

DATE: 2/1/23

SITE PLAN

DRAWING NUMBER 368123

FOR Braden Family Properties LLC SCALE 1" = 30"

ADDRESS Johnston Street DISTRICT 5th COUNTY KNOX LOT NO.10-13 Forrest Park Add S/D

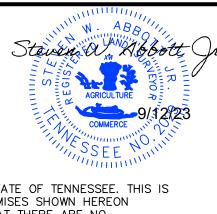
WARD 19th CITY BLOCK 19321 DRAWN BY SWA MAP CAB. P.B. 7, PG 5 GROUP C PARCEL 043.00 TAX MAP 081H

WARRANTY DEED BK. 202104060081983 MORTGAGE CO.

TITLE CO.

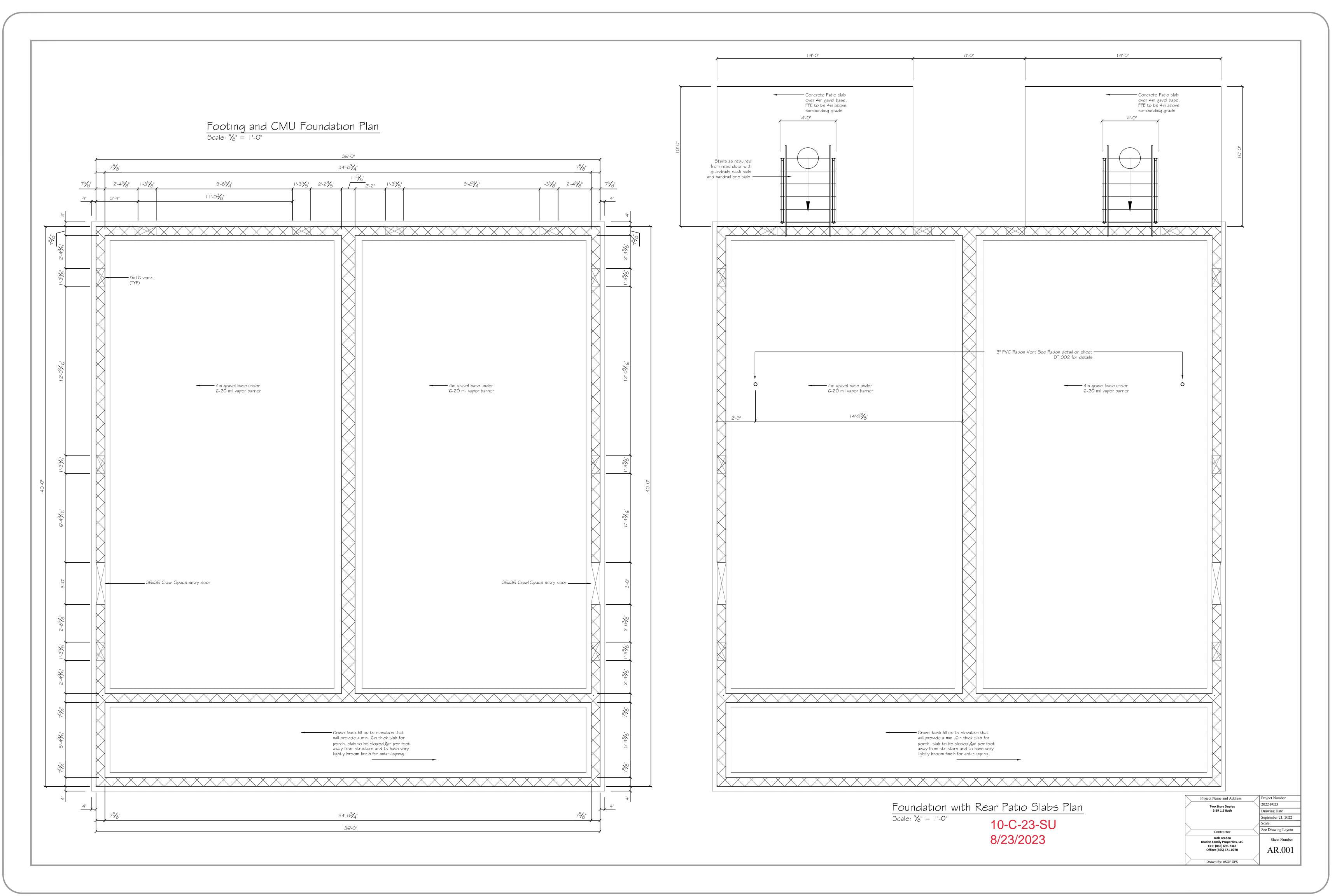
ABBOTT LAND SURVEYING LLC STEVEN W. ABBOTT JR, RLS 1109 E. WOODSHIRE DRIVE KNOXVILLE, TN 37922 OFFICE: (865) 671-1149 EMAIL: survmap@tds.net

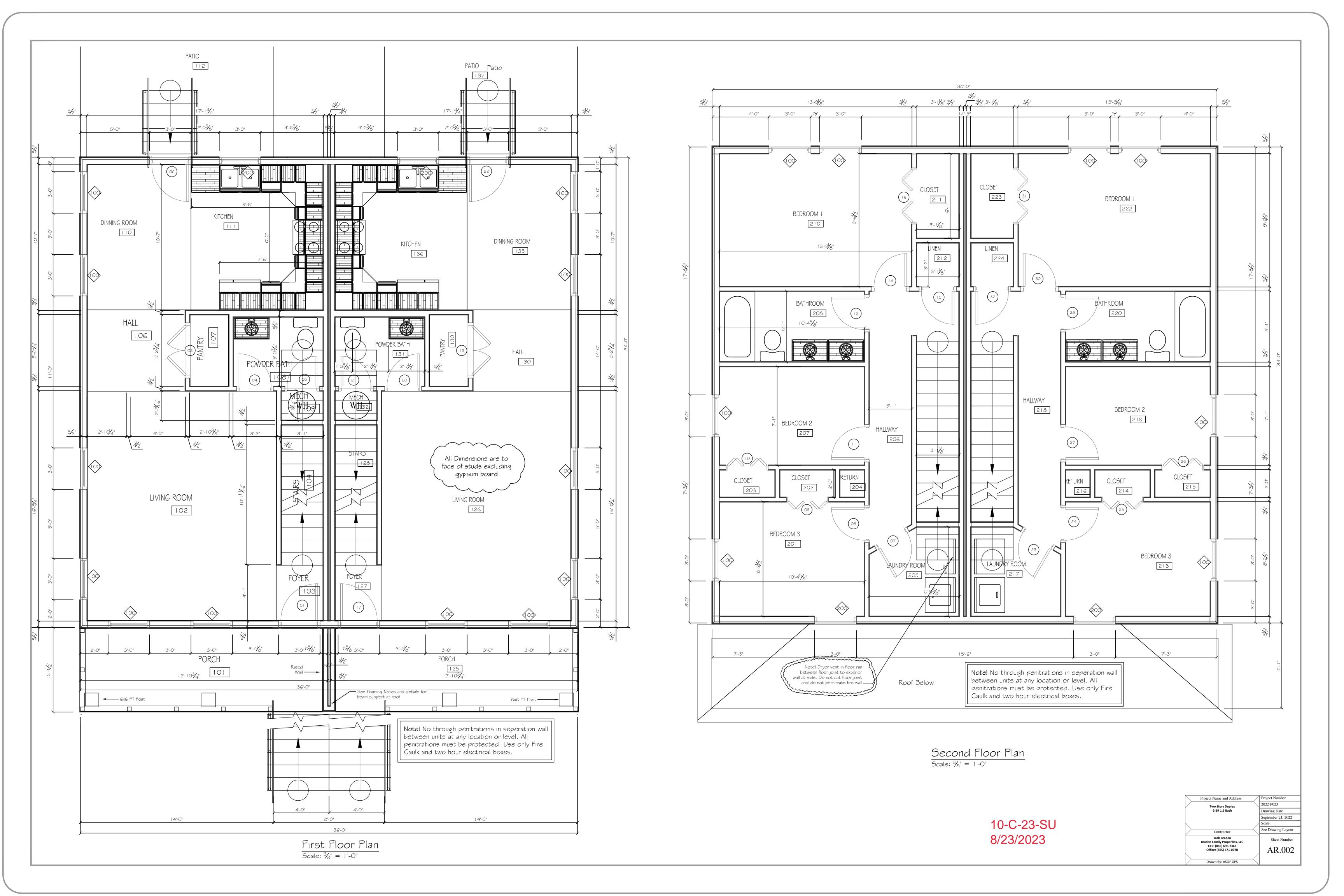
CITY KNOXVILLE STATE TN ZIP 37912

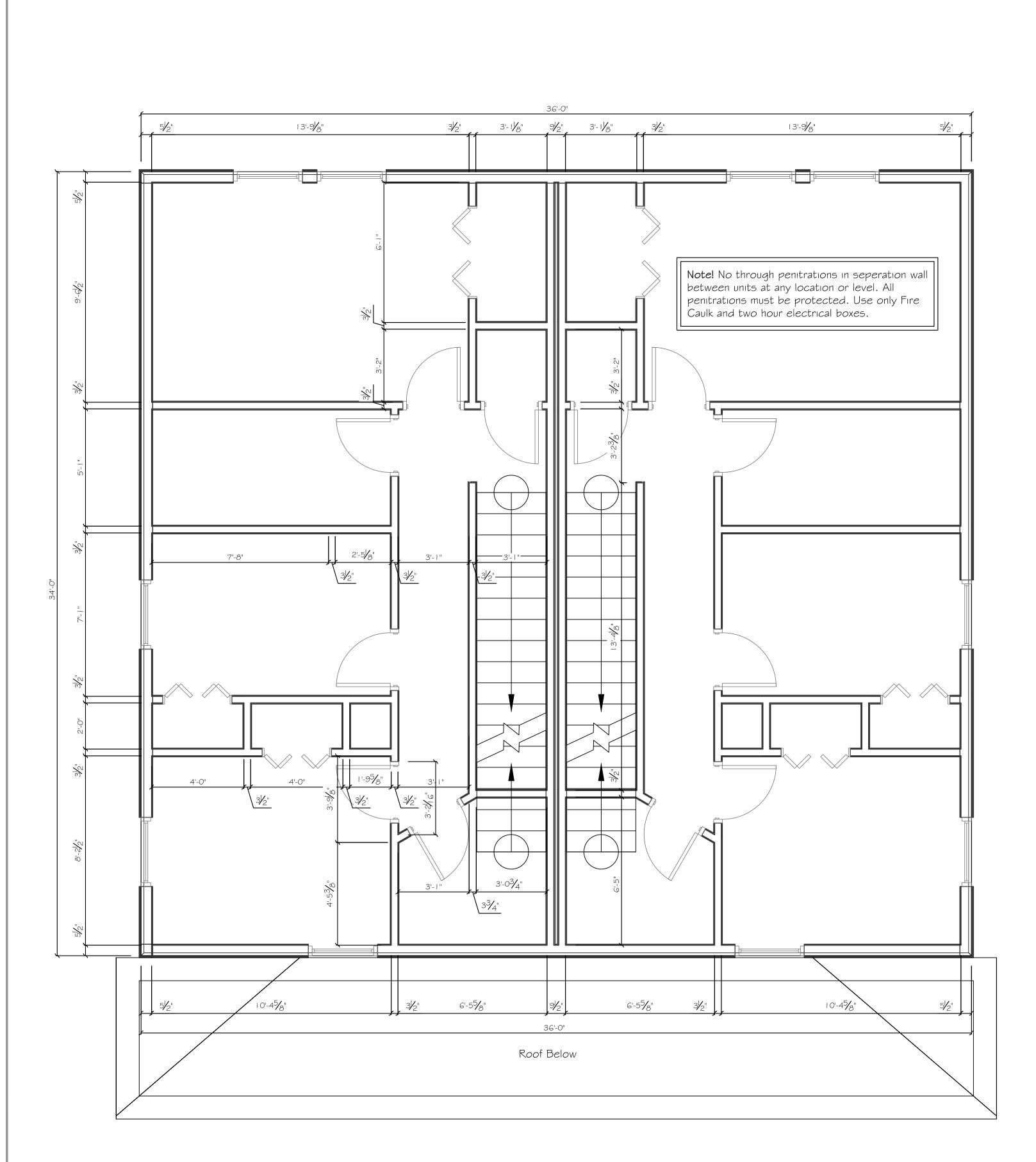


THIS IS TO CERTIFY THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR THE STATE OF TENNESSEE. THIS IS TO CERTIFY THAT ON THE DATE SHOWN, I MADE AN ACCURATE SURVEY OF THE PREMISES SHOWN HEREON USING THE LATEST RECORDED DEED AND OTHER INFORMATION FURNISHED TO ME, THAT THERE ARE NO EASEMENTS, ENCROACHMENTS OR PROJECTIONS EVIDENT OTHER THAN THOSE SHOWN. THE SURVEY WAS DONE UNDER THE AUTHORITY OF TCA 62–18–126: AND THE SURVEY IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820–3–07. THIS IS TO CERTIFY THAT I HAVE EXAMINED THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD MAP AND FOUND THE DESCRIBED NOT TO BE LOCATED IN A SPECIAL FLOOD









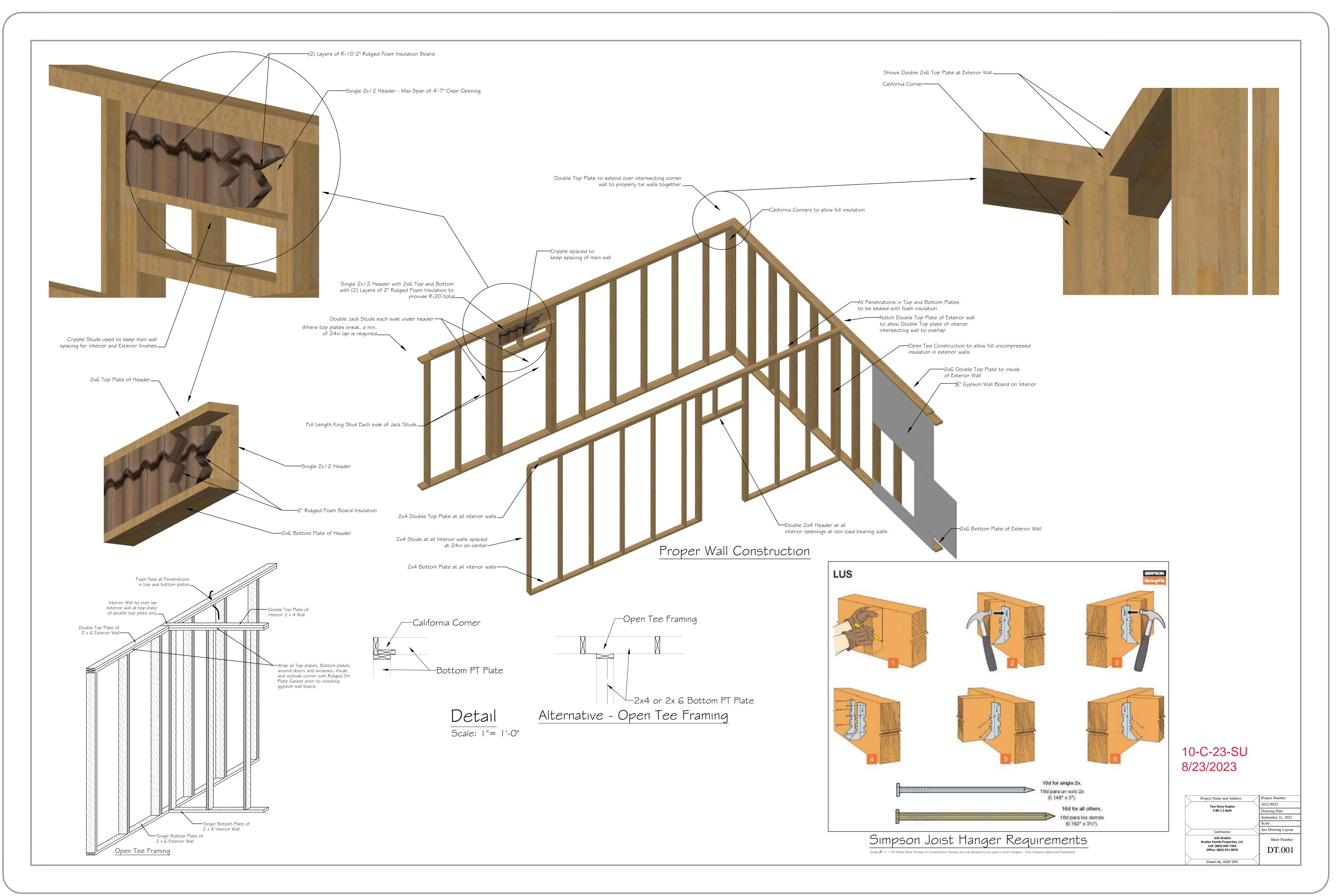
lumbar	ROOM NAME	Description	Area	NOTES
		•		NOTES
101	Porch	Unit A First Floor Front Porch	106.36 SF	
	Living Room	Unit A First Floor Living Room	227.08 SF	
103	Foyer	Unit A First Floor Entry Foyer	13.50 SF	
104	Stairs	Unit A Stairs to Second Floor	30.42 SF	
106	Hall	Unit A First Floor Hall Way	41.65 SF	
107	Pantry	Unit A First Floor Pantry Closet	14.32 SF	
108	Powder Bath	Unit A First Floor Powder Bath	32.16 SF	
109	Mech	Unit A First Floor Powder Bath Mechanical Closet	6.26 SF	
110	Dinning Room	Unit A First Floor Dinning Area	78.75 SF	
111	Kıtchen	Unit A First Floor Kitchen Area	100.30 SF	
112	Patio	Unit A First Floor Rear Patio	138.83 SF	
125	Porch	Unit B First Floor Front Porch	106.36 SF	?
126	Living Room	Unit B First Floor Living Room	227.08 SF	?
127	Foyer	Uint B First Floor Entry Foyer	13.50 SF	?
128	Stairs	Unit B Stairs to Second Floor	30.42 SF	?
130	Pantry	Unit B First Floor Pantry Closet	14.32 SF	?
130	Hall	Unit B First Floor Hall Way	41.65 SF	?
131	Powder Bath	Unit B First Floor Powder Bath	32.16 SF	?
132	Mech	Unit B First Floor Powder Bath Mechanical Closet		?
135	Dinning Room	Unit B First Floor Dinning Area	78.75 SF	?
136	Kıtchen	Unit B First Floor Kitchen Area	100.30 SF	?
137	Patio	Unit B First Floor Rear Patio	138.83 SF	?
201	Bedroom 3	Unit A Second Floor Bedroom #3	83.70 SF	?
202	Closet	Unit A Second Floor Bedroom 3 Closet	7.51 SF	?
203	Closet	Unit A Second Floor Bedroom 2 Closet	7.51 SF	?
204	Return	Unit A Second Floor Return Chase	3.29 SF	?
205	Laundry Room	Unit A Second Floor Laundry Room	37.09 SF	?
206	Hallway	Unit A Second Floor Hallway and Stairs	102.99 SF	?
207	Bedroom 2	Unit A Second Floor Bedroom 2	72.11 SF	?
208	Bathroom	Unit A Second Floor Bathroom	51.51 SF	?
210	Bedroom I	Unit A Second Floor Bedroom 1	129.36 SF	?
211	Closet	Unit A Second Floor Bedroom Closet	18.00 SF	?
212	Linen	Unit A Second Floor Linen Closet	9.25 SF	?
213	Bedroom 3	Unit B Second Floor Bedroom 3	83.70 SF	?
214	Closet	Unit B Second Floor Bedroom 3 Closet	7.51 SF	?
215	Closet	Unit B Second Floor Bedroom 2 Closet	7.51 SF	?
216	Return	Unit B Second Floor Return Chase	3.29 SF	?
217	Laundry Room	Unit B Second Floor Laundry Room	37.09 SF	?
218	Hallway	Unit B Seond Floor Hallway and Stairs	102.99 SF	?
219	Bedroom 2	Unit B Second Floor Bedroom 2	72.11 SF	?
220	Bathroom	Unit B Second Floor Bathroom	27.30 SF	?
222	Bedroom I	Unit B Second Floor Bedrrom 1	129.36 SF	?
223	Closet	Unit B Second Floor Bedroom Closet	18.00 SF	?
224	Linen	Unit B Second Floor Linen Closet	9.25 SF	7

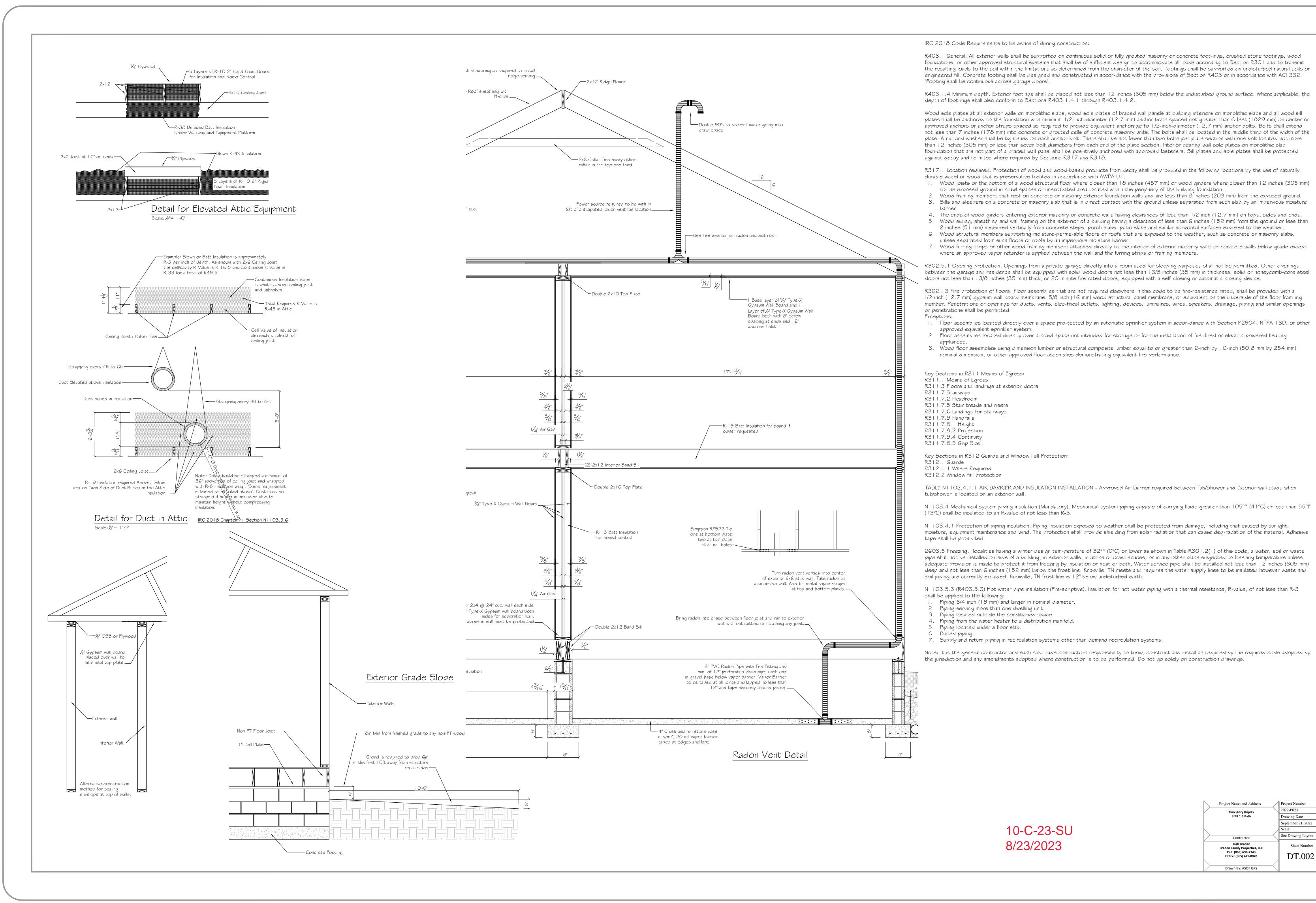
DOOR AND FRAME SCHEDULE							E
DOOR							
MARK		SIZE			GLAZING	NOTES	Hinge
IVIZALALA	WD	HGT	THK	MATL	CLAZINO		
1	3'-0"	6'-8"	1 3/4"	WOOD	FULL		RIGHT
3	4'-0"	6'-8"	1 3/4"	WOOD			OUT
4	2'-8"	6'-8"	1 3/4"	WOOD			LEFT
5	2'-6"	6'-8"	1 3/4"	WOOD			RIGHT
6	3'-0"	6'-8"	1 3/4"	WOOD	FULL		LEFT
7	2'-8"	6'-8"	1 3/4"	WOOD			RIGHT
8	2'-8"	6'-8"	1 3/4"	WOOD			RIGHT
9	3'-0"	6'-8"	1 3/4"	WOOD			OUT
10	3'-0"	6'-8"	1 3/4"	WOOD			OUT
11	2'-8"	6'-8"	1 3/4"	WOOD			LEFT
13	2'-8"	6'-8"	1 3/4"	WOOD			RIGHT
14	2'-8"	6'-8"	1 3/4"	WOOD			RIGHT
15	2'-8"	6'-8"	1 3/4"	WOOD			LEFT
16	4'-0"	6'-8"	1 3/4"	WOOD			OUT
17	3'-0"	6'-8"	1 3/4"	WOOD	FULL		LEFT
19	4'-0"	6'-8"	1 3/4"	WOOD			OUT
20	2'-8"	6'-8"	1 3/4"	WOOD			RIGHT
21	2'-6"	6'-8"	1 3/4"	WOOD			LEFT
22	3'-0"	6'-8"	1 3/4"	WOOD	FULL		RIGHT
23	2'-8"	6'-8"	1 3/4"	WOOD			LEFT
24	2'-8"	6'-8"	1 3/4"	WOOD			LEFT
25	3'-0"	6'-8"	1 3/4"	WOOD			OUT
26	3'-0"	6'-8"	1 3/4"	WOOD			OUT
27	2'-8"	6'-8"	1 3/4"	WOOD			RIGHT
28	2'-8"	6'-8"	1 3/4"	WOOD			LEFT
30	2'-8"	6'-8"	1 3/4"	WOOD			LEFT
31	4'-0"	6'-8"	1 3/4"	WOOD			OUT
32	2'-8"	6'-8"	1 3/4"	WOOD			RIGHT

		W	IND	ow s	CHEDULE	
MARK	SIZE		TVDE	MATERIAL	NOTES	Frame Material
	Width	HEIGHT	TYPE	MATERIAL	NOTES	Frame Material
100	3'-0"	5'-0"		VINYL		VINYL
100	3'-0"	5'-0"		VINYL		VINYL
100	3'-0"	5'-0"		VINYL		VINYL
100	3'-0"	5'-0"		VINYL		VINYL
100	3'-0"	5'-0"		VINYL		VINYL
100	3'-0"	5'-0"		VINYL		VINYL
100	3'-0"	5'-0"		VINYL		VINYL
100	3'-0"	5'-0"		VINYL		VINYL
100	3'-0"	5'-0"		VINYL		VINYL
100	3'-0"	5'-0"		VINYL		VINYL
100	3'-0"	5'-0"		VINYL		VINYL
100	3'-0"	5'-0"		VINYL		VINYL
100	3'-0"	5'-0"		VINYL		VINYL
100	3'-0"	5'-0"		VINYL		VINYL
100	3'-0"	5'-0"		VINYL		VINYL
100	3'-0"	5'-0"		VINYL		VINYL
100	3'-0"	5'-0"		VINYL		VINYL
100	3'-0"	5'-0"		VINYL		VINYL
100	3'-0"	5'-0"		VINYL		VINYL
100	3'-0"	5'-0"		VINYL		VINYL
200	3'-0"	3'-0"		VINYL		VINYL
200	3'-0"	3'-0"		VINYL		VINYL
200	3'-0"	3'-0"		VINYL		VINYL
200	3'-0"	3'-0"		VINYL		VINYL

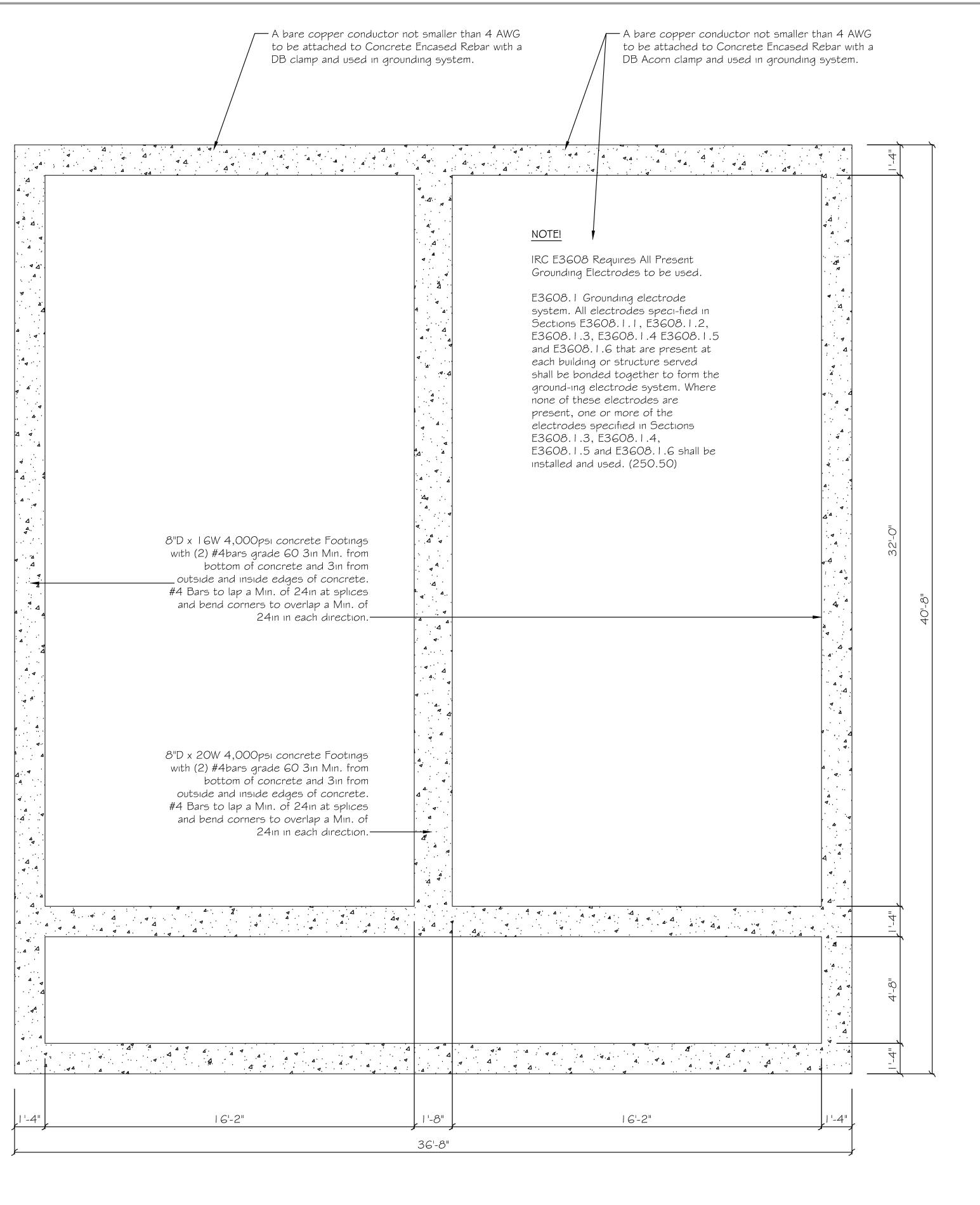
Second Floor Interior Dimension Plan Scale: 3/8" = 1'-0"

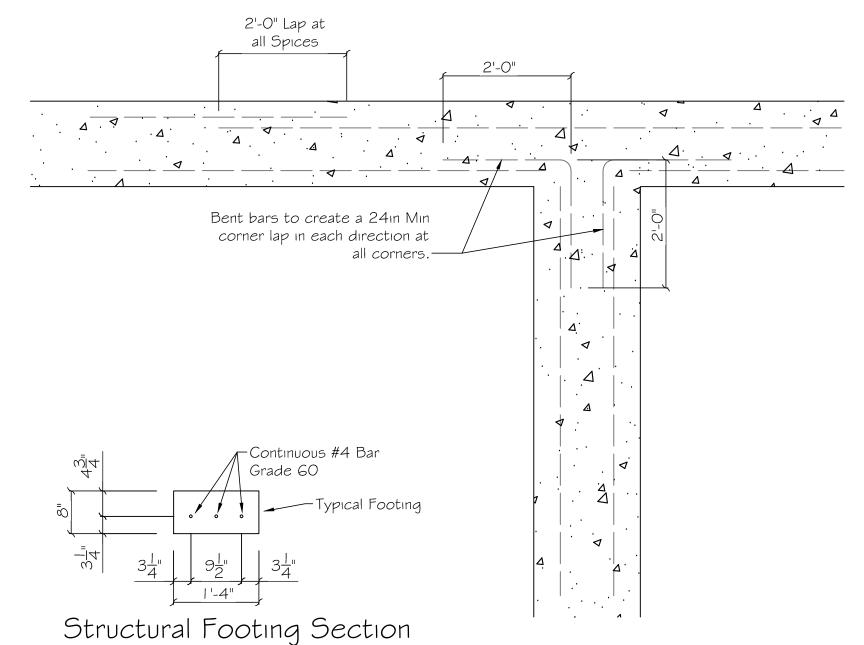
	Project Name and Address		Project Number
	Two Story Duplex	$\overline{}$	2022-P023
	3 BR 1.5 Bath		Drawing Date
			September 21, 2022
			Scale:
\rightarrow	Contractor	$\overline{}$	See Drawing Layout
	Josh Braden Braden Family Properties, LLC		Sheet Number
	Cell: (865) 696-7343 Office: (865) 471-0070		AR.003
\ <u></u>	Drawn By: ASOF GPS	\prec	



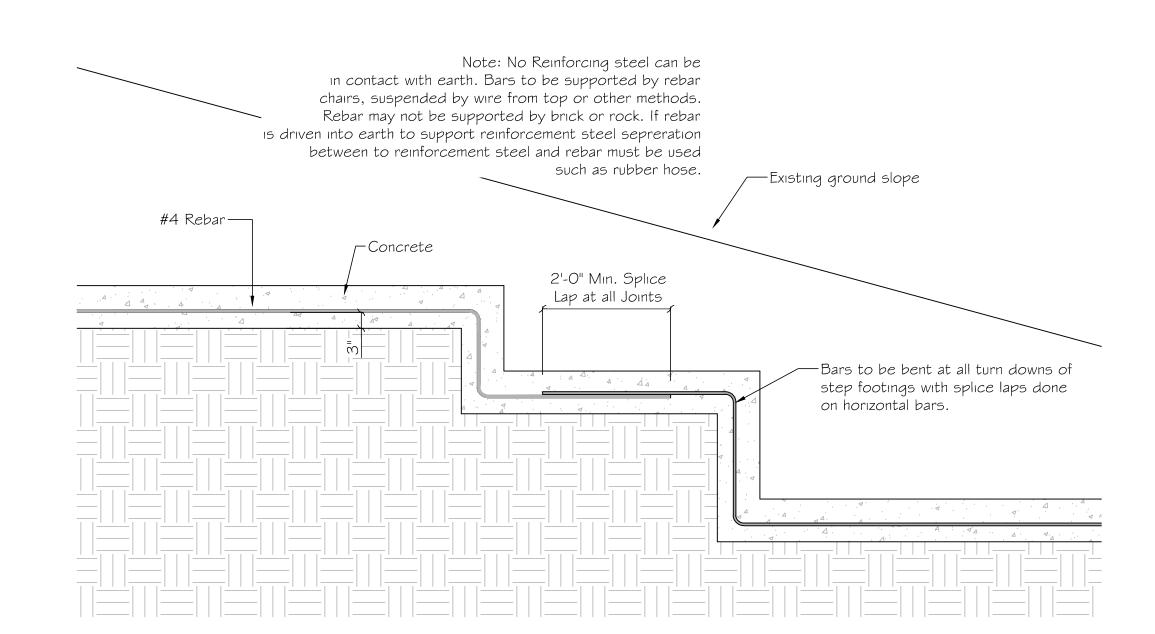








Scale: $\frac{3}{4}^{""} = 1'-0"$



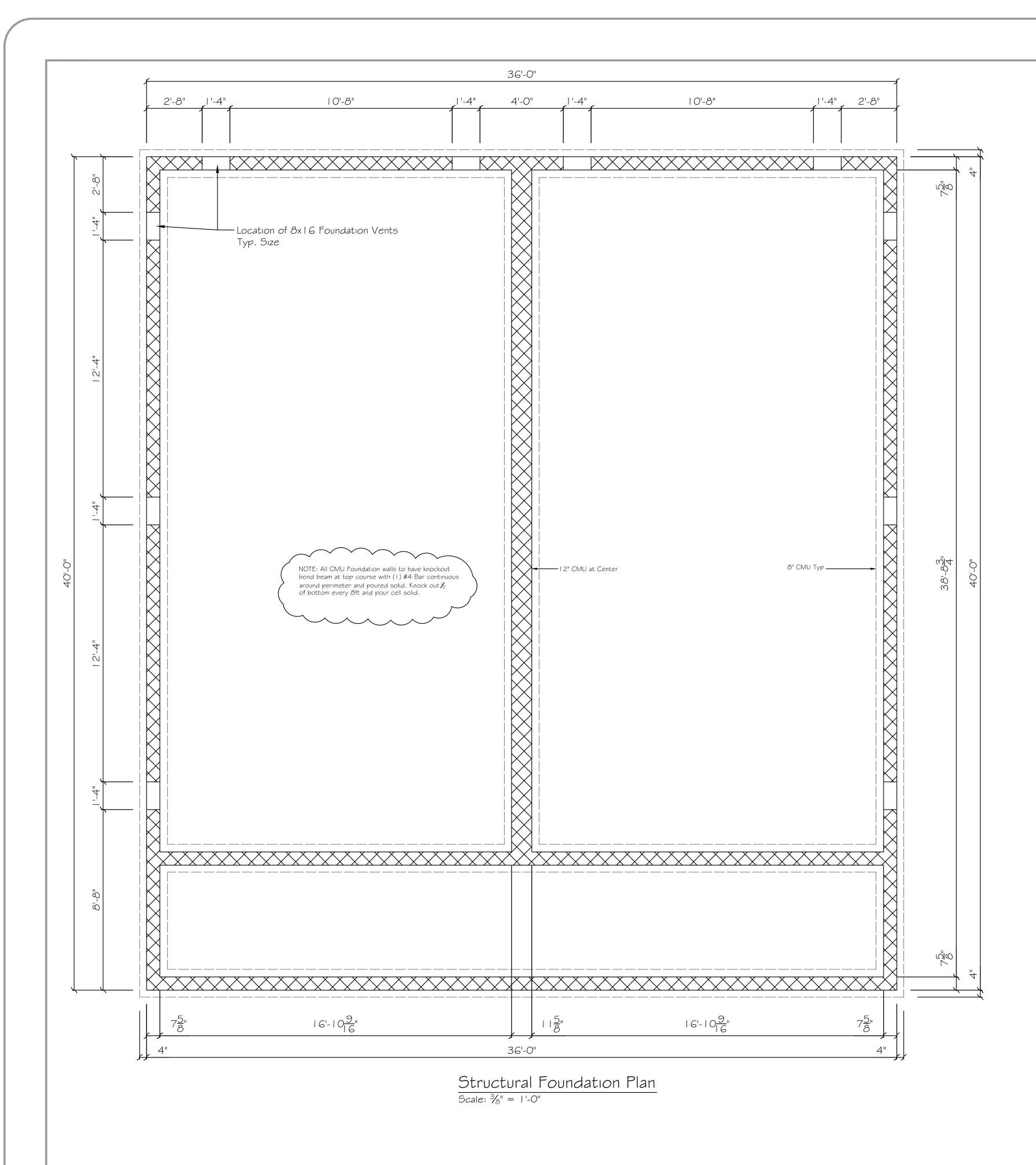
Structural Footing at Stepped Footings Section

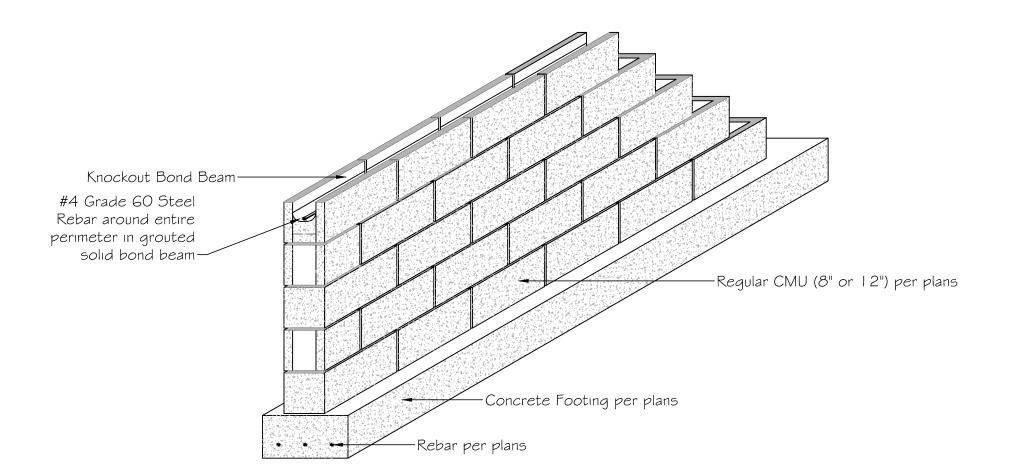
Scale: 3/4"" = 1'-0"

Structural Footing Plan
Scale: 3/8" = 1'-0"

10-C-23-SU 8/23/2023

	Project Name and Address		Project Number
	Two Story Duplex	$\overline{}$	2022-P023
	3 BR 1.5 Bath		Drawing Date
			September 21, 2022
			Scale:
\rightarrow	Contractor	\prec	See Drawing Layout
	Josh Braden Braden Family Properties, LLC		Sheet Number
	Cell: (865) 696-7343 Office: (865) 471-0070		SP-001
	Drawn By: ASOF GPS	\prec	



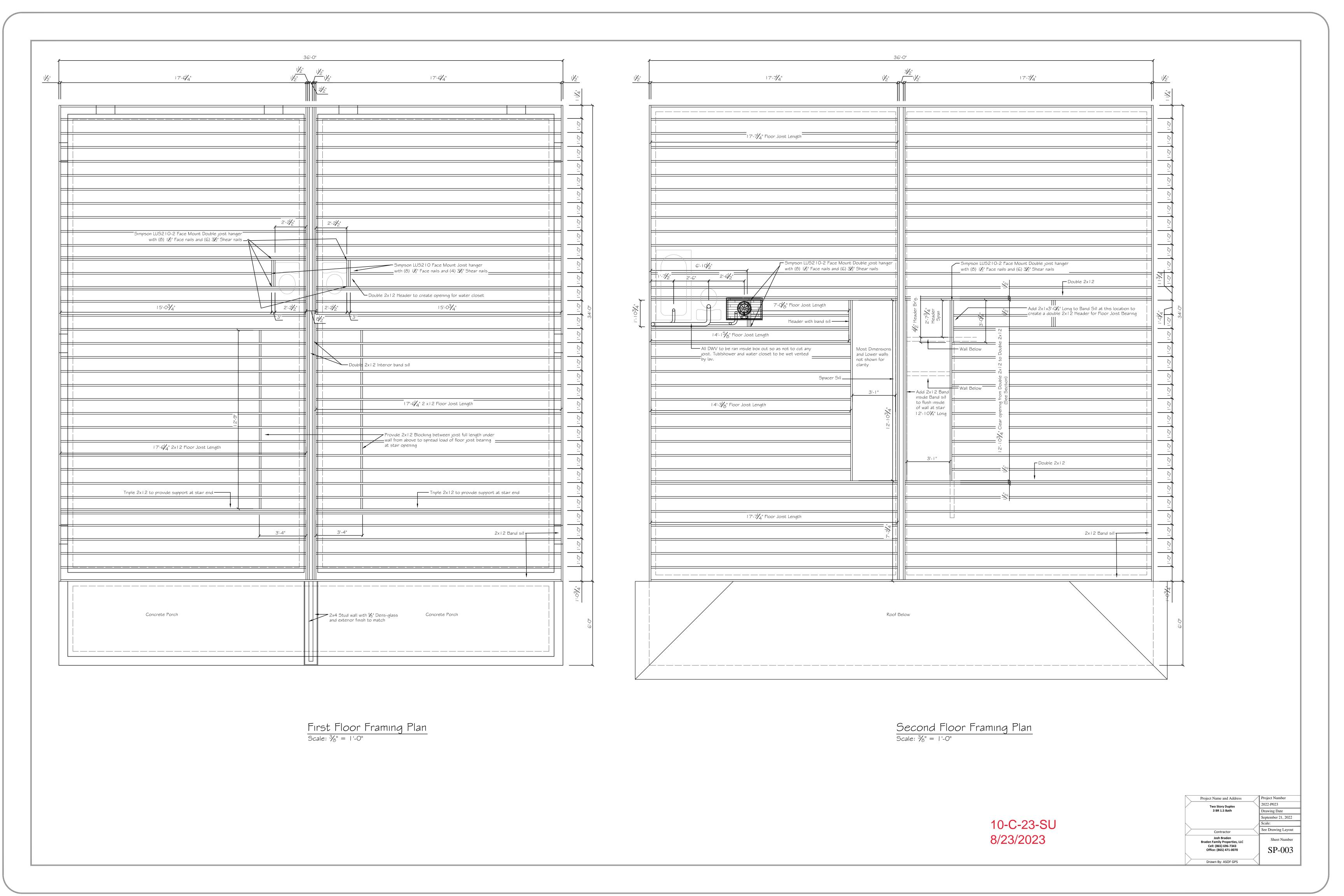


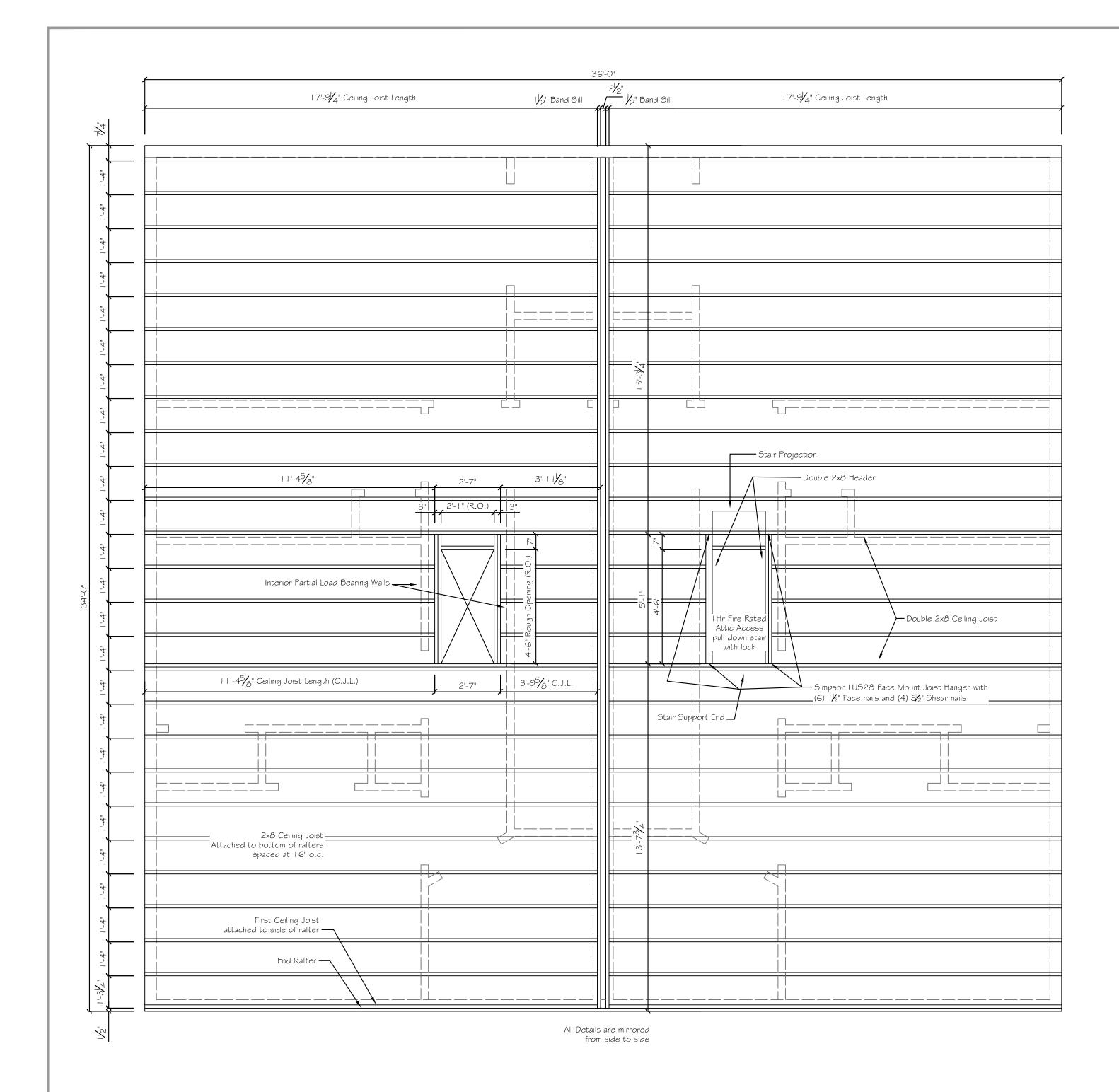
Structural Foundation Wall Detail

Scale: 3/8" = 1'-0"

10-C-23-SU 8/23/2023

	Project Name and Address		Project Number
\nearrow	Two Story Duplex	$\overline{}$	2022-P023
	3 BR 1.5 Bath		Drawing Date
			September 21, 2022
			Scale:
\rightarrow	Contractor	$\overline{}$	See Drawing Layout
	Josh Braden Braden Family Properties, LLC		Sheet Number
	Cell: (865) 696-7343 Office: (865) 471-0070		SP-002
\rightarrow	Drawn By: ASOF GPS	$\overline{}$	





____3½" Plywood Walkway & Bracing for Laterial ____Tie between Ceiling Joist from Side A to Side B__ 36'-0"

Ceiling Joist Framing Plan
Scale: 3/8" = 1'-0"

Attic Framing Plan
Scale: 3/8" = 1'-0"

10-C-23-SU 8/23/2023 Project Name and Address

Two Story Duplex
3 BR 1.5 Bath

Contractor

Josh Braden
Braden Family Properties, LLC
Cell: (865) 696-7343
Office: (865) 471-0070

Drawn By: ASOF GPS

Project Number
2022-P023
Drawing Date
September 21, 2022
Scale:
See Drawing Layout

Sheet Number
SP-004

