

P:\12886\12886-020\70 Land Development\dwg\PHASE 2\12886-020 LD-PHASE2.dwg, C-000, 9/22/2025 4:54:00 PM, Stahem, Rebecca

Larson Design Group

CONSTRUCTION PLANS FOR FEDEX SECURITY UPGRADE 10601 MURDOCK DRIVE, KNOXVILLE, TN 37932 12886-020

CONTRACTOR: JACKSON TAYLOR CONTRACTORS
7047 SPINACH DR, MENTOR, OH 44060

CLIENT: FEDEX GROUND
1000 FEDEX DRIVE
MOON TOWNSHIP, PA 15108



Larson Design Group, Inc.
3000 WESTINGHOUSE DRIVE
SUITE 400
CRANBERRY TWP, PA 16066
(877) 323-6603

SEAL

KNOX COUNTY PLANNING COMMENTS
ASCA FENCING/PARKING LOT EXPANSION
COMMENTS

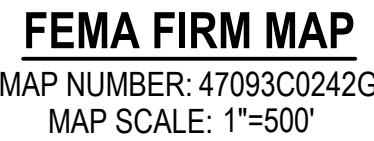
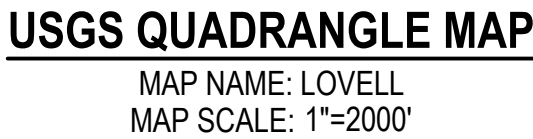
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7-16-2025
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FED-EX GROUND
1000 FEDEX DRIVE
MOON TOWNSHIP, PA 15108

FEDEX SECURITY UPGRADE - PHASE 2
10601 MURDOCK DRIVE
KNOXVILLE, TN 37932
COVER SHEET

Date: 2025-09-17
Project No.: 12886-020
Sheet No.: C-000

C-000



1. APPLICANT / RESPONSIBLE PARTY:
FEDEX GROUND
1000 FEDEX DRIVE
MOON TOWNSHIP, PA 15108
PHONE: 412.269.1000
2. ENGINEER:
LARSON DESIGN GROUP
ATTN: CHRIS SHEAFFER, PE
1780 ROUTE 522
SELISGROVE, PA 17870
724.591.8562
EMAIL: csheaffer@larsondesigngroup.com
3. PROJECT LOCATION:
10601 MURDOCK DRIVE, KNOXVILLE, TN 37932
COUNTY/MUNICIPALITY: KNOX COUNTY, CITY OF KNOXVILLE

- THE PROPERTY BOUNDARY IS SHOWN FROM HISTORICAL RECORDS AND SHOULD BE CONSIDERED APPROXIMATE, AS THE BOUNDARY MARKERS WERE NOT FIELD IDENTIFIED.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE STARTING WORK. ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS, SPECIFICATIONS, SITE CONDITIONS, OR ANY INCONSISTENCIES OR AMBIGUITIES IN THE DRAWINGS OR SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO FEDEX IN WRITING. FEDEX SHALL PROMPTLY ADDRESS SUCH INCONSISTENCIES OR AMBIGUITIES. WORK DONE BY THE CONTRACTOR AFTER HIS DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES, WITHOUT RECEIVING A RESPONSE FROM FEDEX SHALL BE DONE AT THE CONTRACTOR'S RISK.
3. THE CONTRACTOR SHALL PROMPTLY NOTIFY FEDEX, IN WRITING, OF ANY SUBSURFACE OR LATENT PHYSICAL CONDITIONS AT THE SITE DIFFERING MATERIALLY FROM THOSE INDICATED IN THE CONTRACT DOCUMENTS.
4. THE GENERAL CONTRACTOR SHALL COORDINATE ALL SITE/CIVIL IMPROVEMENTS WITH OTHER PRIME CONTRACTOR'S WORK. SEE ARCHITECTURAL, STRUCTURAL, PLUMBING AND ELECTRICAL SHEETS FOR ADDITIONAL REQUIREMENTS.
5. THESE CONTRACT DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THE CONSTRUCTION OF ALL PROPOSED IMPROVEMENTS, COMPLETE AND IN PLACE. CONTRACTOR SHALL CAREFULLY REVIEW ALL DOCUMENTS INCLUDING BUT NOT LIMITED TO THE GENERAL CONDITIONS, AGREEMENT, GENERAL SPECIFICATIONS, TECHNICAL SPECIFICATIONS AND ALL ISSUED CORRECTIVE PLANS, INTERPRETATIONS, AND OTHER DOCUMENTATION ISSUED THROUGHOUT THE LENGTH OF THE CONTRACT.
6. THIS PLAN IS NOT TO BE CONSTRUED AS AN ENVIRONMENTAL AUDIT/ASSESSMENT PLAN. THIS SURVEY MAKES NO WARRANTY OR GUARANTEE EITHER EXPRESSED OR IMPLIED AS TO THE ENVIRONMENTAL CONDITIONS OF THE PREMISES HEREON DESCRIBED
7. THE CONTRACTOR, DURING THE PERFORMANCE OF ALL WORK ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT, IS RESPONSIBLE FOR COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS, CODES, AND REGULATIONS. THE CONTRACTOR SHALL TAKE ALL SAFETY PRECAUTIONS AS REQUIRED TO PROTECT EMPLOYEES AND OTHER PERSONS FROM INJURY.
8. WHEN ALTERATIONS OF ANY PEDESTRIAN FACILITIES ARE PROPOSED, THE CONTRACTOR SHALL CONSTRUCT ALL PROPOSED PEDESTRIAN FACILITIES ON THESE PLANS TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT, PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), AND THE ADA STANDARDS, CURRENT EDITION.
9. THE CONTRACTOR IS NOTIFIED THAT OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) CLEARANCES MUST BE MAINTAINED TO OVERHEAD POWER LINES FROM ANY MATERIALS AND/OR CONSTRUCTION EQUIPMENT. EACH CONTRACTOR OR SUBCONTRACTOR IS RESPONSIBLE FOR ADHERENCE TO OSHA STANDARDS IN THIS REGARD.
10. OSHA EXCAVATION STANDARDS APPLY TO THIS CONTRACT. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE OVERALL SAFETY PROGRAM FOR THE ENTIRE SITE INCLUDING TRENCHES AND STRUCTURES.
11. IF ADJUSTMENTS TO EXISTING UTILITIES ARE REQUIRED AND INDICATED ON THE PLANS, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND WORK WITH UTILITY VALVES FOR THE ADJUSTMENT OR RELOCATION OF UTILITY SURFACE FEATURES, I.E., VALVE BOXES, UTILITY POLES, MANHOLES, ETC. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OF CONFLICTING UTILITIES WHICH ARE A RESULT OF THESE IMPROVEMENTS.
12. THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS SITE PLAN ARE BASED ON LIMITED SURFACE EVIDENCE, AND INFORMATION PROVIDED BY FEDEX AND SHALL BE CONSIDERED APPROXIMATE. THE CONTRACTOR, IN COMPLIANCE WITH THE LAW, IS ALSO RESPONSIBLE FOR LOCATING ALL PUBLIC OR PRIVATE UTILITIES WHICH LIE IN OR ADJACENT TO THE PROJECT SITE BEFORE STARTING WORK. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATELY REPAIRING, AT HIS EXPENSE, ALL EXISTING UTILITIES DAMAGED DURING CONSTRUCTION AS LONG AS THOSE UTILITIES WERE PROPERLY MARKED BY THE UTILITY OWNER(S).

13. THE GENERAL CONTRACTOR SHALL COMPLY WITH THE APPROVED E&S PLAN. STRIPPING OF VEGETATION, RE-GRADING, OR OTHER WORK, SHALL BE DONE IN A MANNER THAT WILL MINIMIZE EROSION. ANY EROSION AND SEDIMENT POLLUTION CONTROLS THAT ARE DEEMED NECESSARY BY THE LOCAL COUNTY CONSERVATION DISTRICT SHALL BE IMPLEMENTED IMMEDIATELY BY THE CONTRACTOR. WHENEVER SEDIMENTATION IS CAUSED BY STRIPPING VEGETATION, RE-GRADING, OR OTHER DEVELOPMENT, IT SHALL BE THE RESPONSIBILITY OF THE PERSON, CORPORATION OR OTHER ENTITY CAUSING SUCH SEDIMENTATION TO REMOVE IT FROM ALL ADJOINING SURFACES, DRAINAGE SYSTEMS, AND WATERCOURSES AND TO REPAIR ANY DAMAGE. DISTURBED SOILS SHALL BE STABILIZED IMMEDIATELY. TEMPORARY VEGETATION AND/OR MULCHING SHALL BE USED TO PROTECT EXPOSED CRITICAL AREAS DURING CONSTRUCTION. MEASURES NECESSARY FOR DUST CONTROL SHALL BE EXERCISED DURING ALL CONSTRUCTION OPERATIONS.
14. THE DESIGNATION OF EXCESS WASTE DISPOSAL AND CONSTRUCTION STAGING AREAS, WHICH MAY BE REQUIRED BUT ARE NOT NOTED ON THE PLANS, ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL CONSTRUCTION DEBRIS, INCLUDING EXCESS EXCAVATED MATERIAL, ASPHALT, CONCRETE, SCRAP WOOD, ETC. SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
15. EROSION AND SEDIMENT POLLUTION CONTROL MEASURES SHALL BE MAINTAINED CONTINUOUSLY, RELOCATED AS NECESSARY, AND SHALL BE CHECKED AFTER EVERY RAINFALL. SEEDED AREAS SHALL BE CHECKED REGULARLY AND SHALL BE WATERED, FERTILIZED, RESEDED, AND MULCHED, AS NECESSARY, TO OBTAIN A DENSE COVER OF GRASS.
16. ALL EXCAVATIONS, INCLUDING TRENCHES, SHALL BE KEPT DRY TO PROTECT THEIR INTEGRITY. IF PUMPING OF AN OPEN TRENCH IS NECESSARY DURING THE COURSE OF CONSTRUCTION, A SEDIMENT FILTER BAG OR OTHER FORM OF FILTERING IS REQUIRED BEFORE DISCHARGING INTO THE STORM SYSTEM.
17. ALL INLETS WITHIN THE PROJECT SITE SHALL BE EQUIPPED WITH STRUCTURAL STEEL BICYCLE SAFE GRATES, UNLESS SPECIFICALLY STATED OTHERWISE, AND BE SET FLUSH WITH THE ADJACENT WEARING COURSE OR FINISHED GRADE.

- DEMOLITION INCLUDES THE FOLLOWING:
 - A. DEMOLITION AND REMOVAL OF BUILDINGS OR PARTS THEREOF.
 - B. DEMOLITION AND REMOVAL OF SITE IMPROVEMENTS.
 - C. DISCONNECTING, CAPPING OR SEALING, AND ABANDONING SITE UTILITIES IN PLACE.
 - D. DISCONNECTING, CAPPING OR SEALING, AND REMOVING SITE UTILITIES.
2. REMOVE AND REINSTALL: REMOVE AND REINSTALL OF ITEMS EXCEPT THOSE INDICATED TO BE REINSTALLED, SALVAGED, OR TO REMAIN.
3. REMOVE AND REINSTALL: REMOVE ITEMS INDICATED: CLEAN, SERVICE, AND OTHERWISE PREPARE THEM FOR REUSE; STORE AND PROTECT AGAINST DAMAGE; REINSTALL ITEMS IN LOCATIONS INDICATED.
4. EXISTING TO REMAIN: PROTECT ITEMS INDICATED TO REMAIN AGAINST DAMAGE AND SOILING DURING DEMOLITION. WHEN PERMITTED BY OWNER, ITEMS MAY BE REMOVED TO A SUITABLE, PROTECTED STORAGE LOCATION AND THEN CLEANED AND REINSTALLED IN THEIR ORIGINAL LOCATIONS.
5. CONTRACTOR SHALL SCHEDULE DEMOLITION ACTIVITIES WITH THE OWNER INDICATING THE FOLLOWING:
 - A. DETAILED SEQUENCE OF DEMOLITION AND REMOVAL WORK WITH STARTING AND ENDING DATES.
 - B. CONTINUATION OF UTILITY SERVICES.
 - C. IDENTIFY AND ACCURATELY LOCATE CAPPED UTILITIES AND OTHER SUBSURFACE STRUCTURAL, ELECTRICAL, OR MECHANICAL CONDITIONS.
6. REGULATORY REQUIREMENTS: COMPLY WITH GOVERNING EPA OR DEP NOTIFICATION REGULATIONS BEFORE STARTING DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
7. ASBESTOS: IT IS NOT EXPECTED THAT ASBESTOS WILL BE ENCOUNTERED IN THE COURSE OF THIS CONTRACT. IF ANY MATERIALS SUSPECTED OF CONTAINING ASBESTOS ARE ENCOUNTERED, DO NOT DISTURB THE MATERIALS. IMMEDIATELY NOTIFY THE OWNER.
8. ON-SITE STORAGE OR SALE OF REMOVED ITEMS OR MATERIALS WILL NOT BE PERMITTED.
9. OBTAIN APPROVED BORROW SOIL MATERIALS FROM OFF-SITE WHEN SUFFICIENT SATISFACTORY SOIL MATERIALS ARE NOT AVAILABLE ON-SITE. CONTRACTOR IS RESPONSIBLE FOR PERMITTING OF ALL OFF-SITE BORROW AND WASTE AREAS.
10. SURVEY THE CONDITION OF THE BUILDING OR OTHER STRUCTURE TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN A STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF THE STRUCTURE OR ADJACENT STRUCTURES DURING DEMOLITION.
11. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE PENNSYLVANIA ONE CALL SYSTEM BY CALLING 811 NO LESS THAN THREE (3) WORKING DAYS PRIOR TO BEGINNING WORK AS REQUIRED BY LAW. STOP-CALL BEFORE YOU DIG!
12. MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
 - A. DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED OR OPERATING FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY THE OWNER AND AUTHORITIES HAVING JURISDICTION.
 - B. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES AS ACCEPTABLE TO OWNER AND TO GOVERNING AUTHORITIES.
12. UTILITY REQUIREMENTS: LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITY SERVICES SERVING STRUCTURES TO BE DEMOLISHED.
 - A. ARRANGE TO SHUT OFF INDICATED UTILITIES WITH UTILITY COMPANIES AND FOLLOW THEIR RESPECTIVE UTILITY KILL POLICIES.
13. DO NOT START DEMOLITION WORK UNTIL UTILITY DISCONNECTING AND SEALING HAVE BEEN COMPLETED AND VERIFIED IN WRITING.
14. CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES.
 - A. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER ADJACENT OCCUPIED OR USED FACILITIES WITH SERVICES SERVING STRUCTURES FROM OWNER AND AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFICWAYS IF REQUIRED BY GOVERNING REGULATIONS.
15. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND DEMOLITION AREA.
 - A. ERECT TEMPORARY PROTECTION AND/OR BARRICADES AS PER PLAN.
 - B. PROTECT EXISTING SITE IMPROVEMENTS AND APPURTENANCES TO REMAIN.
16. EXPLOSIVES: USE OF EXPLOSIVES WILL NOT BE PERMITTED.
17. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
18. CLEAN ADJACENT BUILDINGS AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITIONS EXISTING BEFORE START OF DEMOLITION.
19. BUILDING DEMOLITION: DEMOLISH BUILDINGS COMPLETELY AND REMOVE FROM THE SITE. USE METHODS REQUIRED TO COMPLETE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS AND AS FOLLOWS:
 - A. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE BUILDING AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS OR FRAMING.
 - B. DISPOSE OF DEMOLISHED ITEMS AND MATERIALS PROMPTLY.

[illegible]

SITE COVERAGE DATA:		
PROPERTY SIZE:	411,906 SF	9.46 AC
EXISTING IMPERVIOUS COVER:	198,788 SF	4.56 AC (48.3%)
EXISTING VEGETATIVE COVER:	213,118 SF	4.89 AC (51.7%)
PROPOSED ADDITIONAL IMPERVIOUS (THIS PROJECT):	42,515 SF	0.98 AC
PROPOSED IMPERVIOUS COVER:	241,303 SF	5.54 AC (58.6%)
PROPOSED VEGETATIVE COVER:	170,603 SF	3.92 AC (41.4%)

TOTAL PARKING AREA: 133,258 SF
TOTAL LANDSCAPING AREA: 23,409 SF (17.6%)

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FED-EX GROUND
1000 FEDEX DRIVE
MOON TOWNSHIP, PA 15108

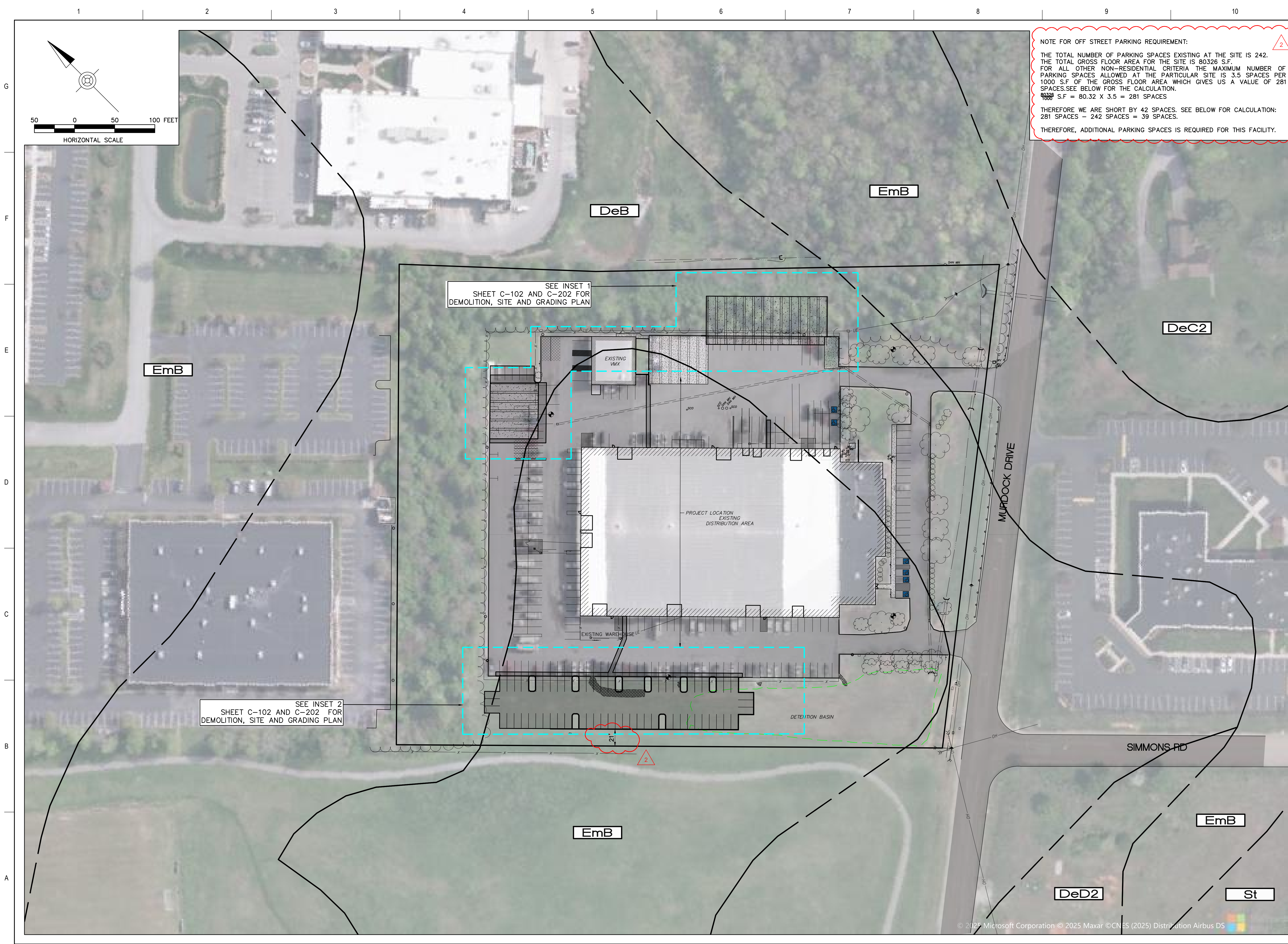
FEDEX SECURITY UPGRADE - PHASE 2

GENERAL NOTES

Date:	2025-09-1
Project No.:	12886-02
Sheet No.:	

C-001

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NOTE FOR OFF STREET PARKING REQUIREMENT:

THE TOTAL NUMBER OF PARKING SPACES EXISTING AT THE SITE IS 242.
THE TOTAL GROSS FLOOR AREA FOR THE SITE IS 80326 S.F.
FOR ALL OTHER NON-RESIDENTIAL CRITERIA THE MAXIMUM NUMBER OF
PARKING SPACES ALLOWED AT THE PARTICULAR SITE IS 3.5 SPACES PER
1000 S.F. OF THE GROSS FLOOR AREA WHICH GIVES US A VALUE OF 281
SPACES. SEE BELOW FOR THE CALCULATION.
 $80326 \text{ S.F.} = 80.32 \times 3.5 = 281 \text{ SPACES}$

THEREFORE WE ARE SHORT BY 42 SPACES. SEE BELOW FOR CALCULATION:
 $281 \text{ SPACES} - 242 \text{ SPACES} = 39 \text{ SPACES}$.

THEREFORE, ADDITIONAL PARKING SPACES IS REQUIRED FOR THIS FACILITY.

LDG
Larson Design Group, Inc.
3000 WESTINGHOUSE DRIVE
SUITE 400
CRANBERRY TWP, PA 16066
(877) 323-6603

SEAL		KNOX COUNTY PLANNING COMMENTS		ASCA FENCING/PARKING LOT EXPANSION		COMMENTS	
2	09-17-2025	1	7-16-2025	DATE	DATE	DATE	DATE
1	09-17-2025	1	7-16-2025	DATE	DATE	DATE	DATE

FED-EX GROUND
1000 FEDEX DRIVE
MOON TOWNSHIP, PA 15108

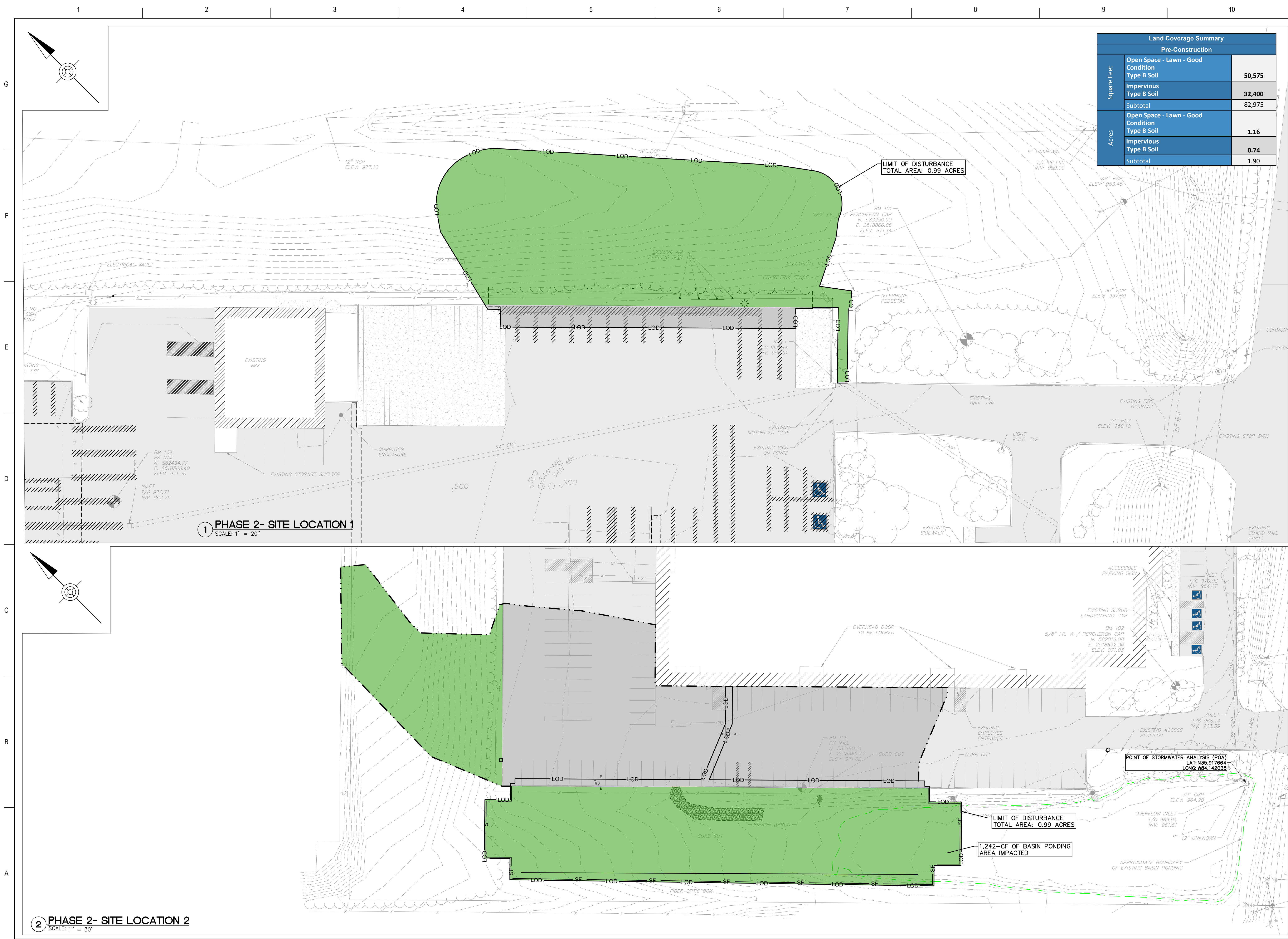
FEDEX SECURITY UPGRADE - PHASE 2
10601 MURDOCK DRIVE
KNOXVILLE, TN 37932


OVERALL SITE PLAN

Date: 2025-09-17
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Sheet No.:

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Larson Design Group, Inc.
3000 WESTINGHOUSE DRIVE
SUITE 400
CRANBERRY TWP, PA 16066
(877) 323-6603

SEAL

NO.	DATE	REVISION
1	09-17-2025	ASCA FENCING/PARKING LOT EXPANSION
2	09-17-2025	KNOX COUNTY PLANNING COMMENTS

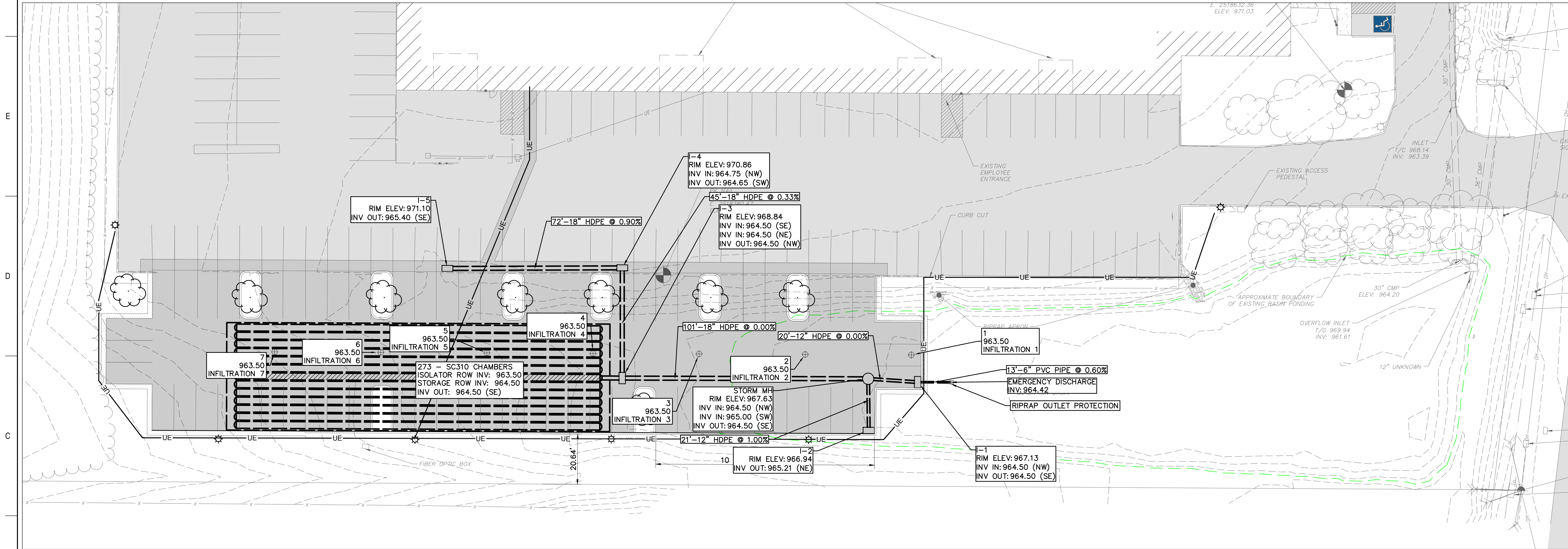
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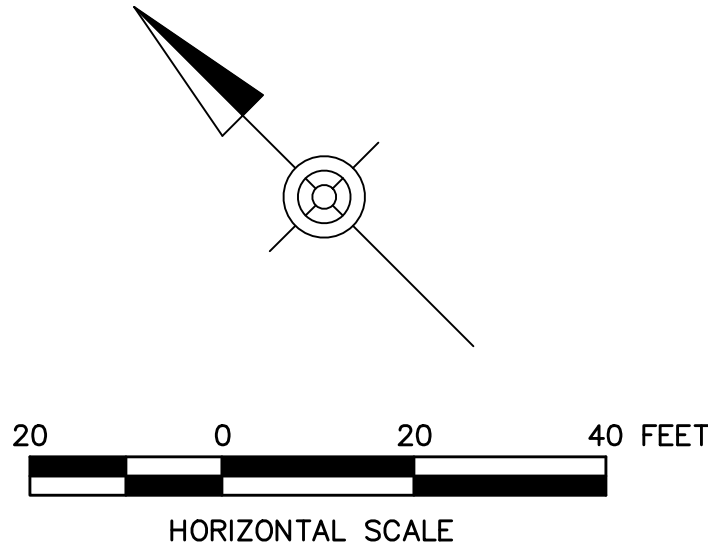
PRE DEVELOPMENT DRAINAGE AREAS

Date: 2025-09-17
Project No.: 12886-020
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- STORMWATER NOTES:
1. VOLUME OF EXISTING BASIN FILLED IN: 1,242 CU FT
 2. MAX STORAGE OF CHAMBERS: 13,892 CU FT



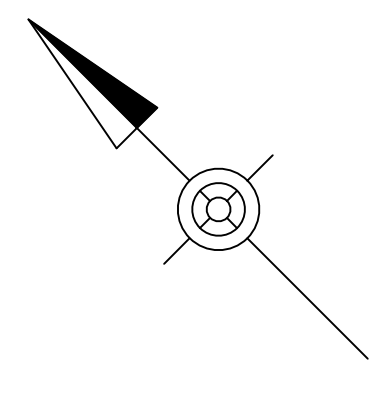
SEAL		KNOX COUNTY PLANNING COMMENTS	
		2	09-17-2025
		1	7-16-2025
		MARK	DATE
		ASCA FENCING/PARKING LOT EXPANSION COMMENTS	

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FEDEX SECURITY UPGRADE - PHASE 2
10601 MURDOCK DRIVE
KNOXVILLE, TN 37932

STORMWATER MANAGEMENT PLAN

Date: 2025-09-17
Project No.: 12886-020
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Larson Design Group, Inc.
 3000 WESTINGHOUSE DRIVE
 SUITE 400
 CRANBERRY TWP, PA 16066
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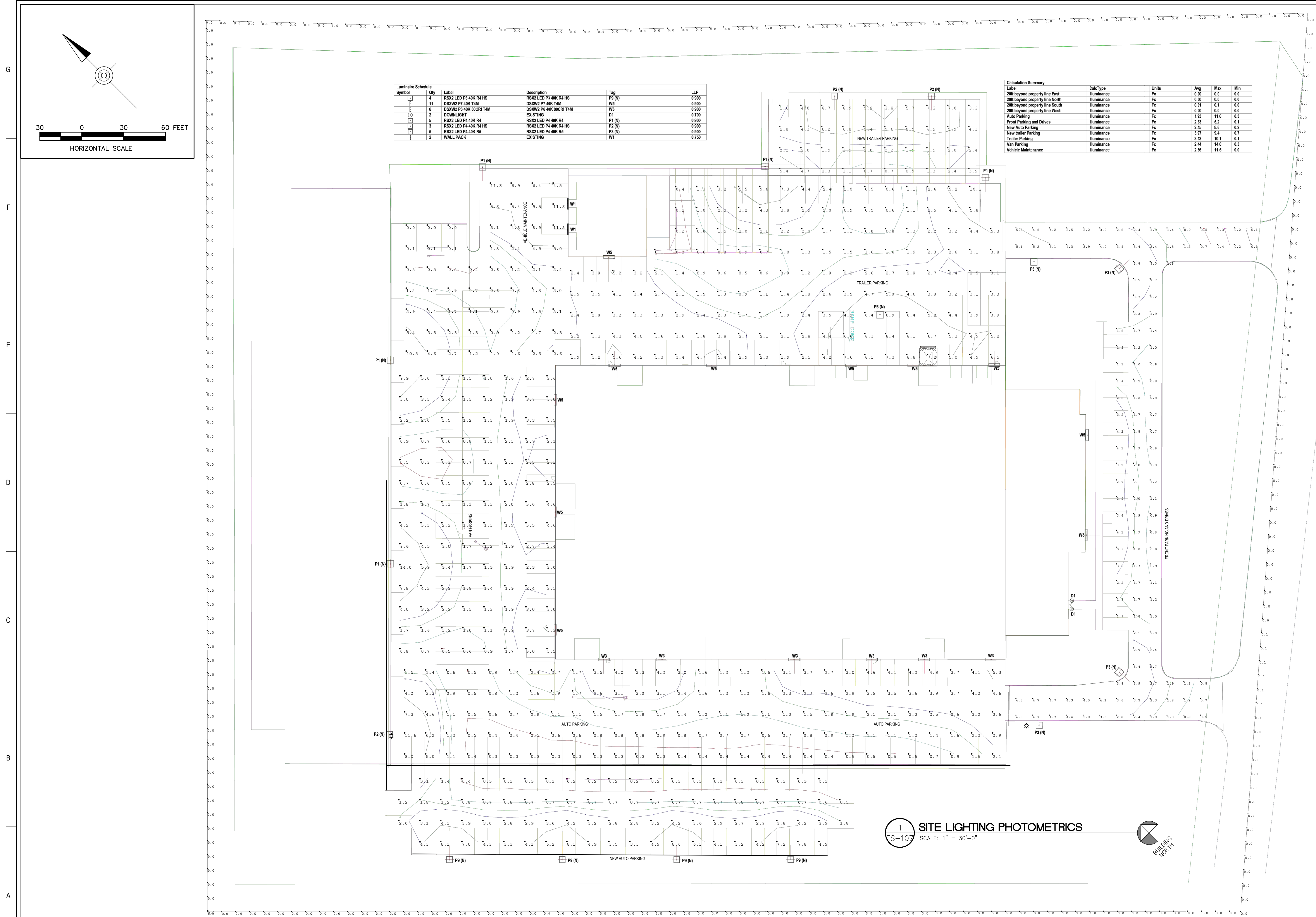
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FEDEX SECURITY UPGRADE - PHASE 2
10801 MURDOCK DRIVE
KNOXVILLE, TN 37932

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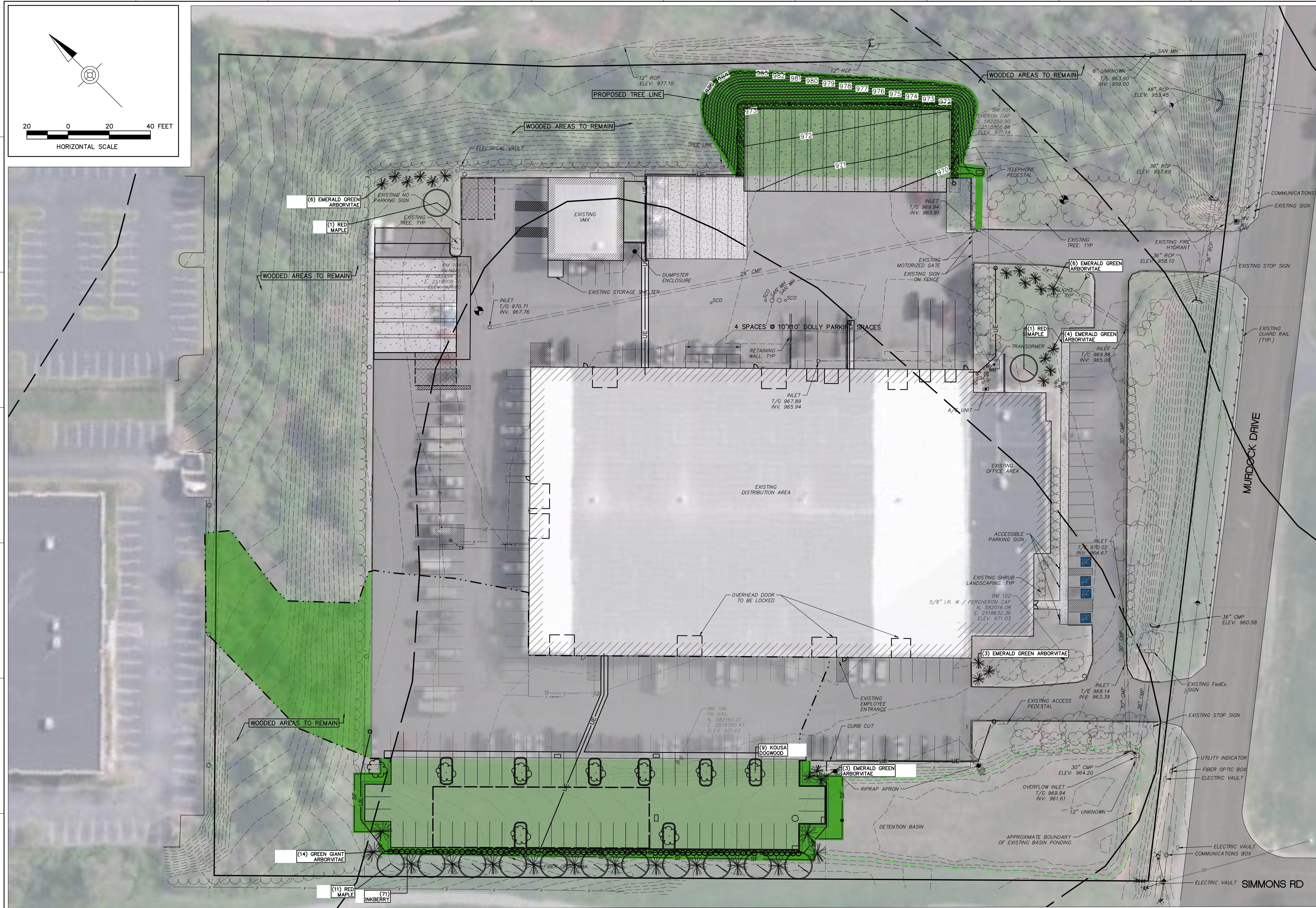
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1000 FEDEX DRIVE
MOON TOWNSHIP, PA 15108

FEDEX SECURITY UPGRADE - PHASE 2
10601 MURDOCK DRIVE
KNOXVILLE, TN 37932

SITE LIGHTING PHOTOMETRICS

Date:	2025-09-17
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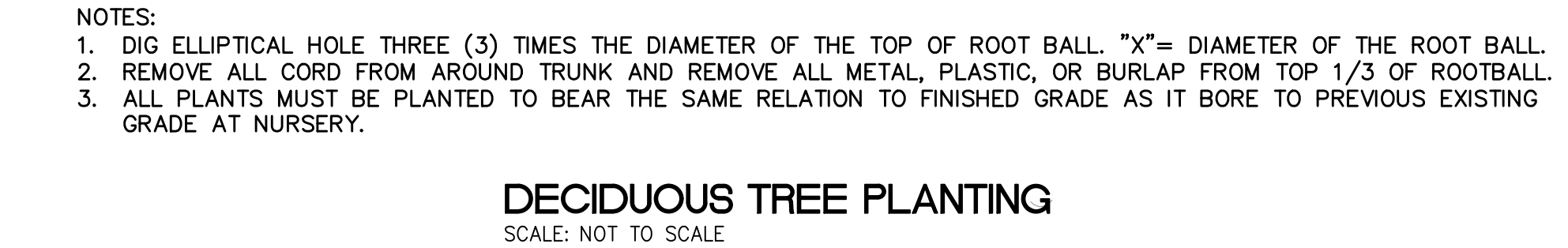
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FED-EX GROUND
1000 FEDEX DRIVE
MOON TOWNSHIP, PA 15108

10601 MURDOCK DRIVE

LANDSCAPING PLAN & DETAILS

Effective Date:	2025-09-17
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3" DOUBLE SHREDDED HARDWOOD MULCH. DO NOT PLACE AGAINST SHRUB

6" DEEP SOIL SAUCER FOR WATERING

FINISHED LAWN GRADE

1/3 H COMPACTED TOPSOIL

1/3 H COMPACTED 50% TOPSOIL AND 50% SUBSOIL MIX

1/3 H COMPACTED 100% SUBSOIL

SET ROOT BALL ON UNDISTURBED SOIL SO THAT THE ROOT COLLAR IS 3" ABOVE FINISHED GRADE.

UNDISTURBED SOIL

ROOT BALL DIAMETER (X)

NOTES:

1. DIG ELLIPTICAL HOLE THREE (3) TIMES THE DIAMETER OF THE TOP OF ROOT BALL.
2. APPLY PRE-EMERGENT HERBICIDE BENEATH MULCH.
3. "X"= DIAMETER OF THE ROOT BALL.
4. CONTRACTOR SHALL PROVIDE CONTINUOUS MULCH PLANTING BED FOR ALL PLANT MASSES AND GROUPS.
5. 3" OF DOUBLE SHREDDED HARDWOOD MULCH IN ALL RAISED PLANTER AREAS.

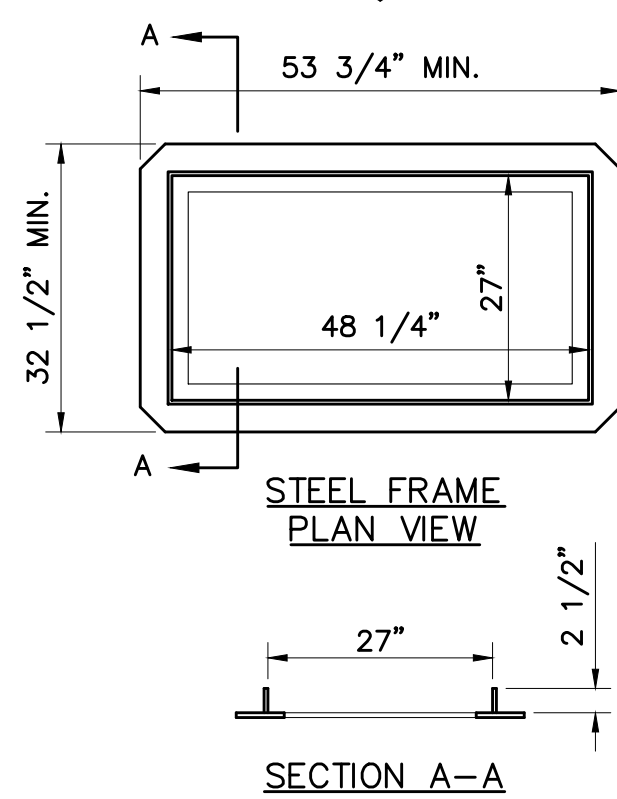
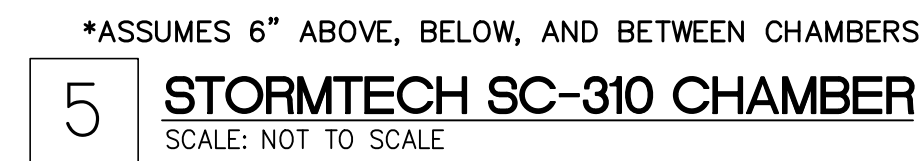
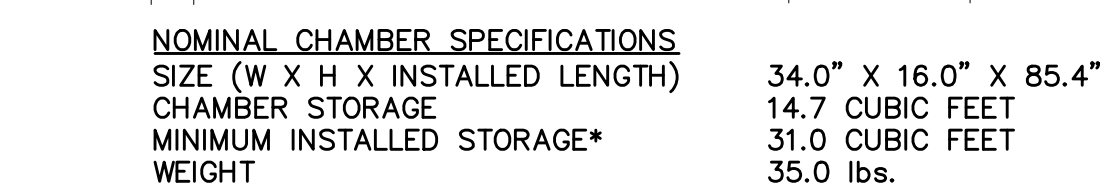
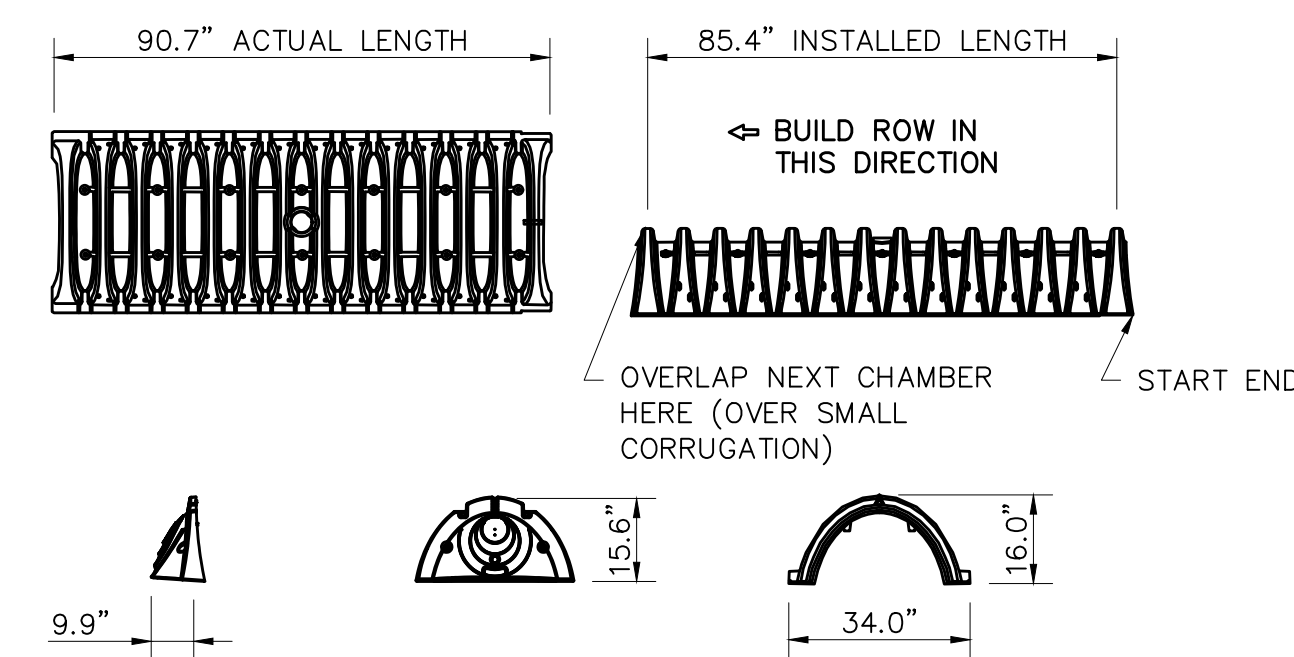
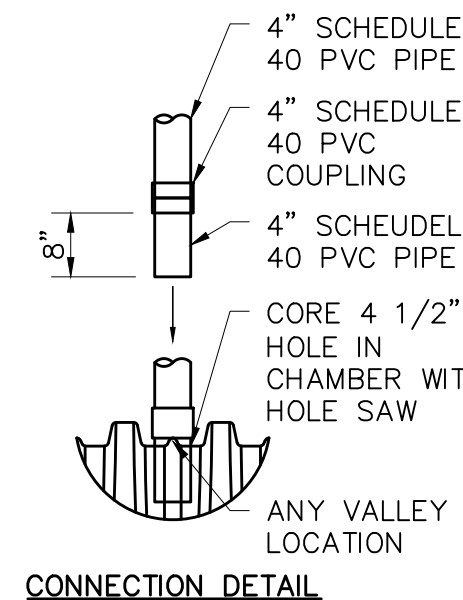
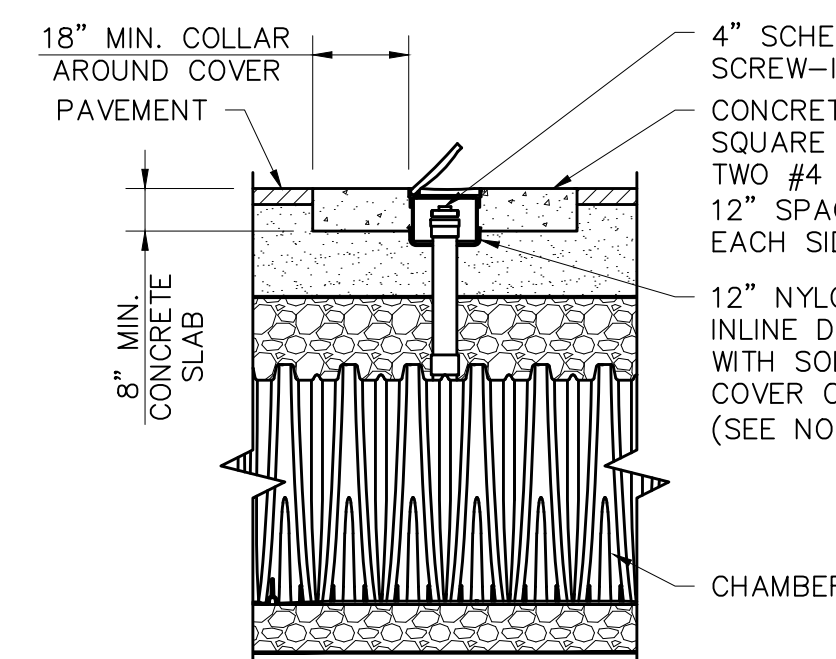
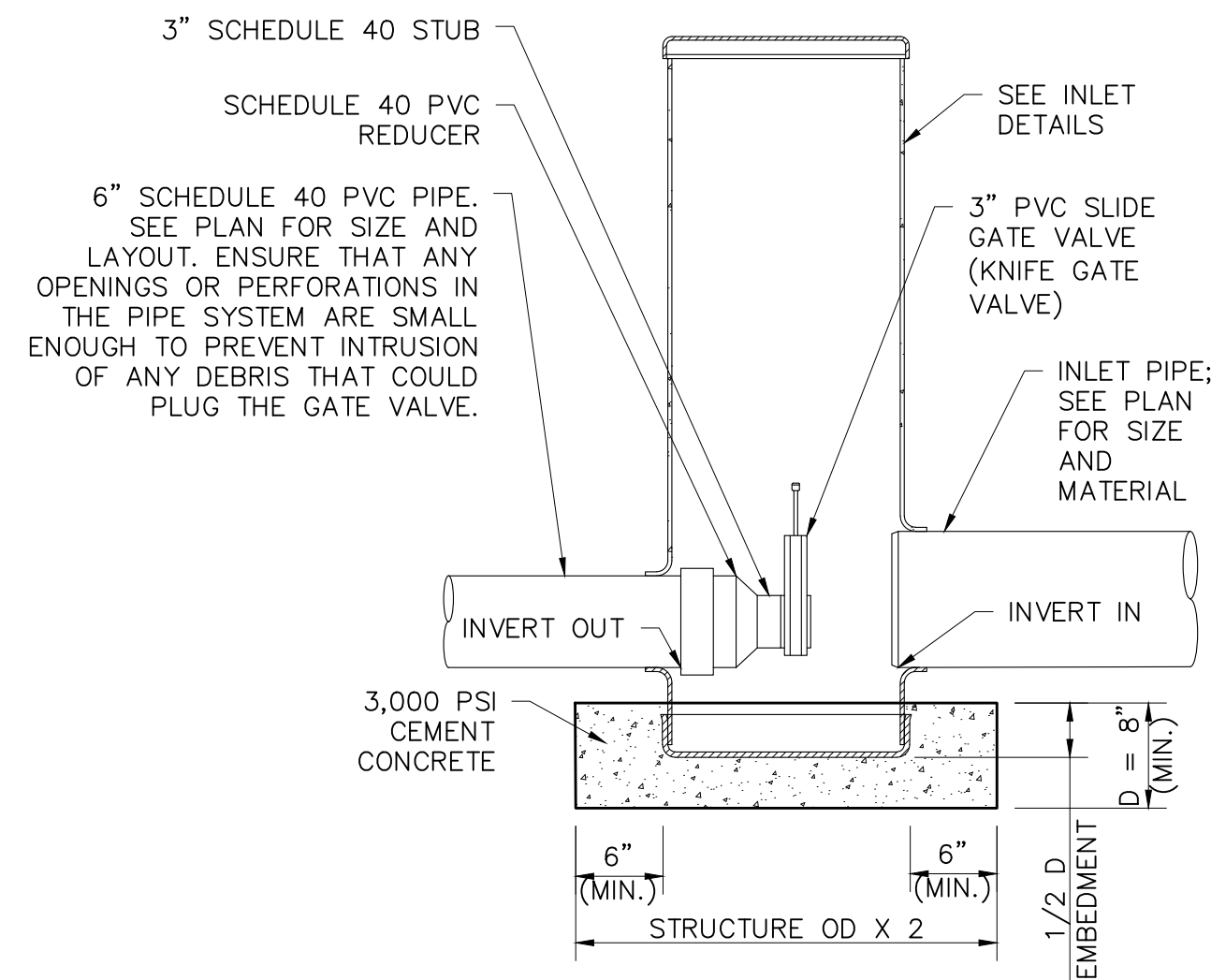
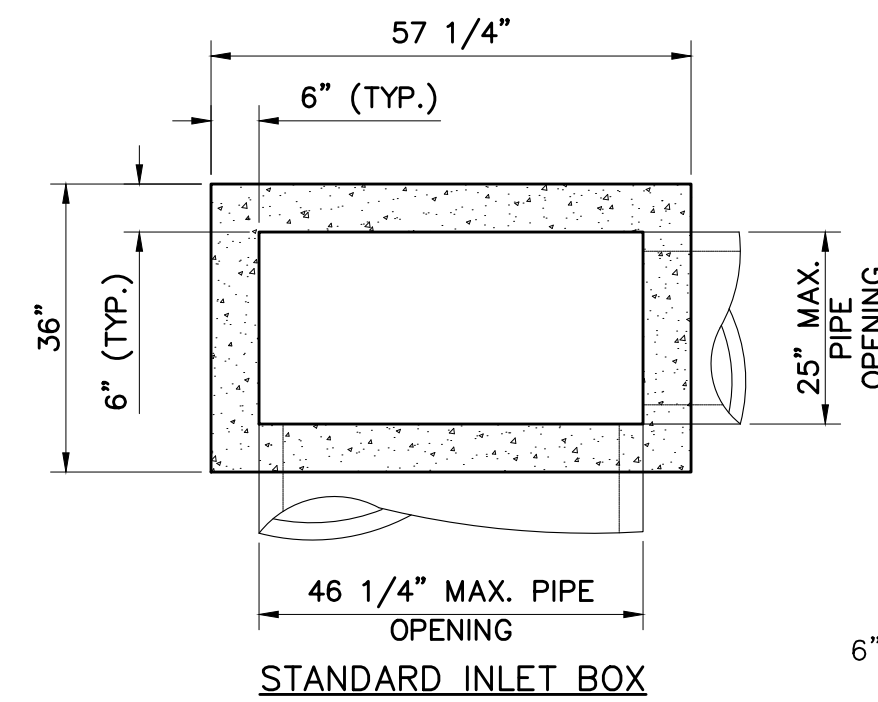
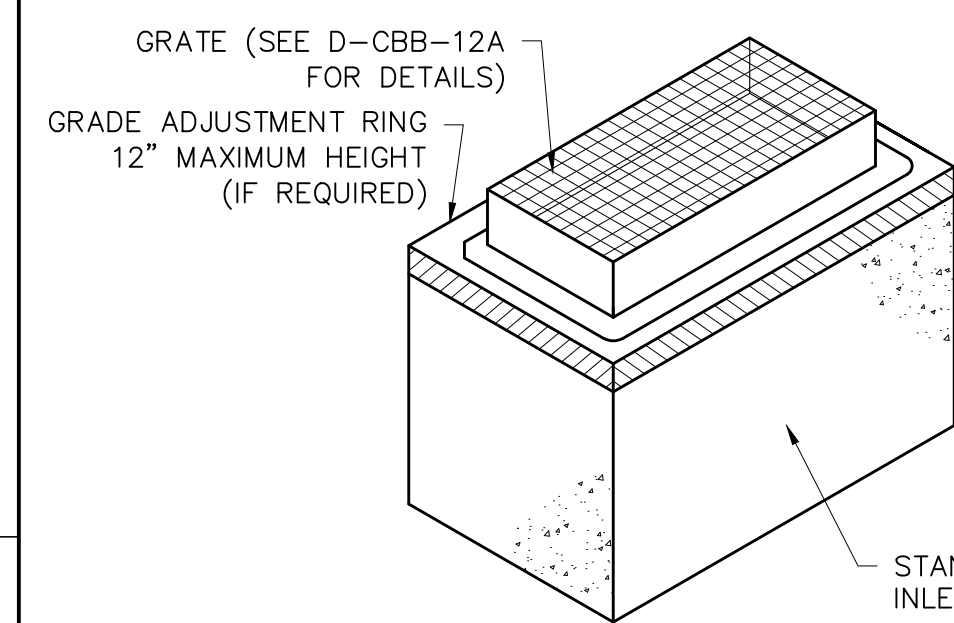
SHRUB PLANTING

SCALE: NOT TO SCALE







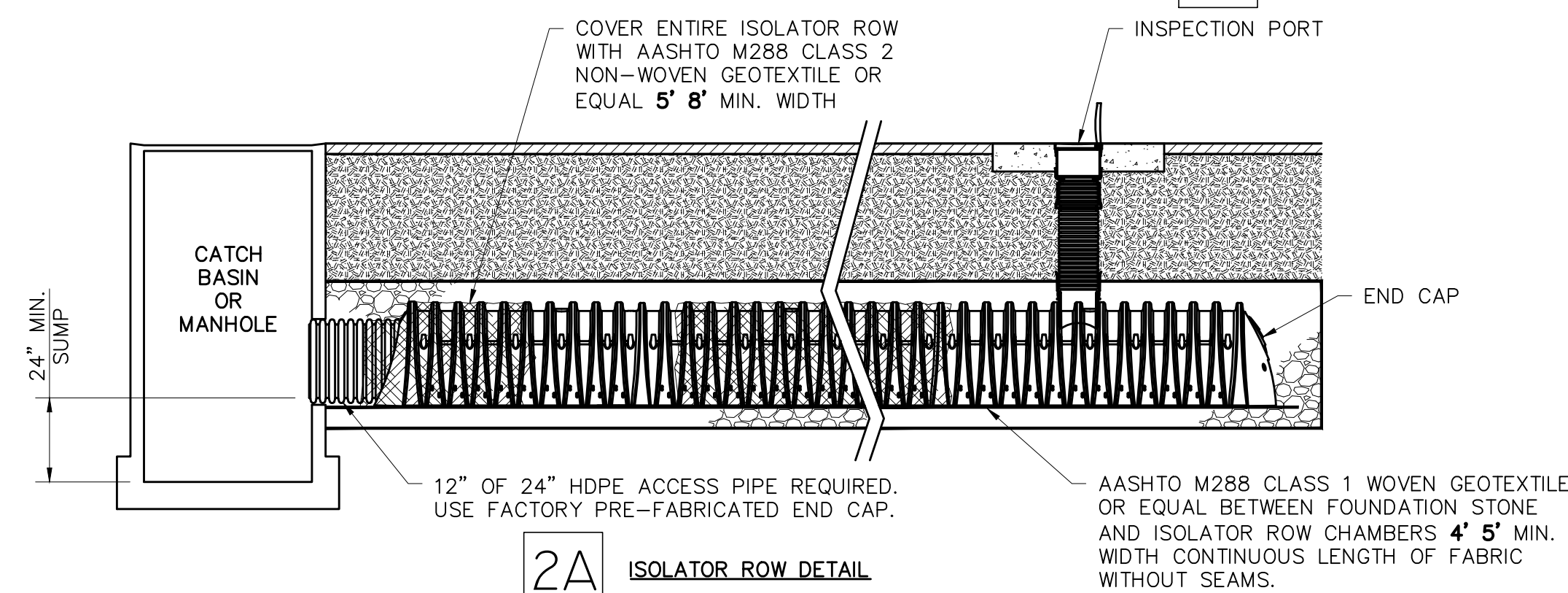


NOTES:

1. PROVIDE MANHOLE STEPS FOR INLETS OVER 4' DEE.
2. REFERENCE TDOT D-CBB-12A, FOR ADDITIONAL DETAILS ON THE INLET FRAME AND GRATE AND PRECAST CONCRETE GRADE ADJUSTMENT RINGS.
3. REFERENCE TDOT D-CB-10S, FOR ADDITIONAL DETAILS ON THE STANDARD INLET BOX.

STANDARD INLET BOX WITH TYPE M STEEL FRAME

SCALE: NOT TO SCALE



ISOLATOR ROW INSPECTION & MAINTENANCE

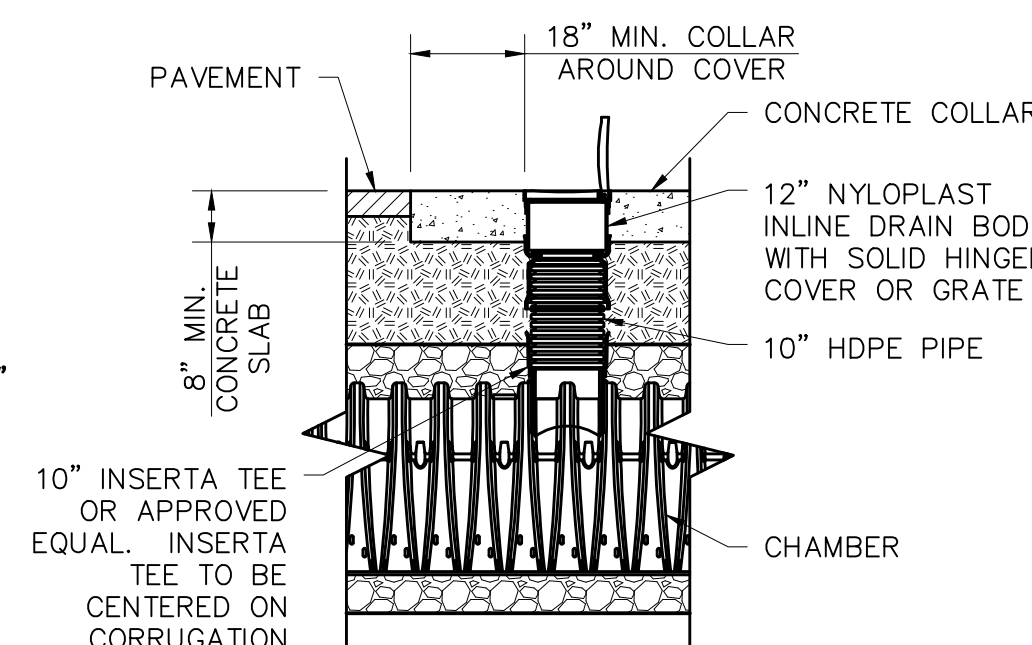
- STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT
- A. INSPECTION PORTS (IF PRESENT)
 - A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
 - A.2. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - A.3. LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - A.4. IF SEDIMENT IS AT OR ABOVE 3" PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
 - B. ALL ISOLATOR ROWS
 - B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
 - B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE
 - i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - B.3. IF SEDIMENT IS AT OR ABOVE 3" PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS
- A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° OR MORE IS PREFERRED
 - B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - C. VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

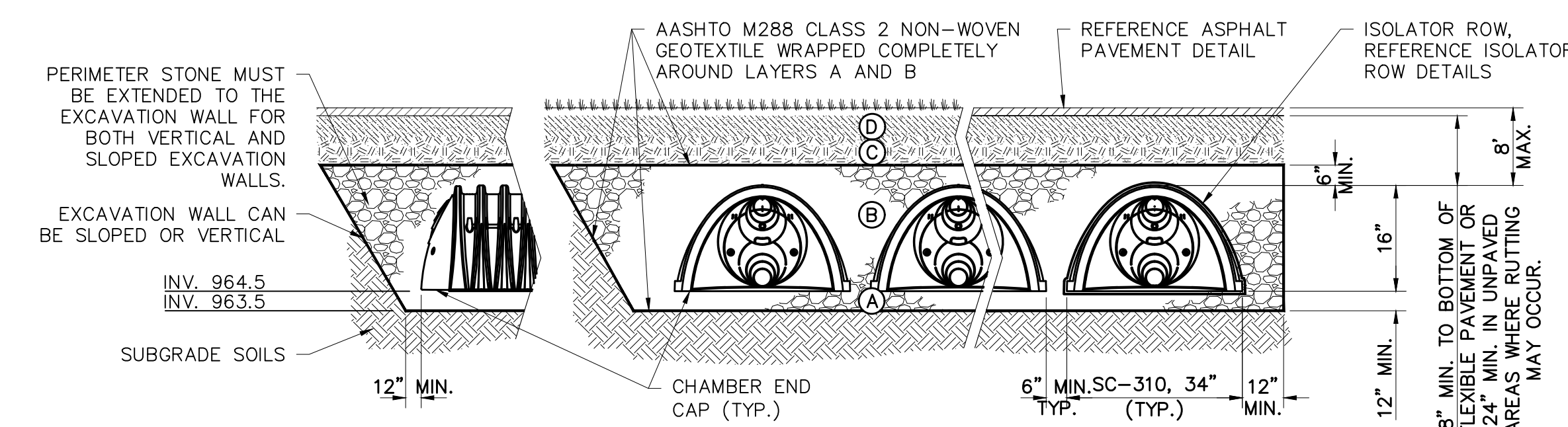
1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

2 STORMTECH CHAMBER ISOLATOR ROW AND INSPECTION PORT DETAILS

SCALE: NOT TO SCALE



INSPECTION PORT DETAIL



DETAIL NOTES:

1. CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
2. CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
4. PERMITS SHALL BE OBTAINED PRIOR TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
5. REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2922 SHALL BE GREATER THAN OR EQUAL TO 400 LBS/IN/IN AND TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
6. INSPECTION PORTS SHALL BE PROVIDED AT THE END OF EACH CHAMBER ROW AND IN THE MIDDLE OF EACH CHAMBER ROW. REFER TO PROVIDED INSPECTION PORT DETAILS.
7. CONTRACTOR SHALL PROVIDE A SHOP DRAWING OF THE UNDERGROUND CHAMBER SYSTEM INCLUDING ALL CHAMBERS, STRUCTURES, AGGREGATE, GEOTEXTILE, END CAPS, INSPECTION PORTS FOR REVIEW AND APPROVAL BY LDG PRIOR TO ORDERING.

6 STORMTECH CHAMBER CROSS-SECTION

SCALE: NOT TO SCALE

