

SITE DATA:
TOTAL MAX COVERAGE(40%)4,435 S.F. [4,348 S.F.]
MAX. BLDG COVERAGE(30%)3,326 S.F. [1,440 S.F.]
REVISION: 09/12/23
DATE: 2/1/23

10-C-23-SU
Revised: 9/12/2023

SITE PLAN

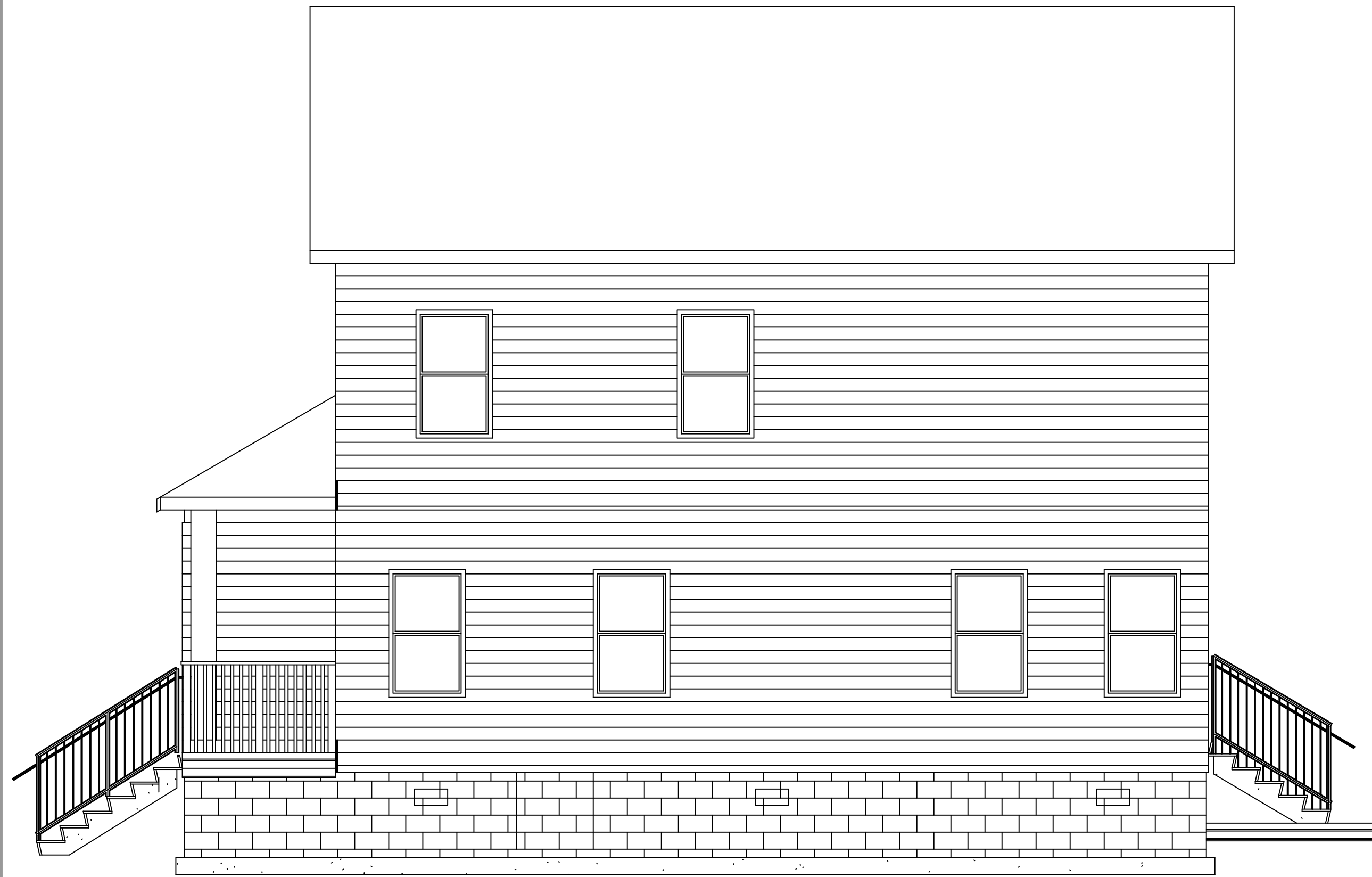
DRAWING NUMBER 368123

FOR **Braden Family Properties LLC**
ADDRESS **Johnston Street** SCALE 1" = 30'
DISTRICT **5th** COUNTY **KNOX** CITY **KNOXVILLE** STATE **TN** ZIP **37912**
LOT NO. **10-13 Forrest Park Add S/D**
WARD **19th** CITY BLOCK **19321** DRAWN BY **SWA**
MAP CAB. **P.B. 7, PG 5**
TAX MAP **081H** GROUP **C** PARCEL **043.00**
WARRANTY DEED BK. **202104060081983**
MORTGAGE CO.
TITLE CO.

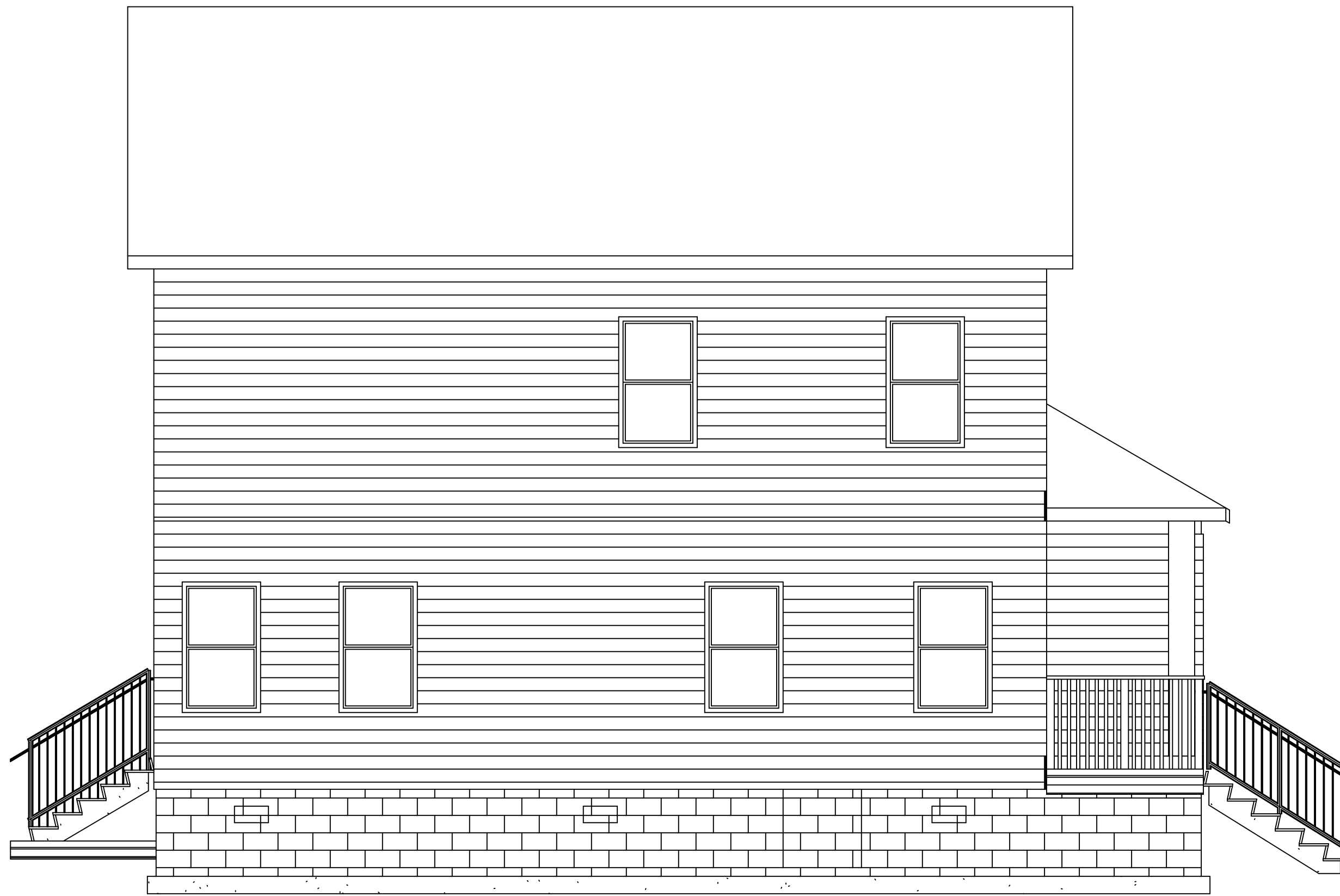
ABBOTT LAND SURVEYING LLC
STEVEN W. ABBOTT JR., RLS
1109 E. WOODSHIRE DRIVE
KNOXVILLE, TN 37922
OFFICE: (865) 671-1149
EMAIL: survmap@tds.net



THIS IS TO CERTIFY THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR THE STATE OF TENNESSEE. THIS IS TO CERTIFY THAT ON THE DATE SHOWN, I MADE AN ACCURATE SURVEY OF THE PREMISES SHOWN HEREON USING THE LATEST RECORDED DEED AND OTHER INFORMATION FURNISHED TO ME, THAT THERE ARE NO EASEMENTS, ENCROACHMENTS OR PROJECTIONS EVIDENT OTHER THAN THOSE SHOWN. THE SURVEY WAS DONE UNDER THE AUTHORITY OF TCA 62-18-126: AND THE SURVEY IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820-3-07. THIS IS TO CERTIFY THAT I HAVE EXAMINED THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD MAP AND FOUND THE DESCRIBED NOT TO BE LOCATED IN A SPECIAL FLOOD HAZARD AREA.



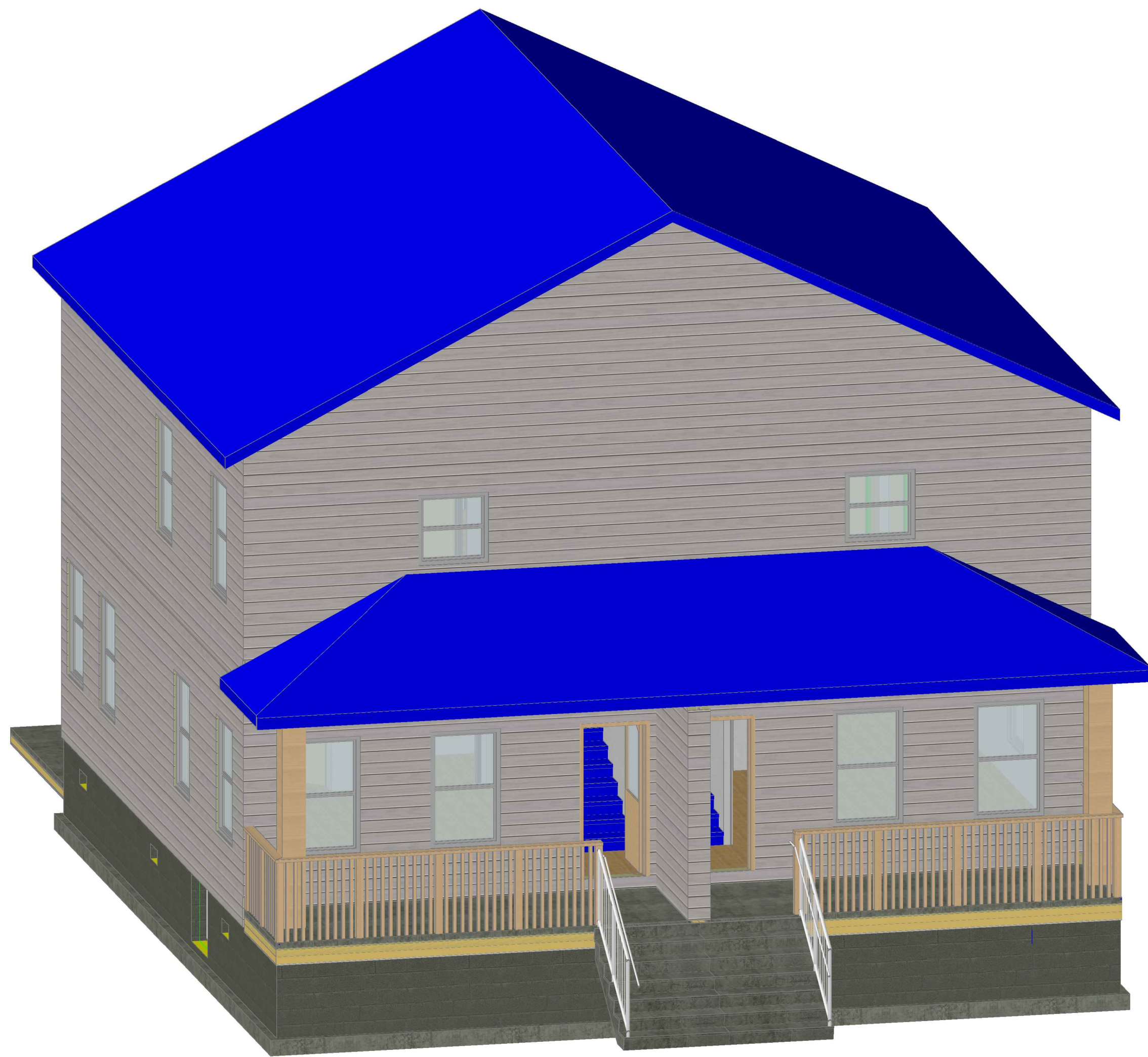
Right Exterior Elevation
Scale: 1/4" = 1'-0"



Left Exterior Elevation
Scale: 1/4" = 1'-0"



Front Exterior Elevation
Scale: 1/4" = 1'-0"



Front Left ISO View
Scale: NTS

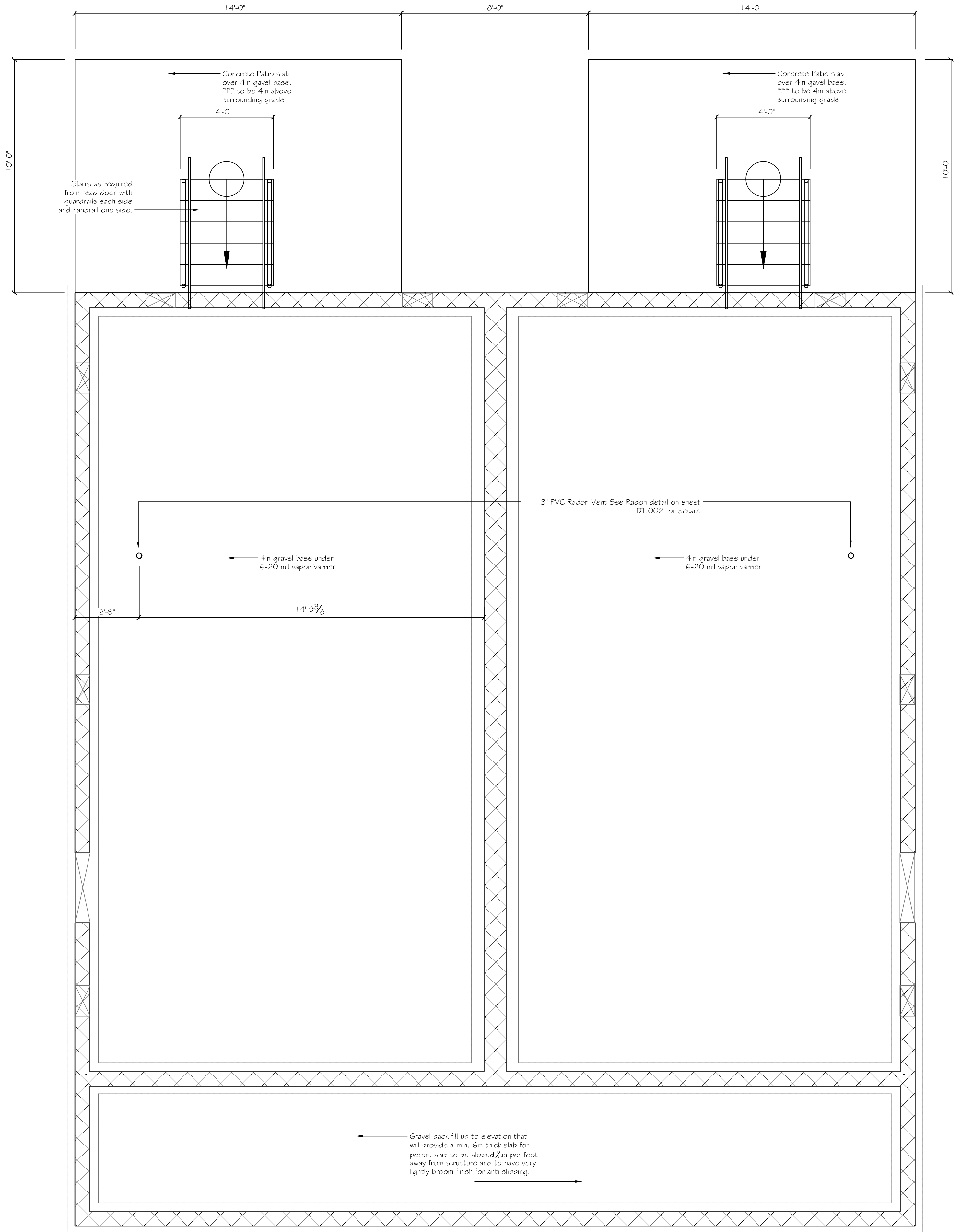
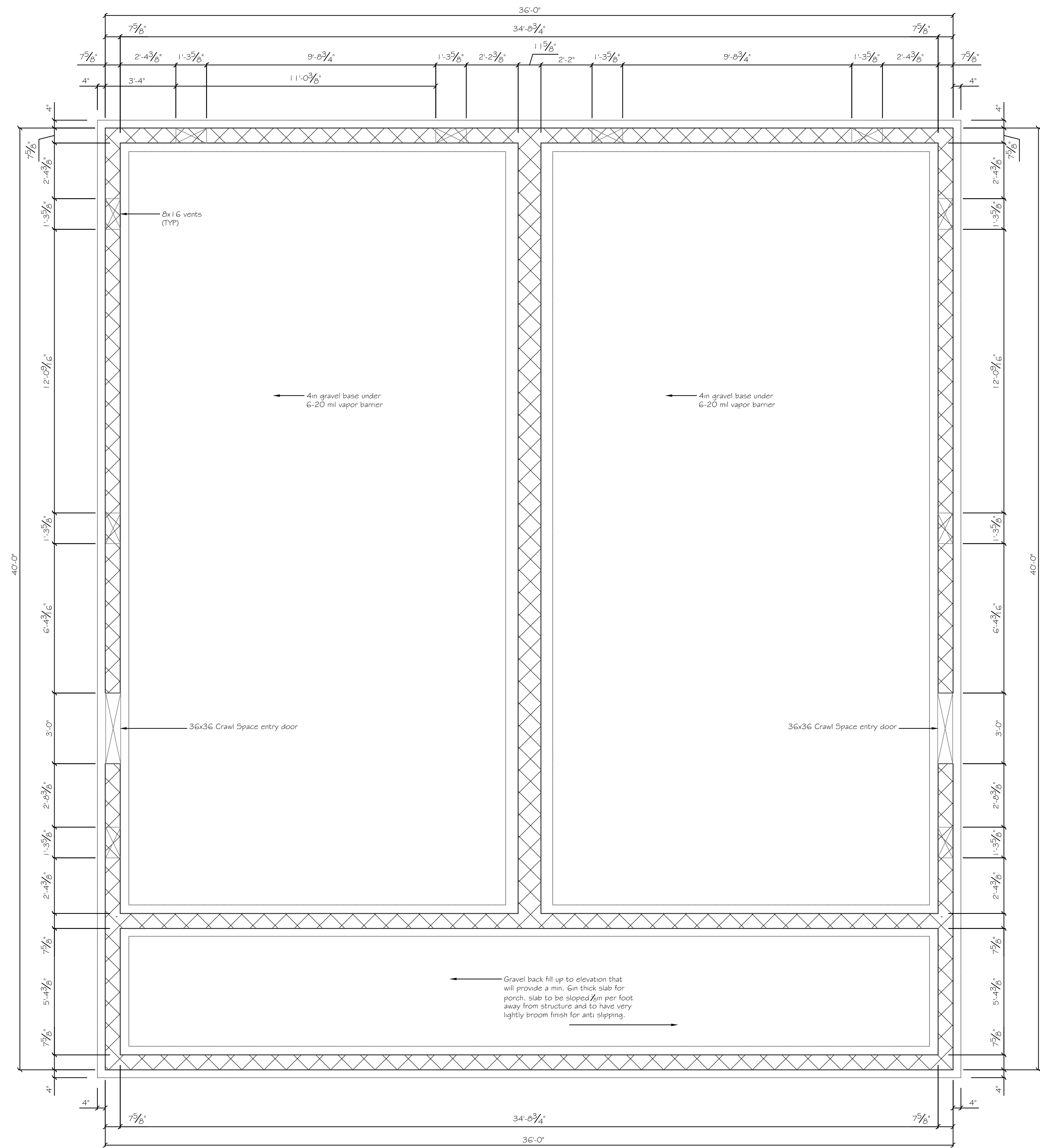


Rear Exterior Elevation
Scale: 1/4" = 1'-0"

10-C-23-SU
8/23/2023

Project Name and Address	Project Number
Two Story Duplex 3 BR 1.5 Bath	2022-10023
Drawing Date	September 21, 2022
Scale:	See Drawing Layout
Contractor	Sheet Number
Josh Braden Braden Family Properties, LLC Cell: (853) 596-7343 Office: (853) 471-0070	CP.001
Drawn By: ASOF GPS	

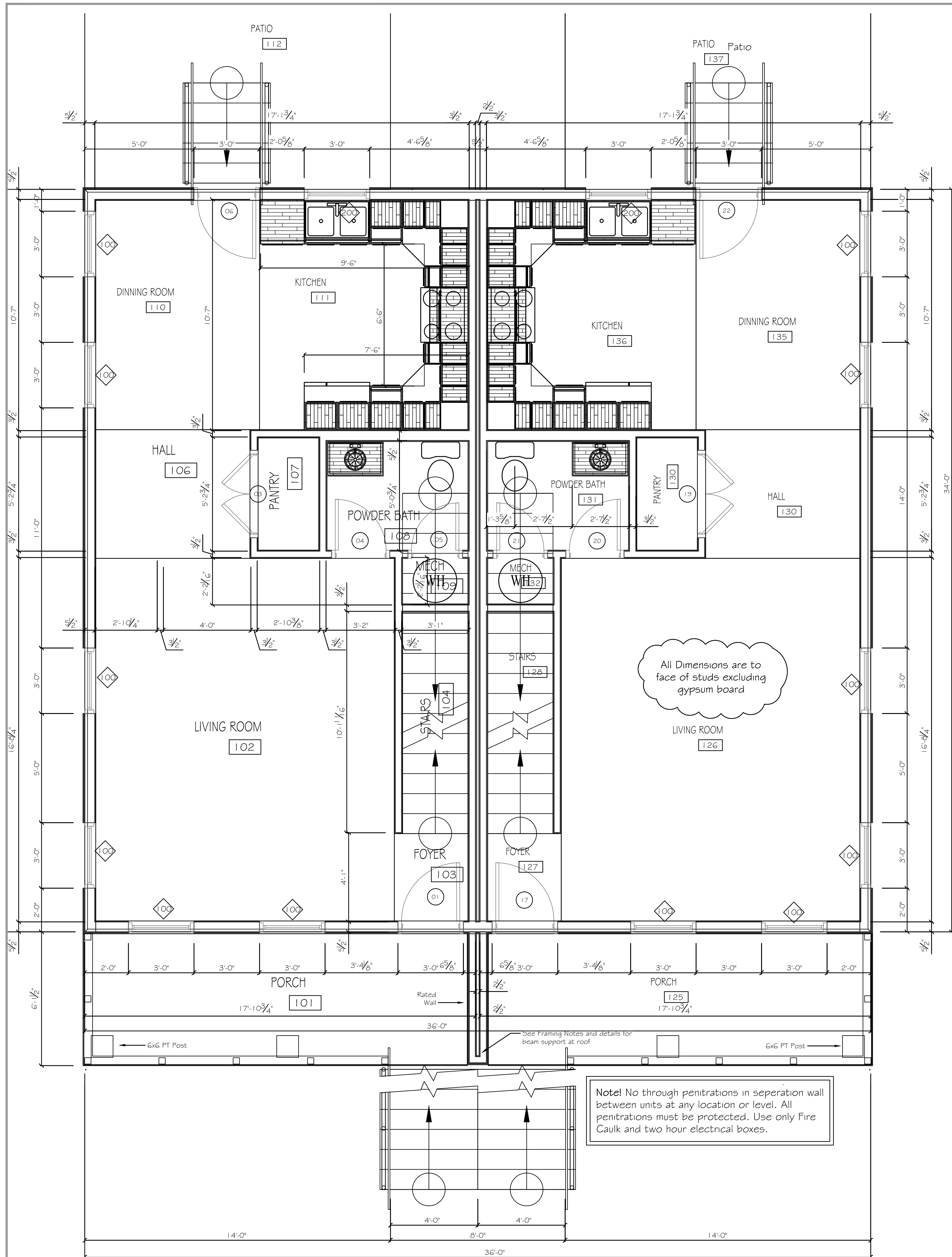
Footing and CMU Foundation Plan
Scale: 3/8" = 1'-0"



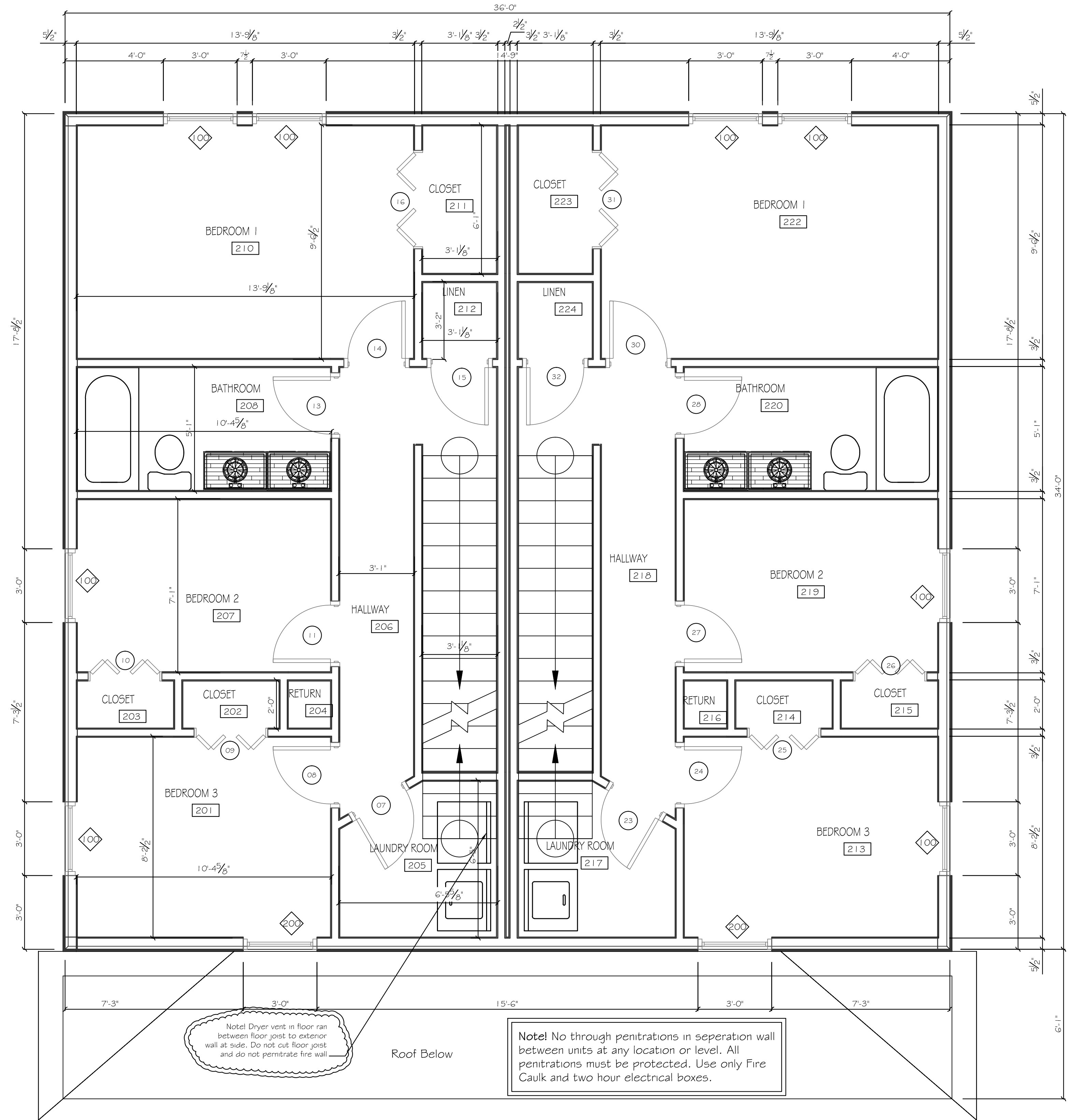
Foundation with Rear Patio Slabs Plan
Scale: 3/8" = 1'-0"

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Drawn By: ASOF GPS	Scale:
	See Drawing Layout
	Sheet Number
	AR.001



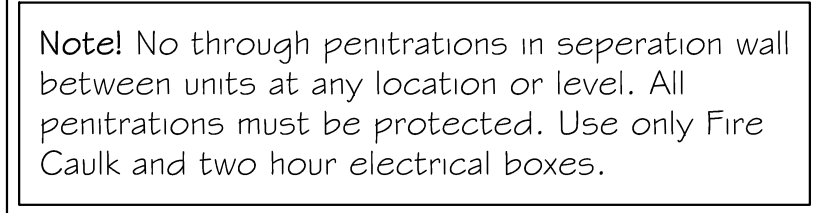
First Floor Plan
Scale: $\frac{3}{8}" = 1'-0"$



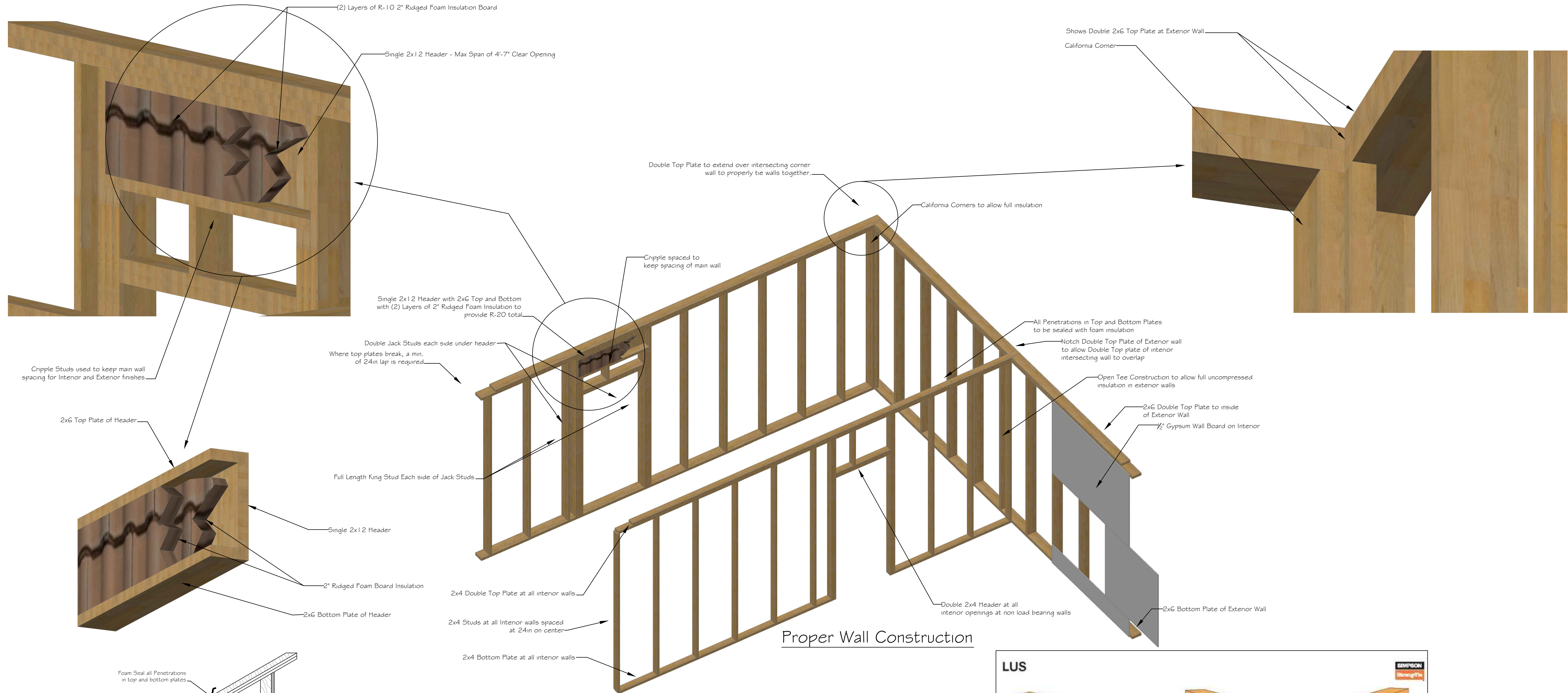
Second Floor Plan
Scale: $\frac{3}{8}" = 1'-0"$

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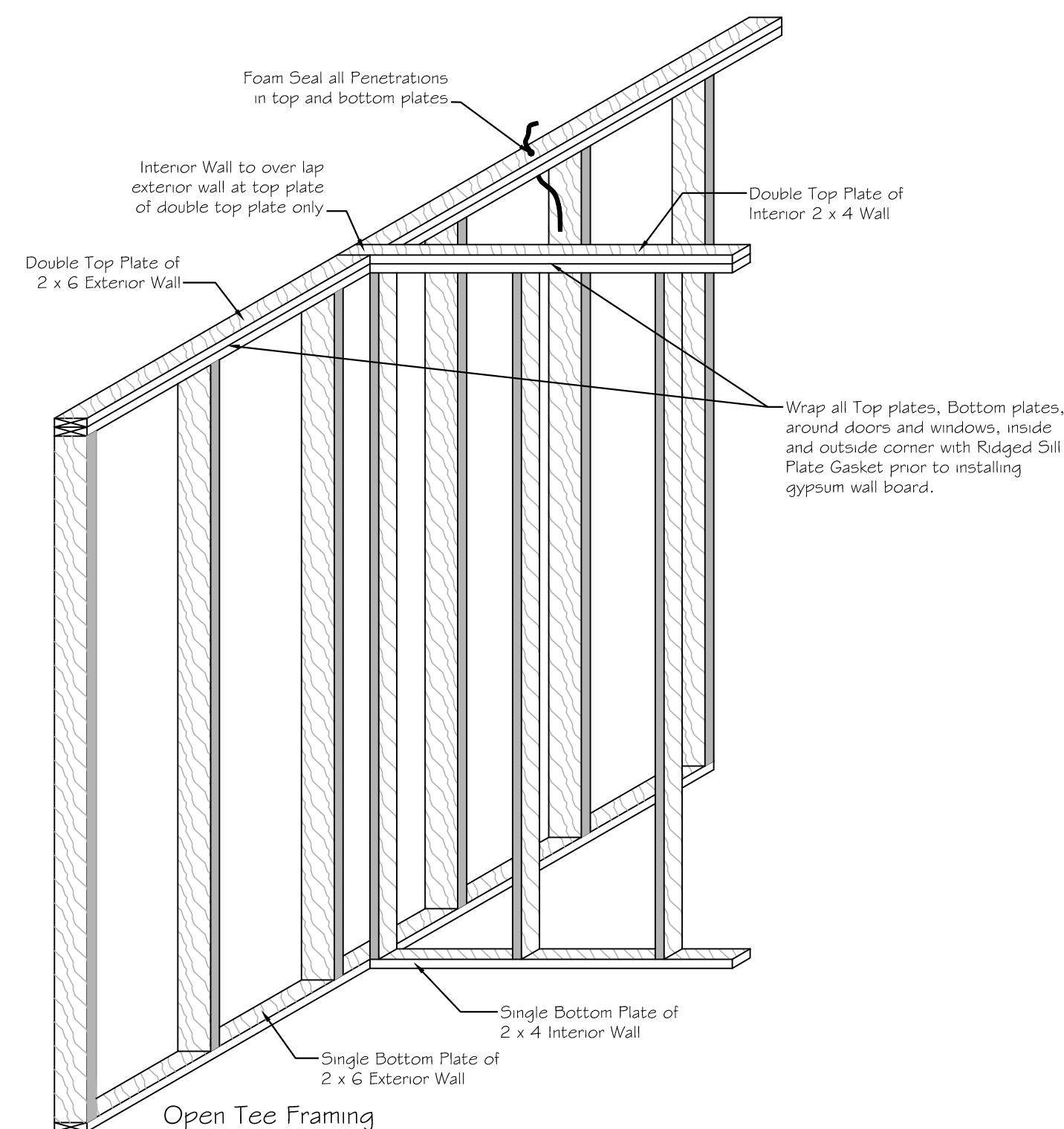
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Contractor	Sheet Number
Josh Braden Braden Family Properties, LLC Cell: (855) 596-7343 Office: (855) 471-0070	AR.002
Drawn By: ASOF GPS	



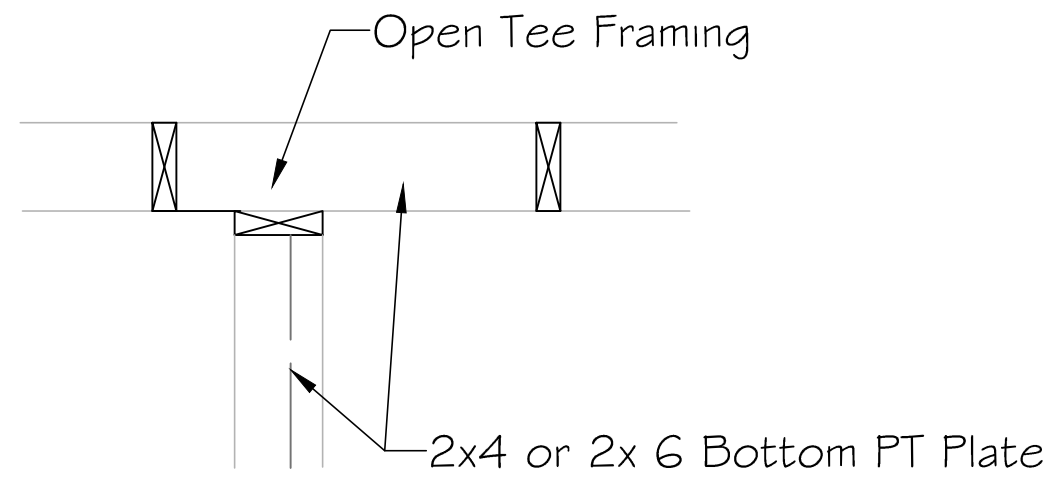
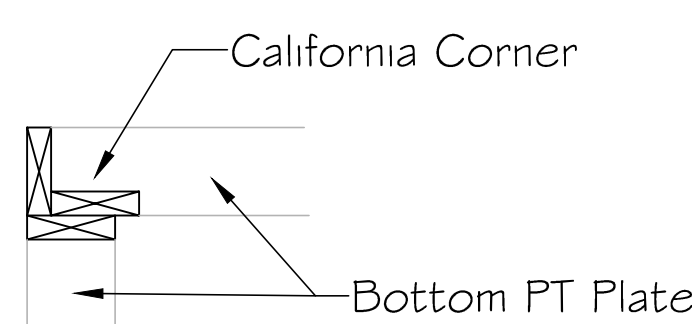
Project Name and Address	Project Number
Two Story Duplex 3 BR 1.5 Bath	2022-P023
	Drawing Date
	September 21, 2022
	Scale:
Contractor	See Drawing Layout
Josh Braden Braden Family Properties, LLC Cell: (865) 696-7343 Office: (865) 471-0070	Sheet Number AR.003
Drawn By: ASOF GPS	



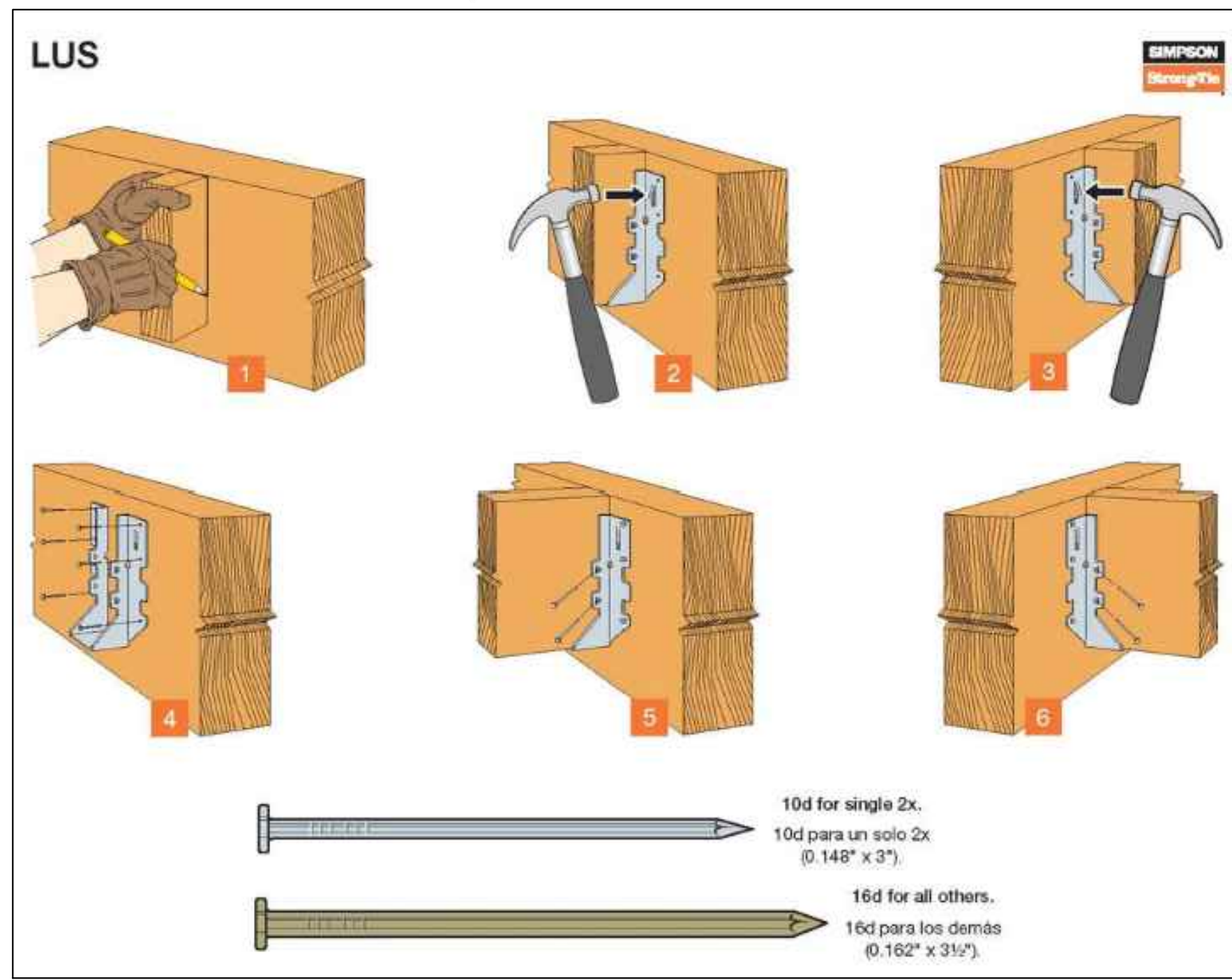
Proper Wall Construction



Detail
Scale: 1"= 1'-0"



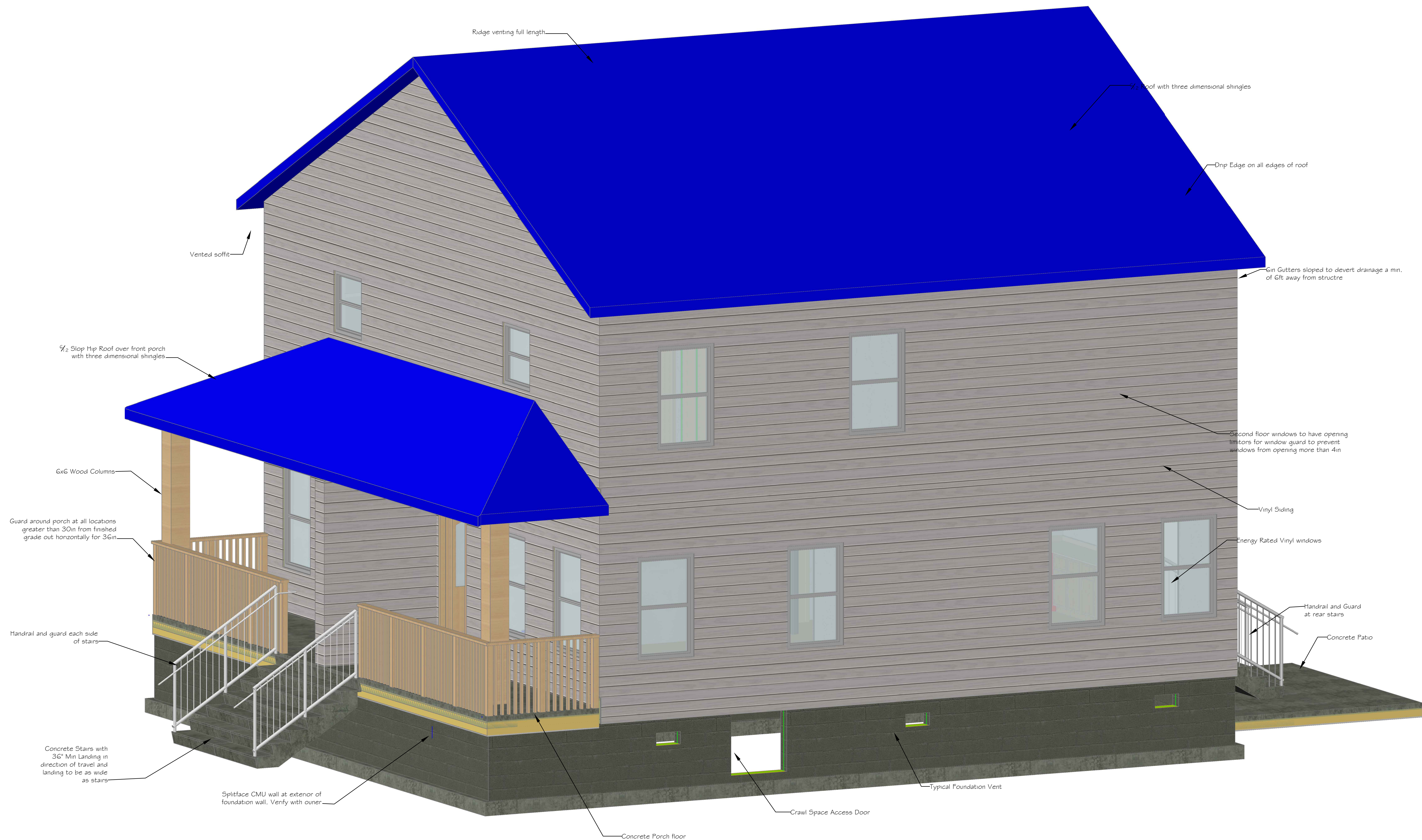
Alternative - Open Tee Framing



Simpson Joist Hanger Requirements

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8/23/2023

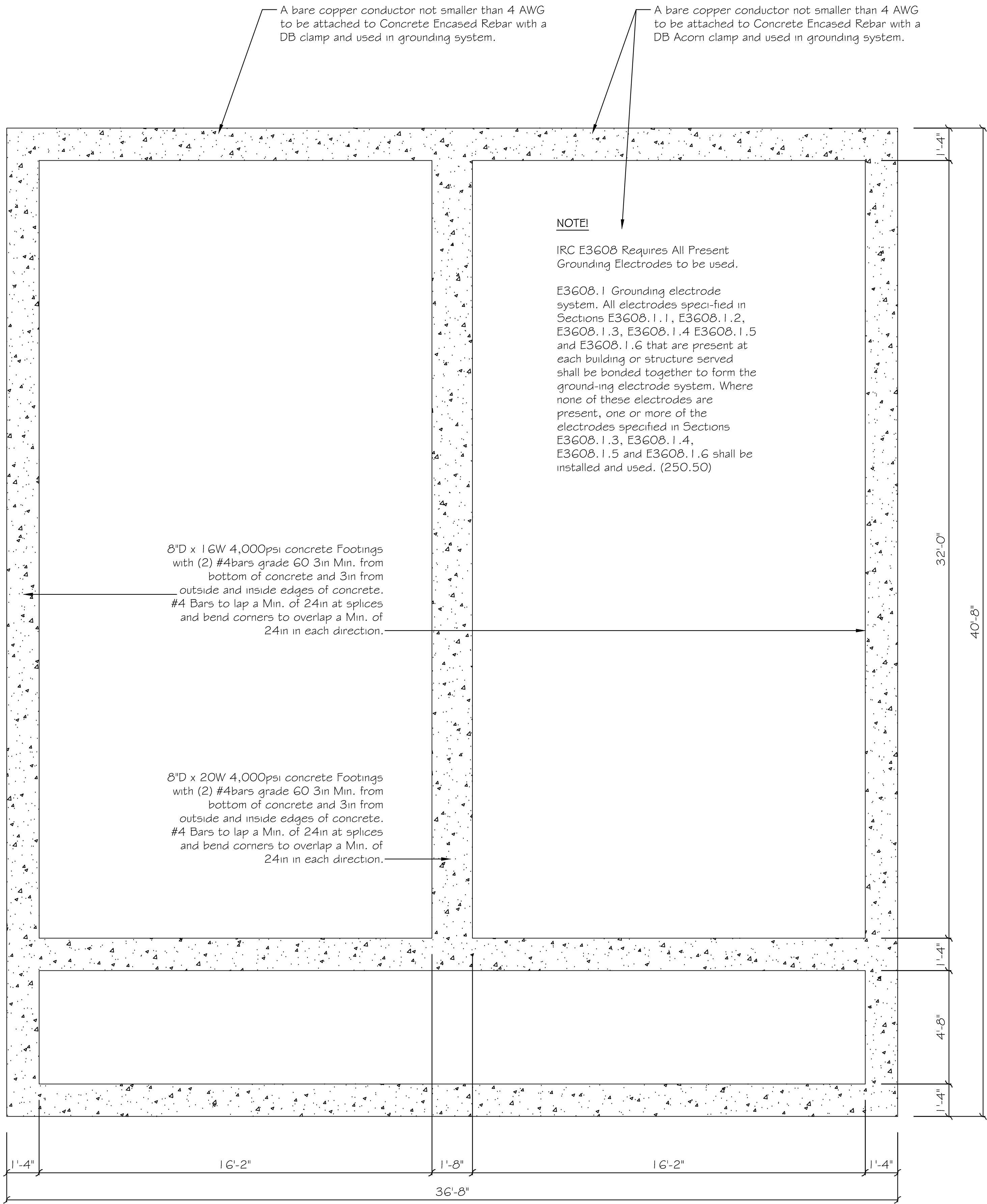
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Josh Braden Braden Family Properties, LLC Call: (855) 596-7343 Office: (855) 471-0070	DT.001
Drawn By: ASOF GPS	



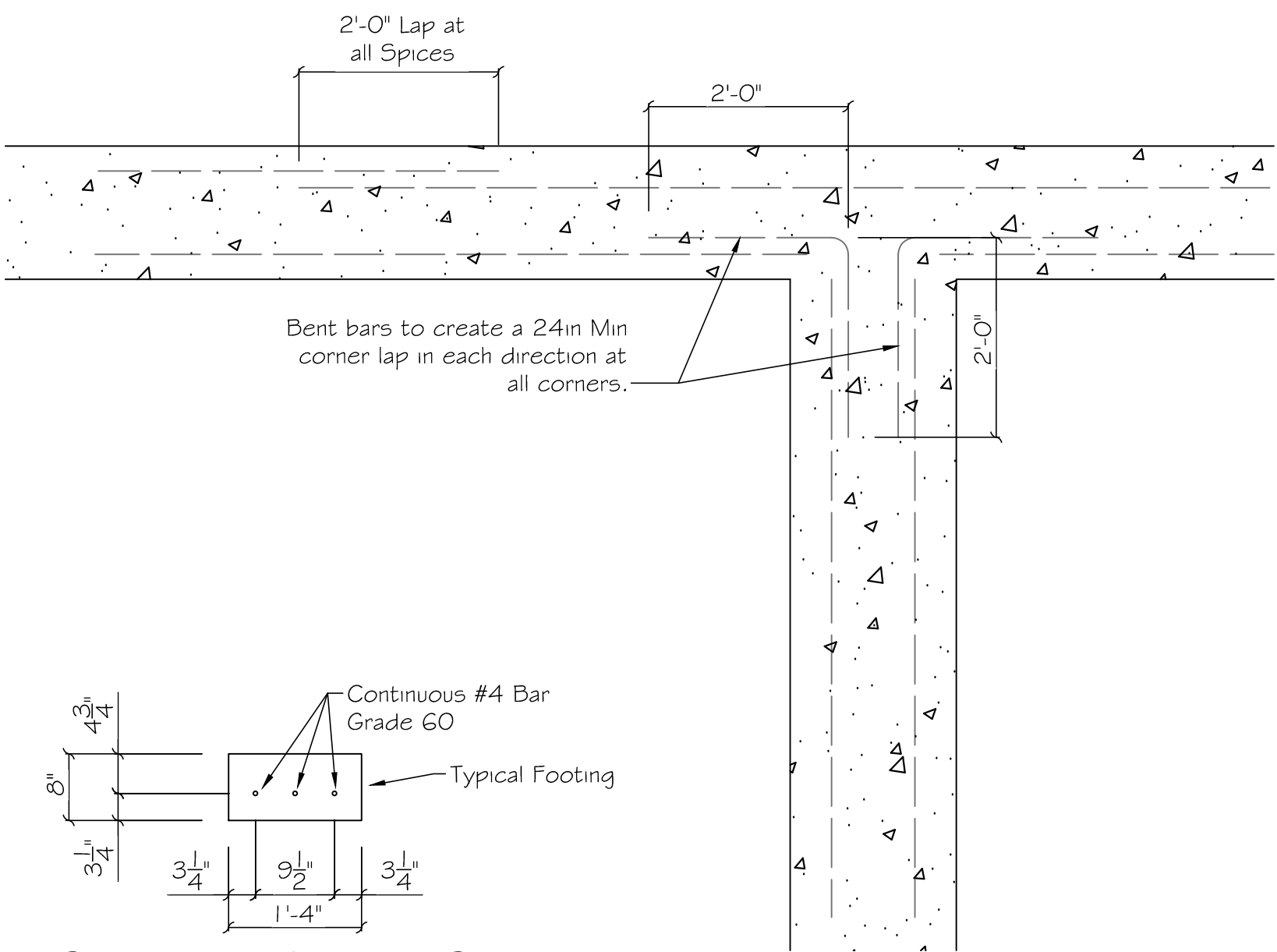
Exterior Finish Details
Scale: NTS

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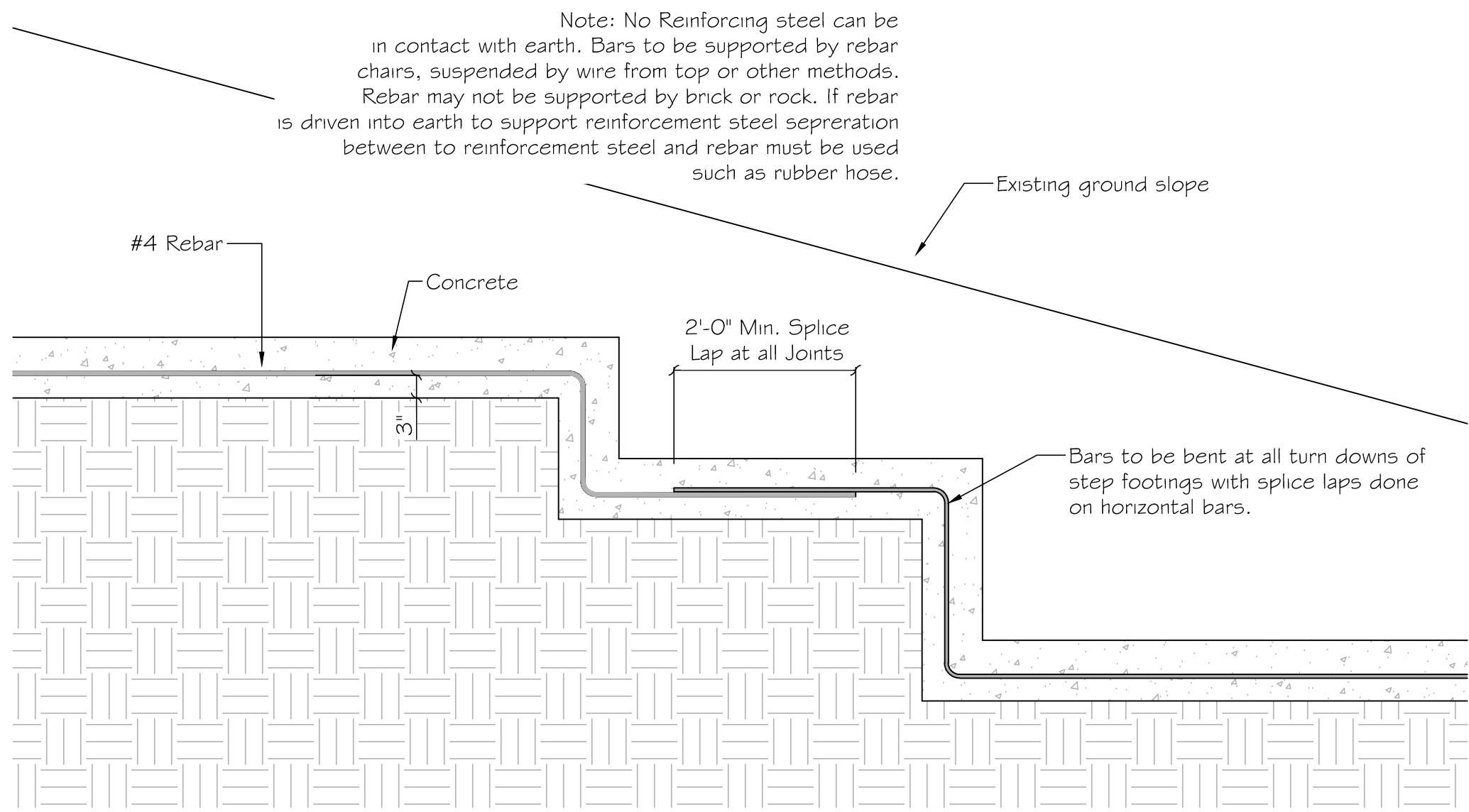
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Structural Footing Plan
Scale: $\frac{3}{8}" = 1'-0"$



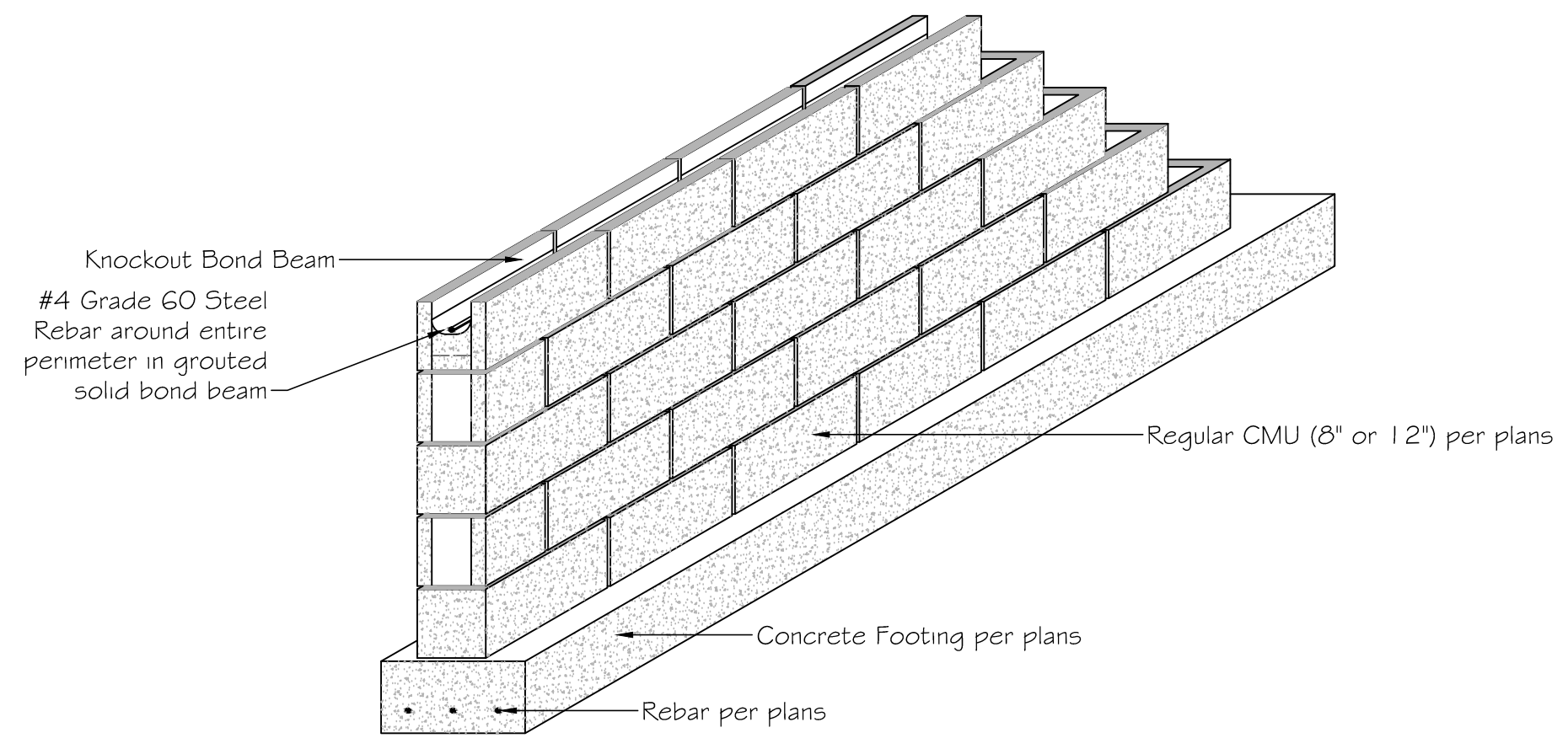
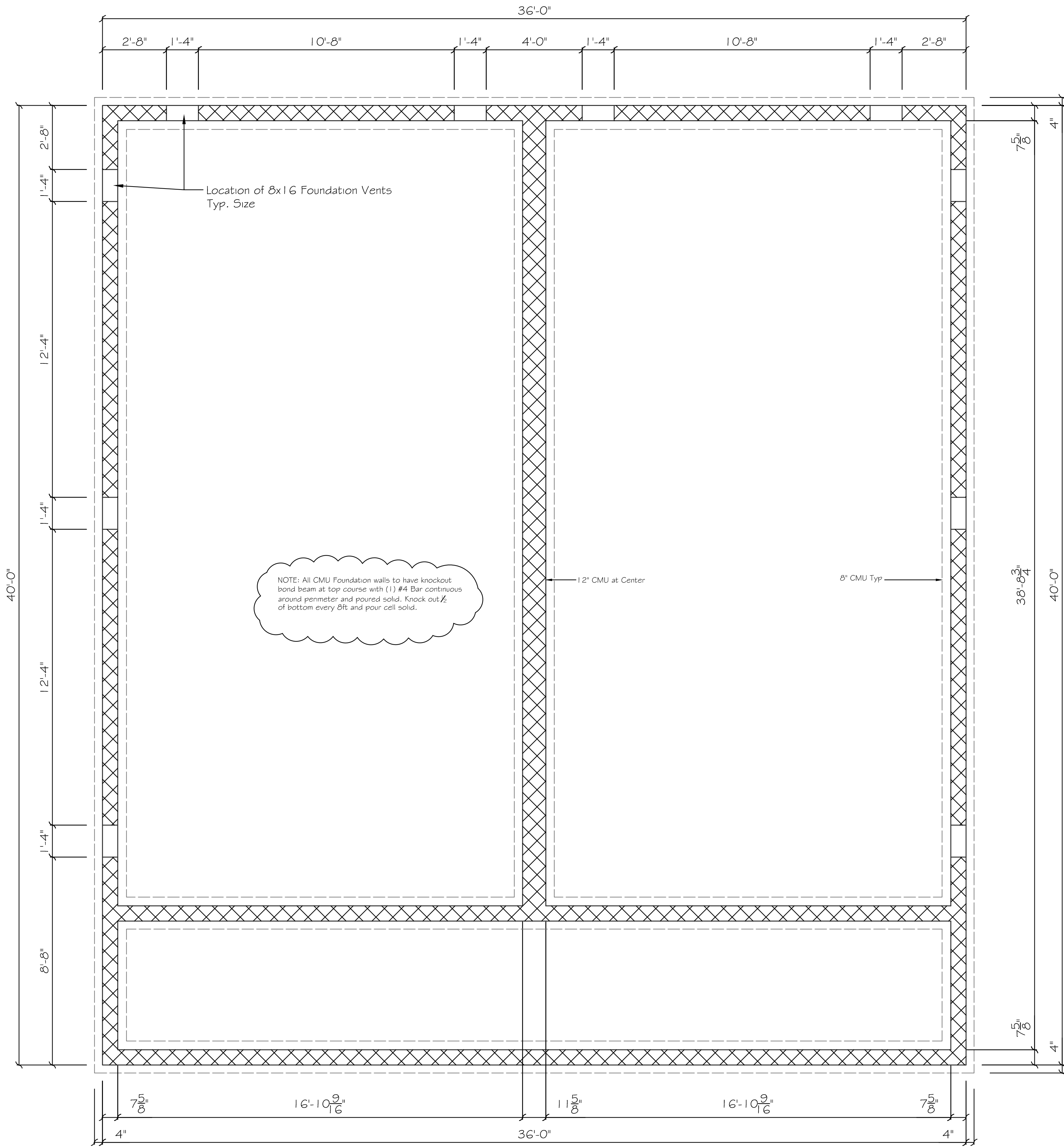
Structural Footing Section
Scale: $\frac{3}{4}" = 1'-0"$



Structural Footing at Stepped Footings Section
Scale: $\frac{3}{4}" = 1'-0"$

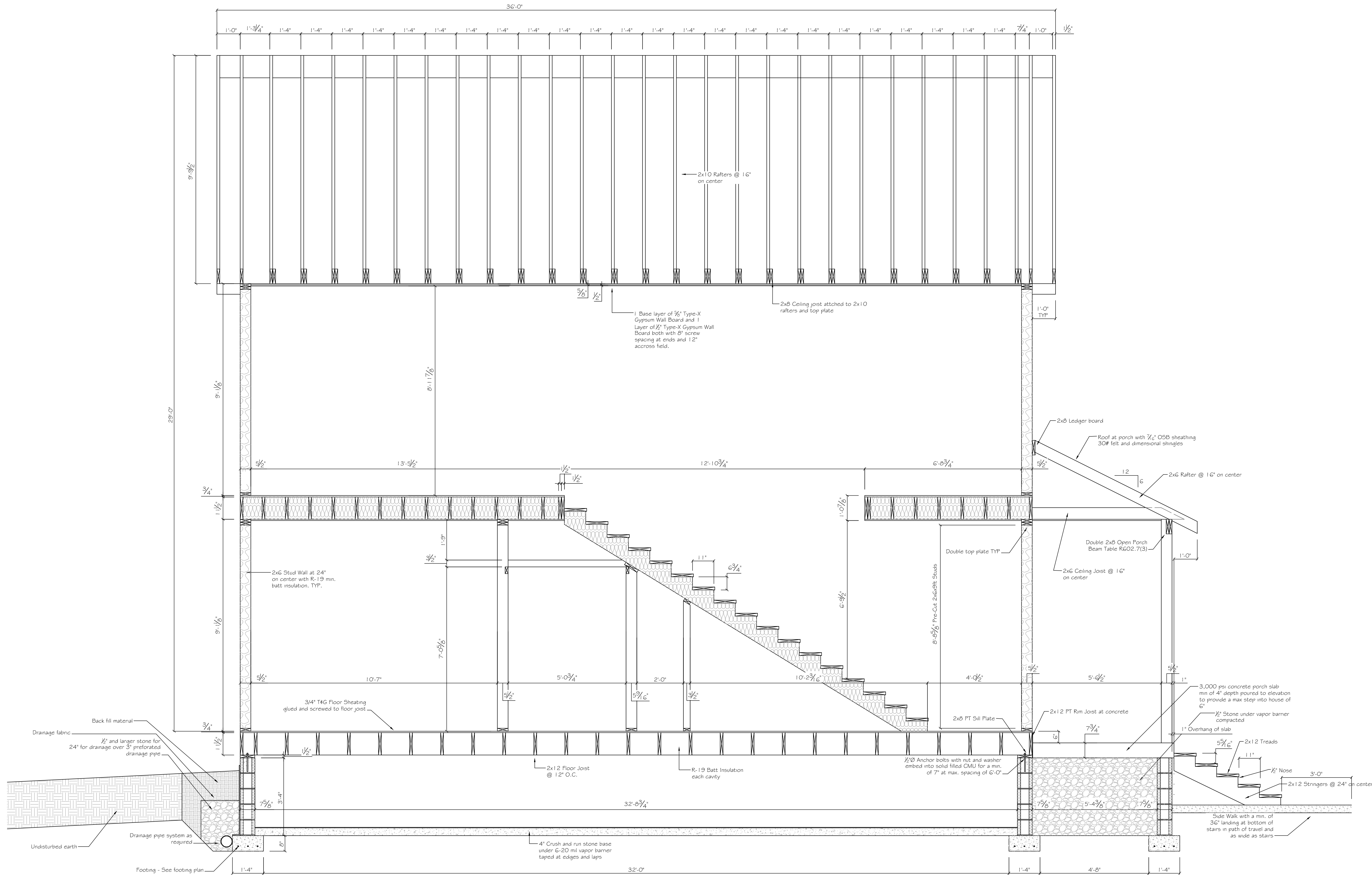
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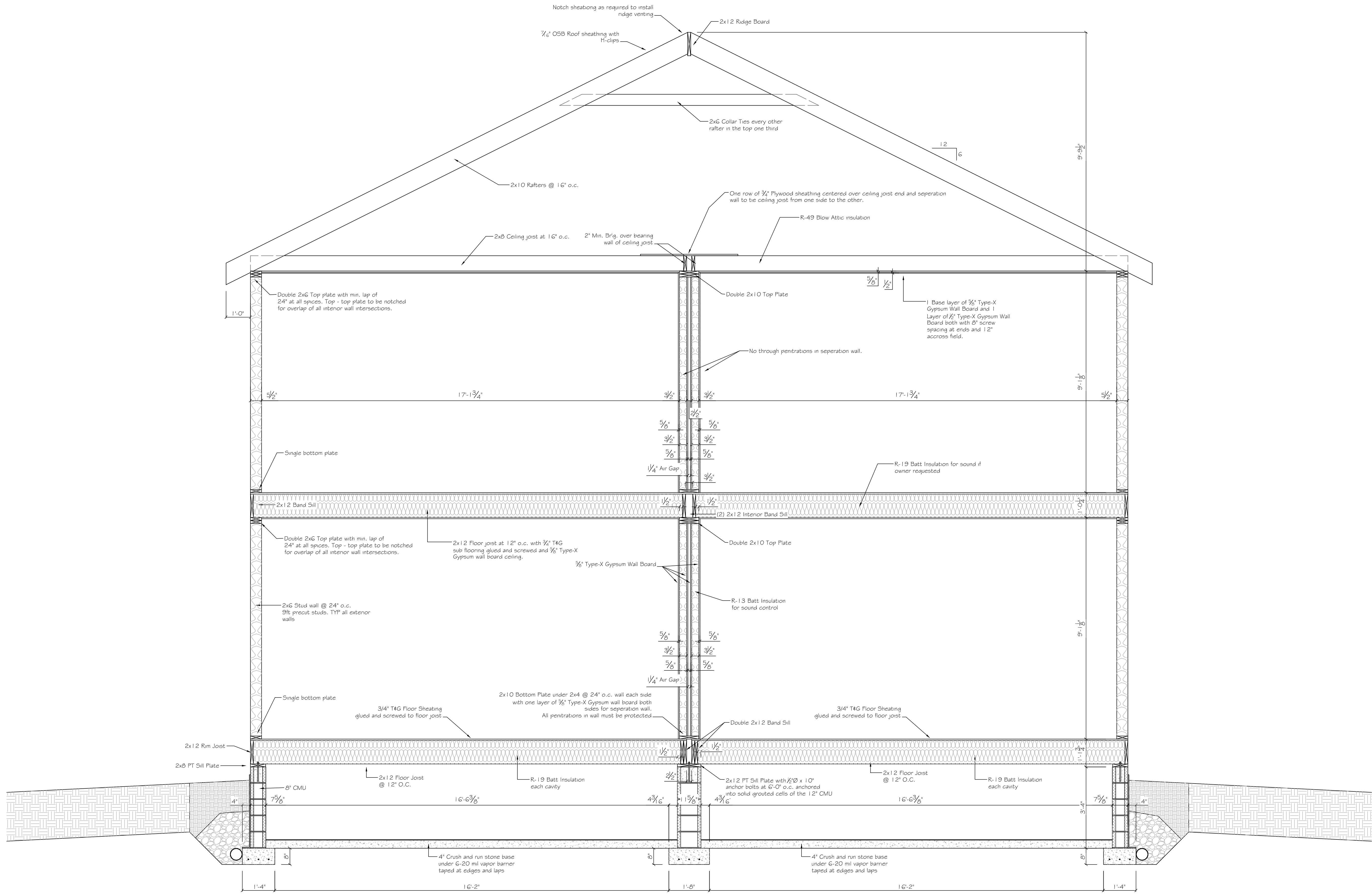
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Drawn By: ASOF GPS	



Building Section Front to Back
Scale: 1/2" = 1'-0"

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Drawn By: ASOF GPS	



Building Section Left to Right
Scale: 1/2" = 1'-0"

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8/23/2023

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