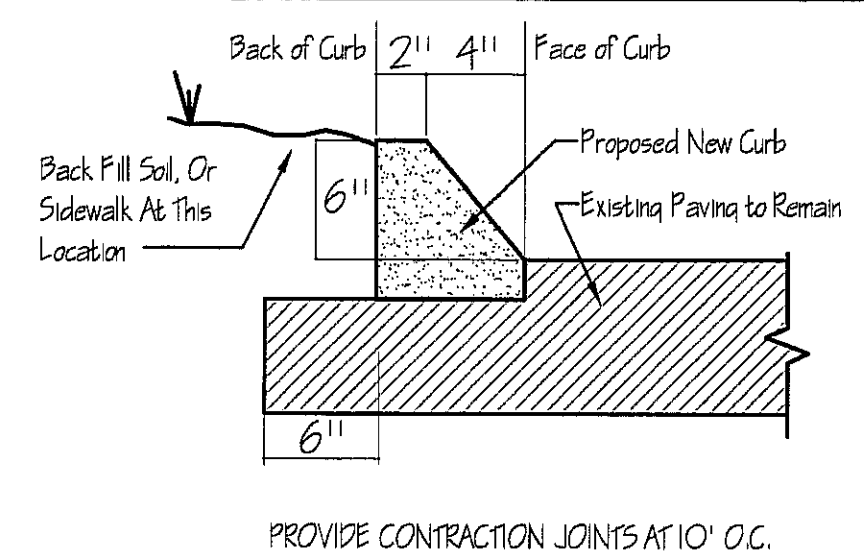
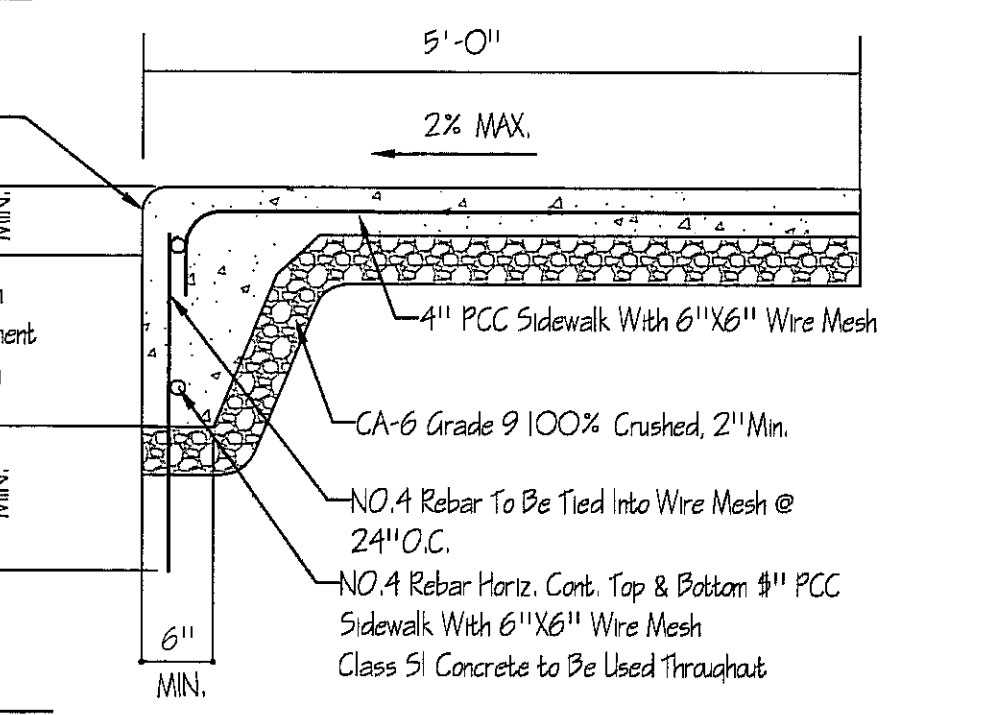


NOTE: PROVIDE A 1/2" PREMOULDED EXPANSION JOINT AT ANCHOR POINTS OF CURB, BETWEEN CURB AND ADJACENT RIGID OBJECTS, AT A MAXIMUM SPACING OF 100 FEET, AND AT OTHER PLACES WHERE STRESS MAY DEVELOP.

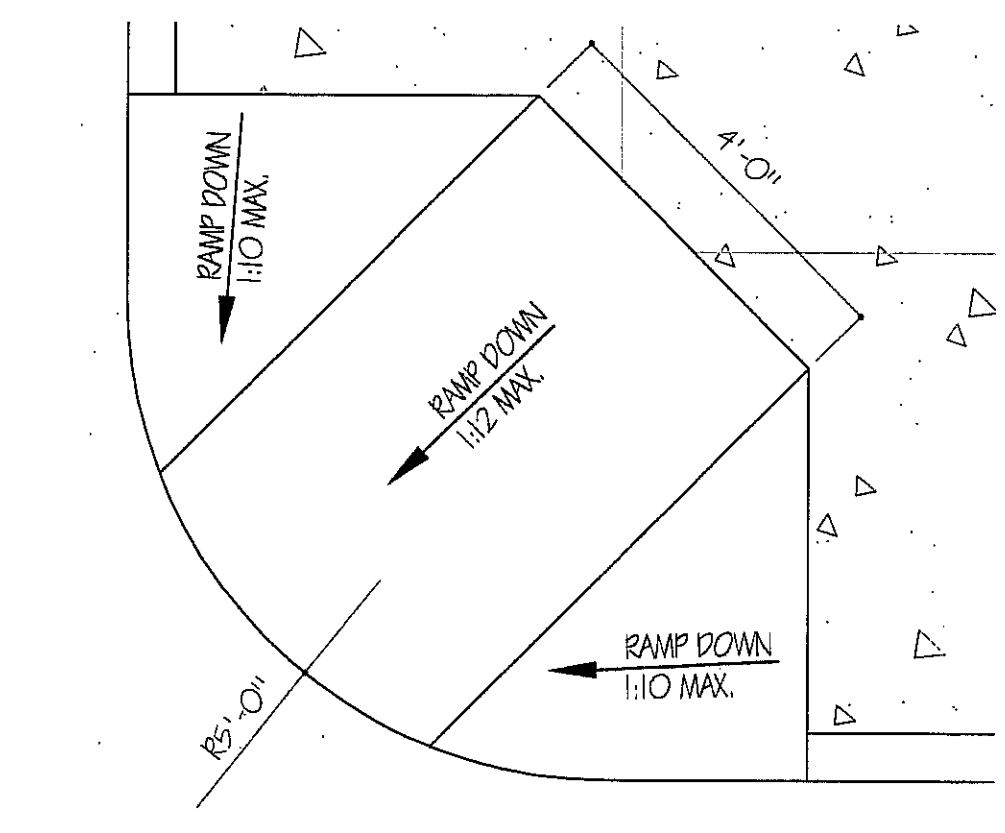


4 TYP. CURB DETAIL
Scale: N5

3 SIDEWALK DETAIL
Scale: 3/4"=1'-0"



2 H.C. RAMP DETAIL
Scale: 1/2"=1'-0"



SITE & GRADING NOTES:

- VERIFY EXACT SIZE, DEPTH, AND LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION
- RECORDED DEED: 20110214-0048942
- TAX MAP REFERENCE: CTRL MAP 131, PARCEL 11605
- RECORDED PLAT: P-264-C
- ZONING: PANNED COMMERCIAL
- ALL PROPERTY INFORMATION AS SURVEYED BY TOUCHTON SURVEYING & MAPPING CO. DATED 10-30-12.
- SURVEYED PROPERTY IS SUBJECT TO ALL APPLICABLE EASEMENTS, SETBACKS, RIGHT-OF-WAYS, & RESTRICTIONS OF RECORD OR CLAIMS OF EASEMENTS OR ROW NOT SHOWN BY PUBLIC RECORDS.
- PARKING SPACES PROPOSED: 79 STANDARD SPACES, 4 HANDICAP SPACE
REQUIRED SPACES: 79 STANDARD SPACES, 4 HANDICAP SPACE
PARKING HAS BEEN CALCULATED AT 1 SPACE PER 3 OCCUPANTS FOR ENTIRE FACILITY (EXERCISE/ GATHERING) (SEE CODE REVIEW PLAN). ENTIRE FACILITY IS TO BE UTILIZED BY OWNER AS DESIGNED. FUTURE TENANTS WILL REQUIRE RECALCULATION OF PARKING REQUIREMENTS AS NECESSARY.
- LOT COVERAGE: TOTAL LOT AREA: 80,586 SQFT, EXISTING PARKING AREA: 31,905 SQFT, IMPERVIOUS BUILDING AREA: 22,166 SQFT, IMPERVIOUS CONCRETE WALK AREA: 1452 SQFT. NEW IMPERVIOUS SURFACE: 23,618 SF / 48,681 SF = 48%.
- SLAB ELEVATION REFERENCE POINT: NOTE THAT THE MAIN FLOOR SLAB OF THE PROPOSED BUILDING SHALL BE PLACED AT AN ELEVATION OF 1" ABOVE THE TOP OF THE EXISTING CURB AT THE LOCATION INDICATED ON THE PLAN. CONTRACTOR SHALL PROVIDE SOIL FILL & TOP SOIL AS REQUIRED TO ACHIEVE GRADE-LEVEL EGRESS AT NEW CONCRETE STOODS & SIDEWALKS, AND SHALL SLOPE GRADE AWAY FROM BUILDING.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY AND PAY ALL FEES.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. THE CONTRACTOR SHALL RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES AND PAY ALL FEES.
- THE CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY EXISTING STRUCTURES THAT ARE DAMAGED DURING, AND AS A RESULT OF, CONSTRUCTION. REPAIRS AND/OR REPLACEMENTS SHALL BE MADE AS NECESSARY TO RETURN THE DAMAGED STRUCTURE(S) TO ORIGINAL OR BETTER CONDITION. REPAIRS AND/OR REPLACEMENTS SHALL BE AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL GRASS DISTURBED AREAS PER GRASSING SCHEDULE UNTIL HEALTHY STAND OF GRASS IS OBTAINED.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- CONTRACTOR SHALL ADJUST AND/OR SAW CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL INSPECT, REPAIR, AND CLEAN ALL EXISTING DRAINAGE STRUCTURES AND PIPING. ALL SEDIMENT AND DEBRIS SHALL BE REMOVED.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED.
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT TO.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- MINIMUM COVER FROM TOP OF PIPE TO FINISH GRADE SHALL BE 2 FEET.
- RIP-RAP STONE FOR EROSION PROTECTION SHALL BE PROVIDED AT ALL STORMWATER DISCHARGE LOCATIONS.
- WATER, SEWER, AND STORM LINES SHALL BE KEPT 10 FEET APART HORIZONTALLY AND 18" APART VERTICALLY WHEN CROSSING (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE), UNLESS NOTED OTHERWISE.
- WHEN CROSSING, WATER LINES SHALL BE CONSTRUCTED ABOVE SEWER LINES AND STORM LINES, UNLESS A LACK OF DEPTH ABOVE THE SEWER OR STORM LINE NECESSITATES CONSTRUCTION OF WATER LINES BENEATH SEWER LINES OR STORM LINES. IN THE EVENT OF A VERTICAL CONFLICT, THE FOLLOWING MODIFICATIONS MUST OCCUR:
- SEWER LINES SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING.
- STORM LINES SHALL HAVE "O-RING" GASKETS WITH HUGGER BAND COUPLING AT LEAST 10 FEET ON BOTH SIDES OF THE CROSSING.
- WATER LINES SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AND APPROPRIATE THRUST BLOCKING MEETING THE REQUIREMENTS OF ANSI 21.10 OR 21.11 (AWWA C-151) CLASS 50.

NOTE:
1. All Existing Landscaping to Remain Unless Otherwise Noted On This Plan.
2. No Site Storage Proposed in This Design. Building Storage Shall Be By Owner, Mounted To Building, & Shall Comply With All Storage Ordinances.
3. 50'-0" Peripheral Setback Variance Has Been Approved By BZA For 15'-0"

LEGEND

- PROPOSED NEW PAVING
- PROPOSED NEW SIDEWALK
- IRON ROD FOUND
- IRON ROD SET
- UTILITY POLE
- SANITARY SEWER MANHOLE
- STORM DRAIN CATCH BASIN
- OVERHEAD POWER LINES
- 8" PVC SANITARY SEWER
- BRADFORD PEAR TREES
- OVERHEAD LIGHT POLE

1 SITE PLAN
Scale: 1"=20'-0"



Foxhollow Goodson
A Professional Limited Liability Company

102 Chisholm Road
Knoxville, Tennessee 37924
Voice: 865.777.1750
Fax: 865.777.1754
www.foxhollowgoodson.com

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10-C-13-UR
REVISED
9-24-13

Date of Drawing: 9-4-12
Drawn by: JS
Checked by: CM
Issued by: CM
Job Number: F022016

Drawn & Issued for:
 Rev. and Comment
 Bidling or Pricing
 Cost Review Only
 Construction

Revision:
7-9-12
9-25-13

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A010
Site Plan