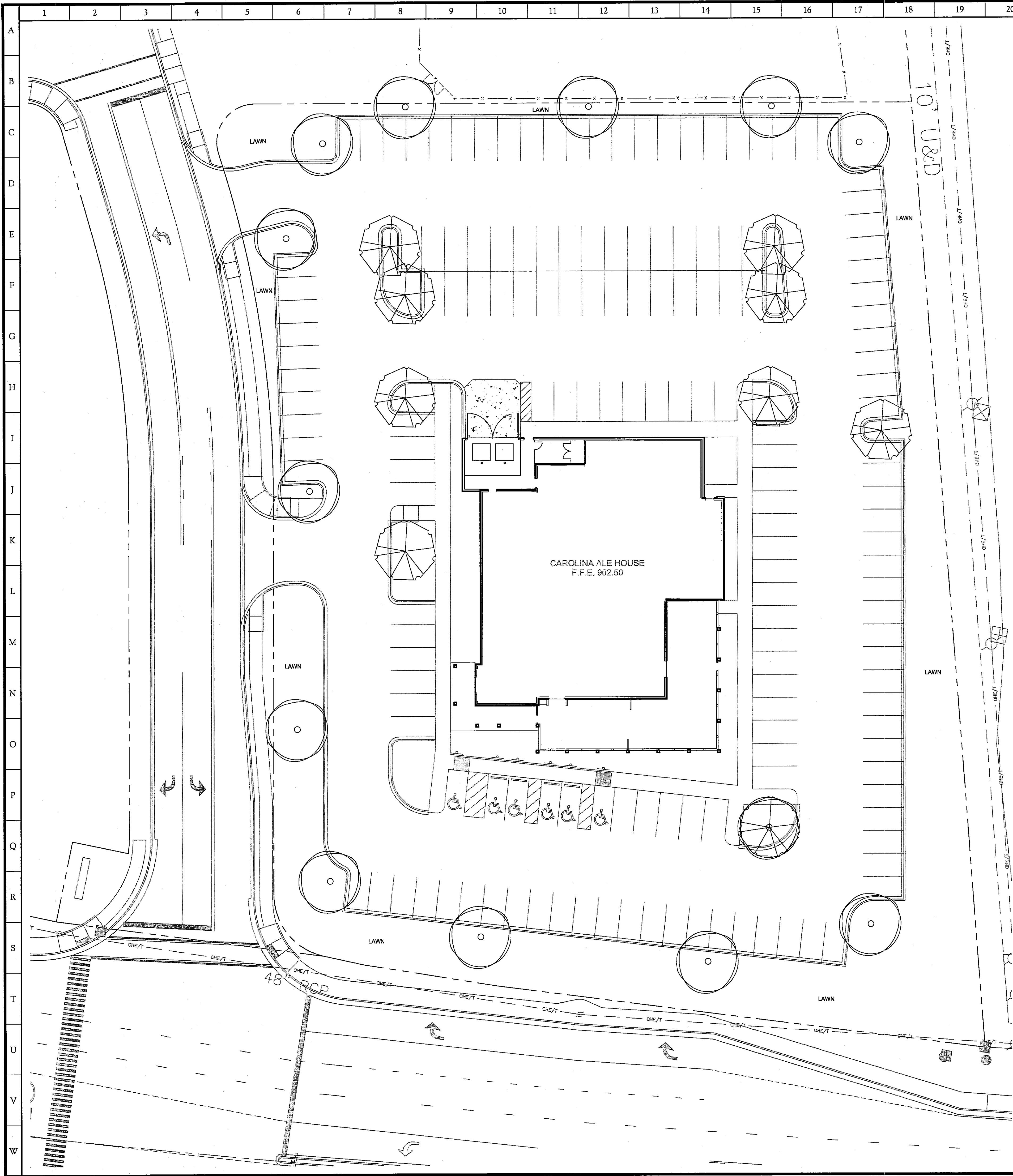
Kingston Pike
Knoxville, Tennessee
Owner

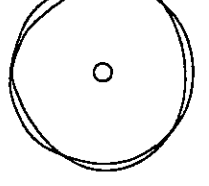
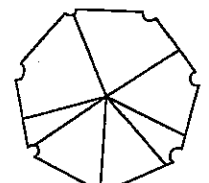
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CHECKED BY: FILE: 1810 CAH-Layout

REVISIONS	
NO.	DATE
1	09/24/13

COMMENTS
Revised per MFC comments

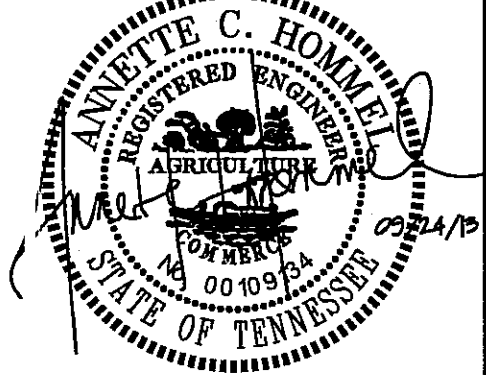
C4.0



PLANT MATERIAL SCHEDULE				
SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
	12	Acer rubrum "Red Sunset"	Red Sunset Red Maple	2" CALIPER
	9	Zelkova serrata "Village Green"	Village Green Zelkova	2" CALIPER

- LANDSCAPE REQUIREMENTS:**
- YARDS, OPEN SPACE, AND DRAINAGE AREAS: LANDSCAPED OR MAINTAINED IN PREEXISTING VEGETATION WITH (1) TREE FOR EACH 5,000 SF OF YARD OR OPEN SPACE.
 - PARKING AREAS: 500 SF OF LANDSCAPING WILL BE PROVIDED FOR EVERY 20,000 SF OR FRACTION THEREOF OF PAVED PARKING AREA. 1 TREE THAT WILL OBTAIN A MINIMUM HEIGHT OF 40 FEET AT MATURITY FOR EACH 5,000 SF OF PARKING AREA WILL BE PROVIDED.
 - LOADING AND SERVICE AREAS ADJACENT TO THE PERIPHERY BOUNDARY WILL BE SCREENED WITH EVERGREEN PLANTING THAT WILL OBTAIN A MINIMUM HEIGHT OF 8 FEET WITHIN A ONE YEAR PERIOD.

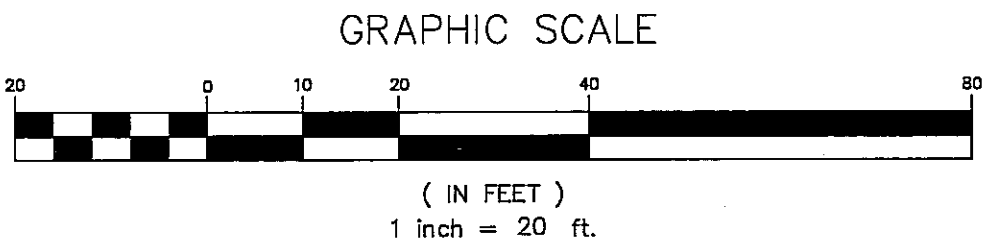
LANDSCAPE DATA:	
YARDS, OPEN SPACE, AND DRAINAGE AREAS	36,876 SF
TREES REQUIRED	8 TREES
TREES PROVIDED	8 TREES
PAVED PARKING AREA	55,421 SF
LANDSCAPE AREA REQUIRED	1,500 SF
LANDSCAPE AREA PROVIDED	3,442 SF
TREES REQUIRED	12 TREES
TREES PROVIDED	13 TREES



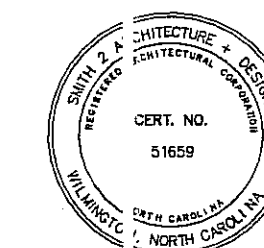
Use On Review - Landscape Plan
Carolina Ale House
Kingston Pike
Knoxville, Tennessee
Owner

DRAWN BY: ACH		DATE: 08/26/13
CHECKED BY: ---		FILE: 1810 CAH-Landsc
REVISIONS		
NO.	DATE	COMMENTS
1	09/24/13	Revised per MPC comments

10-B-13-UR
REVISED
9.24.13



C6.0



LM RESTAURANTS
HOSPITALITY MANAGEMENT
LMREST.COM

CAROLINA ALE HOUSE
KINGSTON PIKE & N. CEDAR BLUFF ROAD
KNOXVILLE, TN 37923

Smith 2
SMITH 2 ARCHITECTURE + DESIGN, LLC
1000 Cedar Bluff, Suite 204, Wilmington, NC 28403
910.266.0000

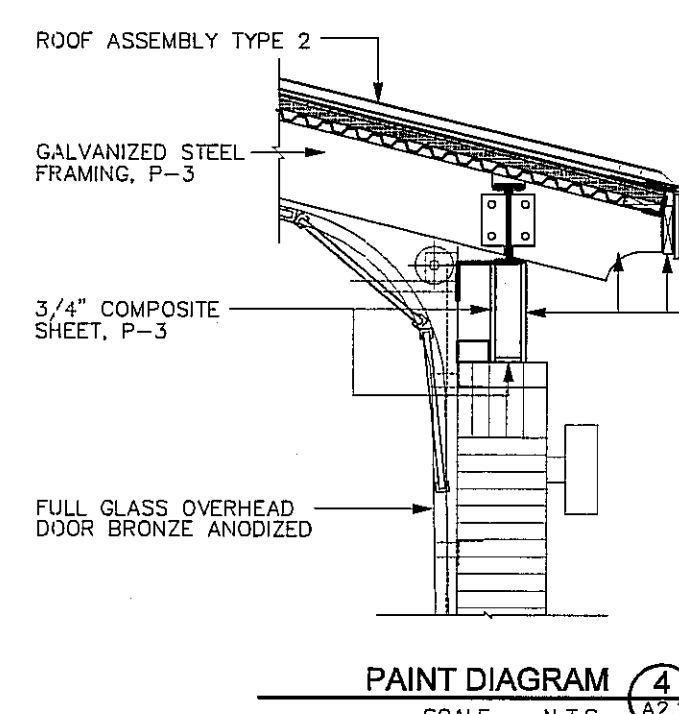
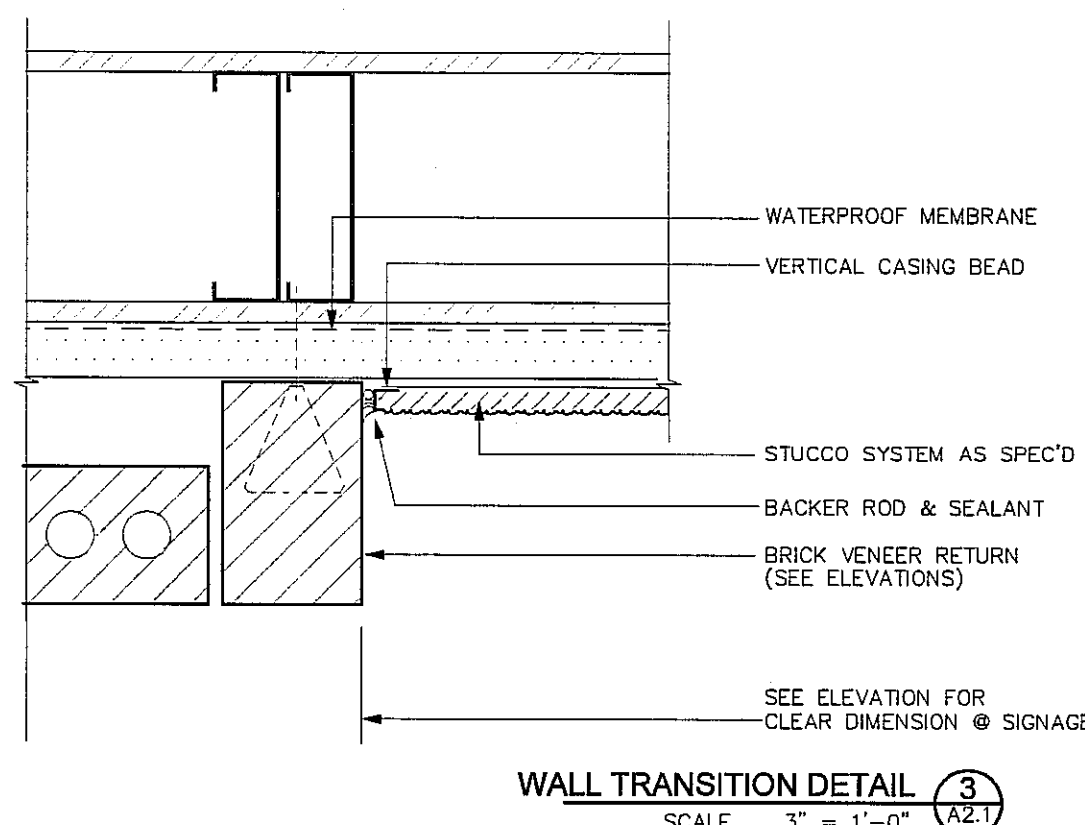
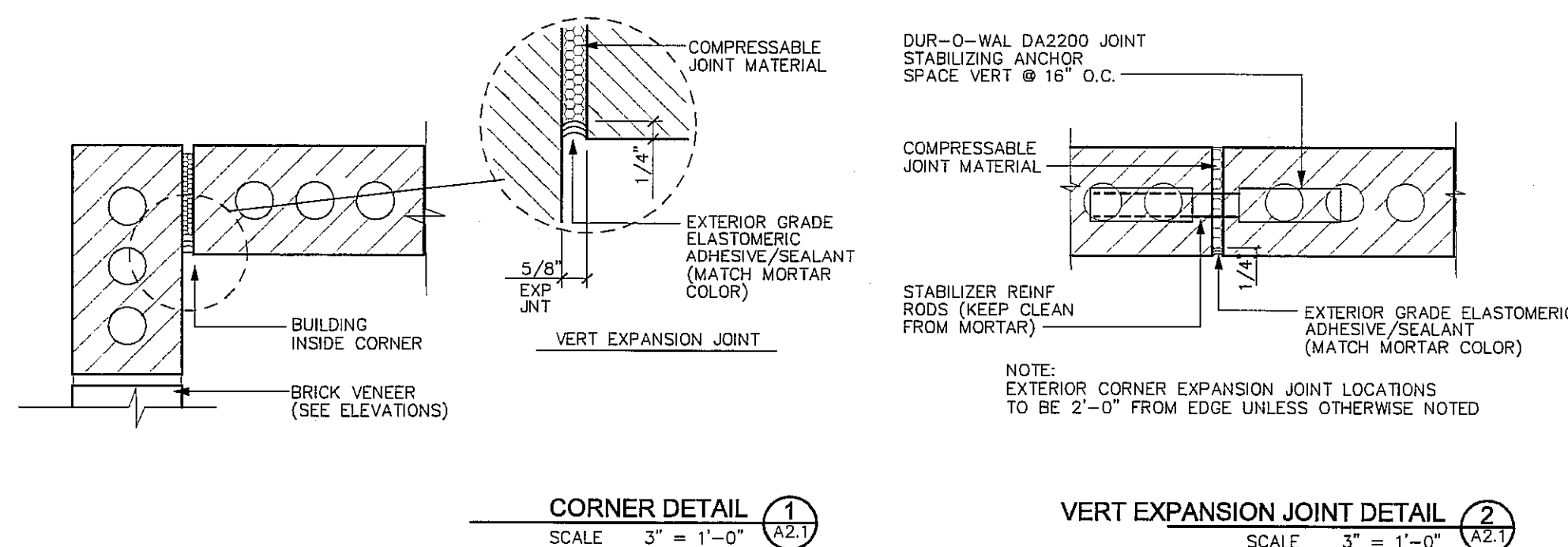
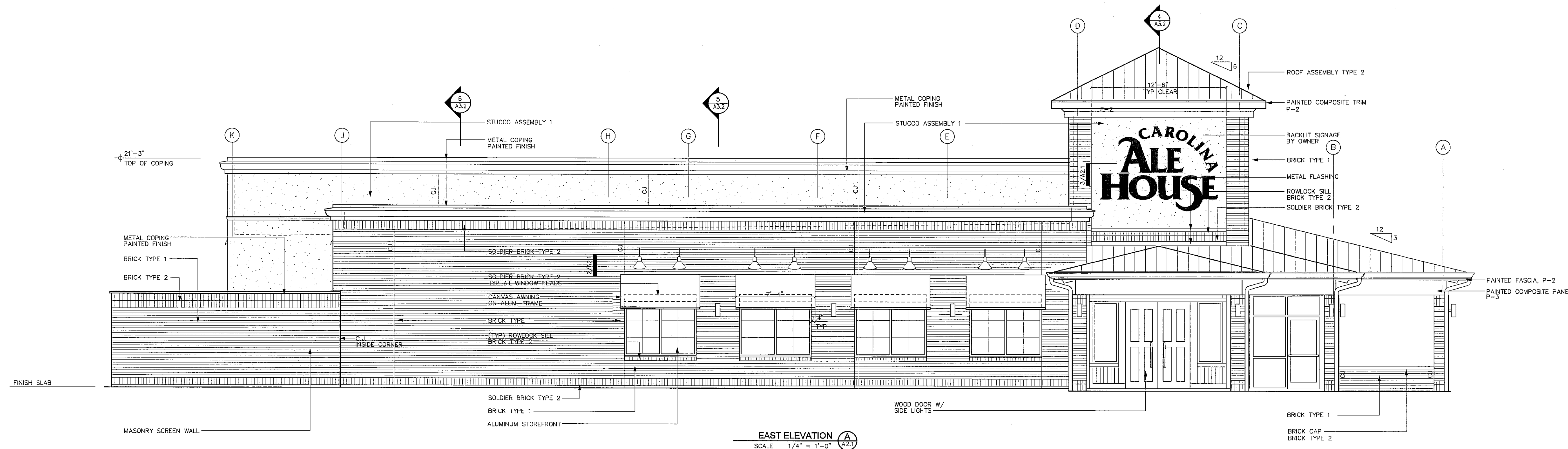
ISSUED FOR
CONSTRUCTION
08/31/2013

REV: ON DATE

A2.1

EXTERIOR
ELEVATIONS

13-102 A201



EXTERIOR FINISHES

BRICK TYPE 1

GENERAL SHALE - MESA VERDE, MODULAR
PROVIDE SOLIDS FOR SOLDIER COURSE,
ROWLOCK ENDS AND CORNERS (TYPICAL)

BRICK TYPE 2

CAROLINA CERAMICS - SHADOW GRAY VELOUR
PROVIDE SOLIDS FOR SOLDIER COURSE,
ROWLOCK ENDS AND CORNERS (TYPICAL)

STUCCO ASSEMBLY 1

EQUAL TO DRYVIT
COLOR - 456 OYSTER SHELL

STANDING SEAM
METAL ROOFING

KYNAR FINISH, EQUAL TO COLORGLAD,
HARTFORD GREEN, ALTERNATE: CORDOVAN

METAL COPING

COLORGLAD - ALMOND

METAL FLASHING

COLORGLAD - ALMOND

ALUM. GUTTERS &
DOWNSPOUTS

EQUAL TO COLORGLAD, DARK BRONZE (GUTTERS)
DOWNSPOUTS: DARK BRONZE

SHERWIN WILLIAMS - ESPRESSO SW2736

CANVAS AWNINGS

SUNBRELLA - 6003 JOCKEY RED

ALUMINUM AWNING
FRAMES

EQUAL TO SHERWIN WILLIAMS - ESPRESSO SW2736

ALUM. STOREFRONT

KAWNEER 451-T - BRONZE ANODIZED
GLAZING - SEE SPECIFICATIONS

COMPOSITE PANEL

BENJAMIN MOORE - DOVE WHITE/BLACK FOREST GREEN
SEE ELEVATIONS & 4/A2.1 FOR PAINT LOCATIONS

EXTERIOR MATERIALS NOTES

CONTRACTOR SHALL CONSTRUCT SAMPLE WALL PANEL
IN FIELD FOR OWNER APPROVAL (MIN 6'-0" X 6'-0")

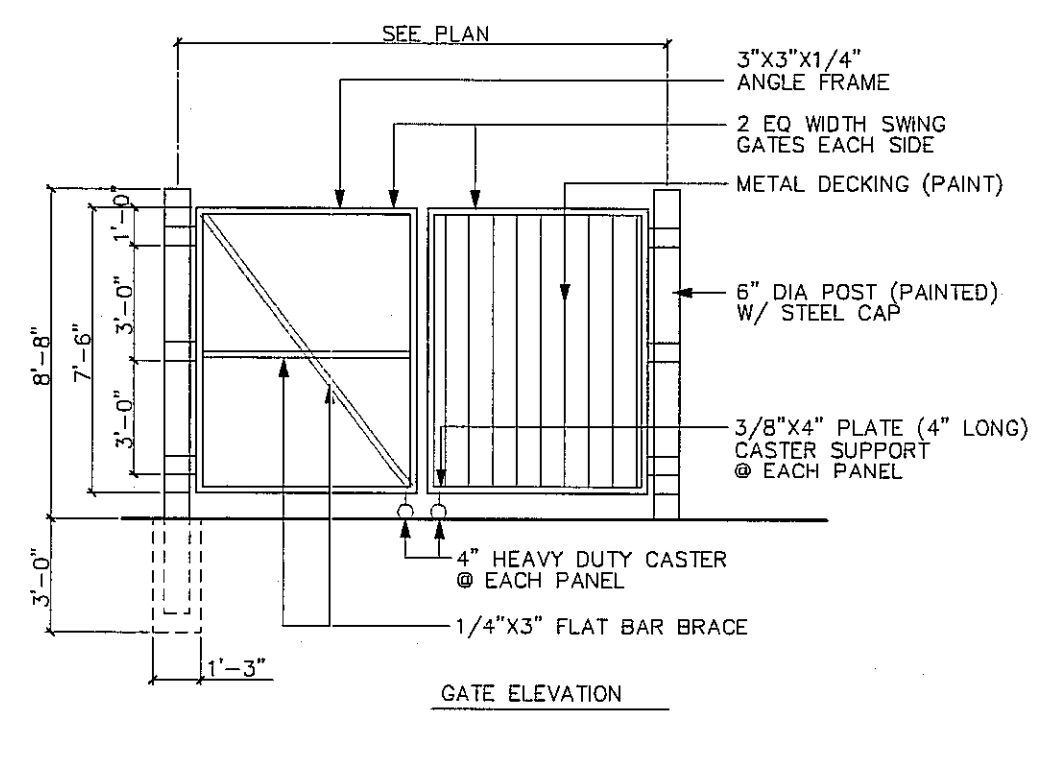
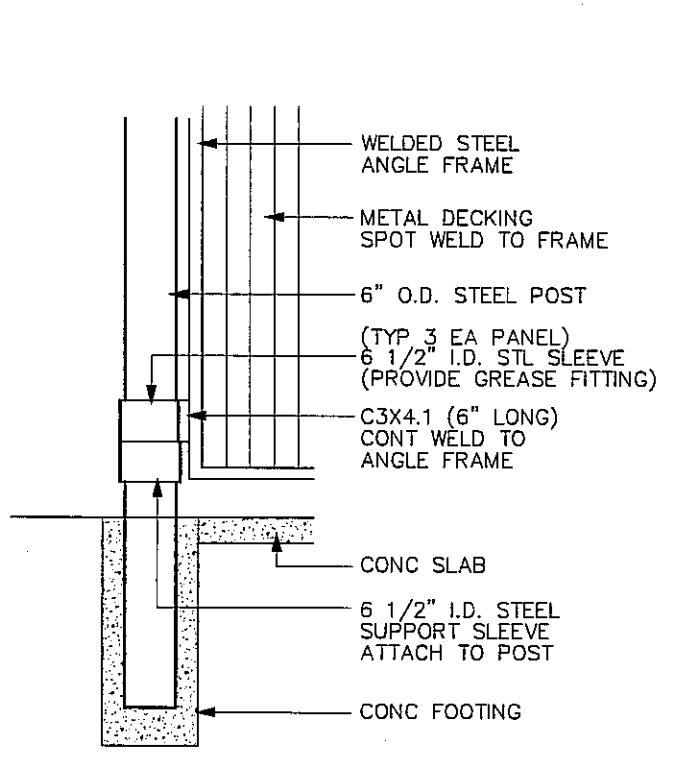
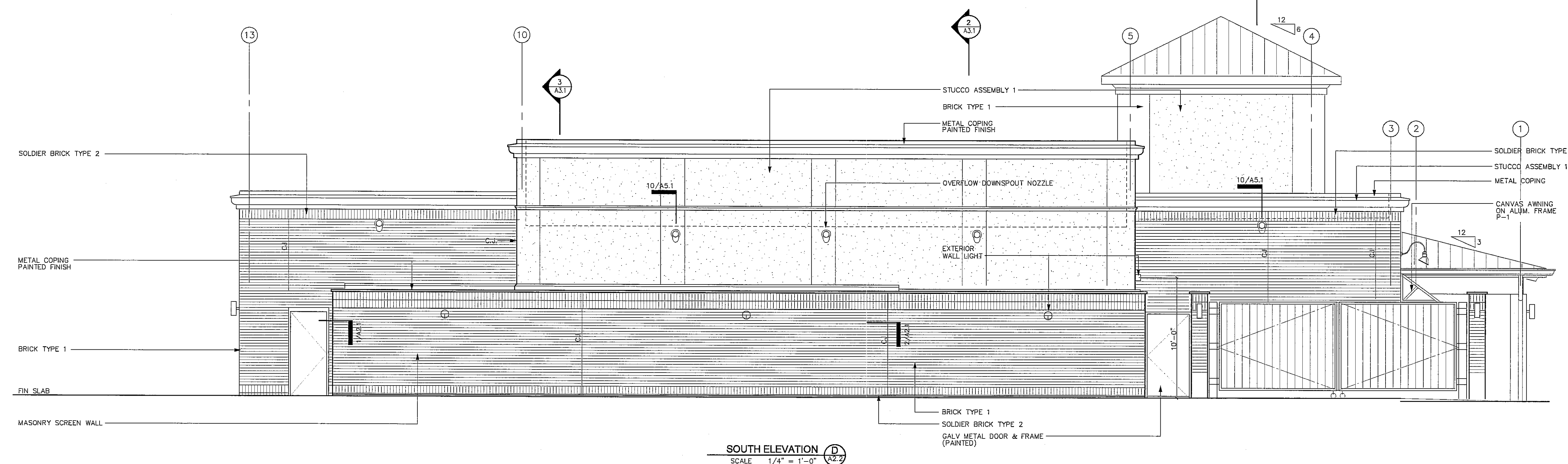
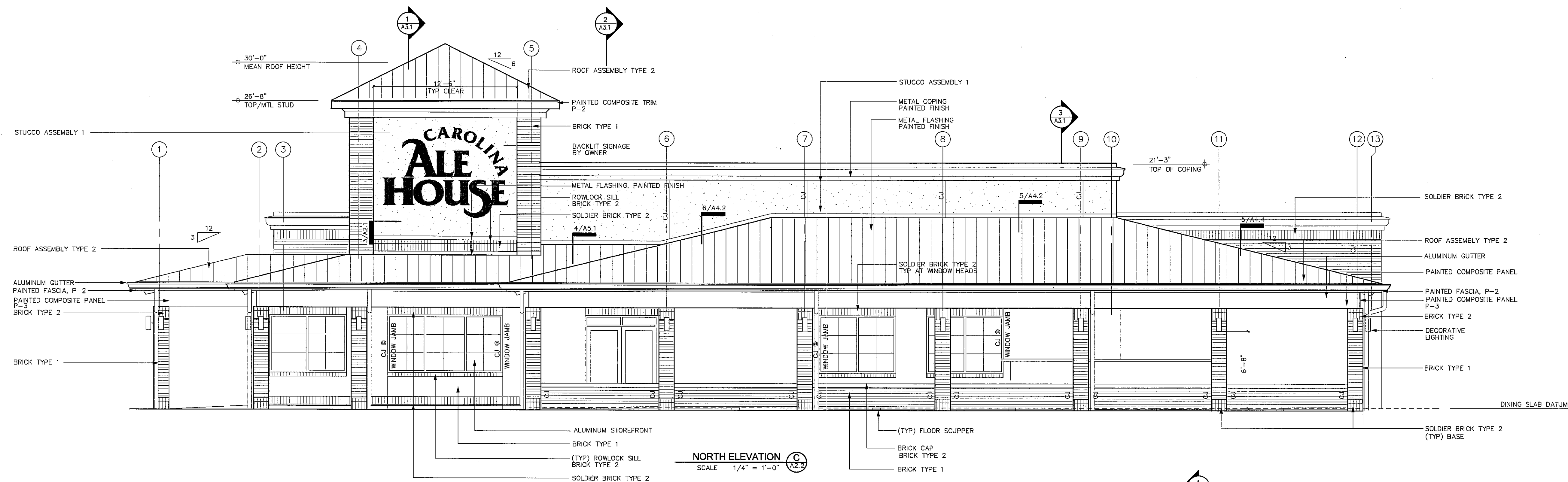
PROVIDE MIN 24"X24" STUCCO COLOR AND FINISH
SAMPLE FOR APPROVAL

PROVIDE ALL METAL COLOR SAMPLES FOR APPROVAL
EXTERIOR EQUIPMENT PROVIDED BY OWNER;
PAINTED FINISH, SIERRA TAN (WHERE EXPOSED)

EXTERIOR PAINT SCHEDULE

NO.	ROOM NAME	COLOR - #	NOTES
P-1	SHERWIN WILLIAMS	ESPRESSO-SW2736	
P-2	BENJAMIN MOORE	DOVE WHITE	
P-3	BENJAMIN MOORE	BLACK FOREST GREEN	APPLIED TO ALL EXTERIOR EXPOSED STEEL FRAMING

10-B-13-UR



EXTERIOR FINISHES

BRICK TYPE 1
GENERAL SHALE - MESA VERDE, MODULAR
PROVIDE SOLIDS FOR SOLDIER COURSE,
ROWLOCK ENDS AND CORNERS (TYPICAL)

BRICK TYPE 2
CAROLINA CERAMICS - SHADOW GRAY VELOUR
PROVIDE SOLIDS FOR SOLDIER COURSE,
ROWLOCK ENDS AND CORNERS (TYPICAL)

STUCCO ASSEMBLY 1
EQUAL TO DRYVIT
COLOR - 458 OYSTER SHELL

STANDING SEAM METAL ROOFING
KYNAR FINISH, EQUAL TO COLORGLAD,
HARTFORD GREEN, ALTERNATE: CORDOVAN

METAL COPING
COLORGLAD - ALMOND

METAL FLASHING
COLORGLAD - ALMOND

ALUM. GUTTERS & DOWNSPOUTS
EQUAL TO COLORGLAD, DARK BRONZE (GUTTERS)
DOWNSPOUTS: DARK BRONZE

GALV METAL DOOR & FRAME
SHERWIN WILLIAMS - ESPRESSO SW2736

CANVAS AWNINGS
SUNBRELLA - 6003 JOCKEY RED

ALUM. STOREFRONT
EQUAL TO SHERWIN WILLIAMS - ESPRESSO SW2736

COMPOSITE PANEL
KAWNEER 451-T - BRONZE ANODIZED
GLAZING - SEE SPECIFICATIONS
BENJAMIN MOORE - DOVE WHITE/BLACK FOREST GREEN
SEE ELEVATIONS & 4/A2.1 FOR PAINT LOCATIONS

EXTERIOR MATERIALS NOTES

CONTRACTOR SHALL CONSTRUCT SAMPLE WALL PANEL
IN FIELD FOR OWNER APPROVAL (MIN 6'-0" X 6'-0")

PROVIDE MIN 24"x24" STUCCO COLOR AND FINISH
SAMPLE FOR APPROVAL

PROVIDE ALL METAL COLOR SAMPLES FOR APPROVAL

EXTERIOR EQUIPMENT PROVIDED BY OWNER;
PAINTED FINISH, SIERRA TAN (WHERE EXPOSED)

EXTERIOR PAINT SCHEDULE

NO.	ROOM NAME	COLOR - #	NOTES
P-1	SHERWIN WILLIAMS	ESPRESSO-SW2736	
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10-B-13-UR



LM RESTAURANTS
HOSPITALITY MANAGEMENT
LMREST.COM

CAROLINA ALE HOUSE
KINGSTON PIKE & N. CEDAR BLUFF ROAD
KNOXVILLE, TN 37923

Smith 2
ARCHITECTURE + DESIGN LLC
1044 Jackson Blvd, Suite 201, Wilmington NC 28403
910.399.0000

ISSUED FOR CONSTRUCTION
08/31/2013

REV: ON DATE

A2.2
EXTERIOR ELEVATIONS