Larson Design Group

FEDEX SECURITY UPGRADE
10601 MURDOCK DRIVE, KNOXVILLE, TN 37932
12886-020

Larson Design Group, Inc.

3000 WESTINGHOUSE DRIVE
SUITE 400
CRANBERRY TWP, PA 16066
(877) 323-6603

17-16-2025 KNOX COUNTY PLANNING COMMENTS
ASCA FENCING/PARKING LOT EXPANSIPN
COMMENTS
COMMENTS
COMMENTS

SHEET INDEX

PLAN (PHASE 2)

(PHASE 2)

(PHASE 2)

DETAILS

EXISTING CONDITION AND DEMOLITION PLAN (PHASE 1)
EXISTING CONDITION AND DEMOLITION

PRE DÈVELOPMENT DRAINAGE AREA

SITE AND GRADING PLAN (PHASE 2) STORMWATER MANAGEMENT PLAN

SITE LIGHTING PHOTOMETRICS LANDSCAPING PLAN & DETAILS

COVER SHEET
GENERAL NOTES
OVERALL SITE PLAN

C-000 C-001

C-201

FED-EX GROUND
1000 FEDEX DRIVE
MOON TOWNSHIP, PA 15108

10601 MURDOCK DRIVE KNOXVILLE, TN 37932

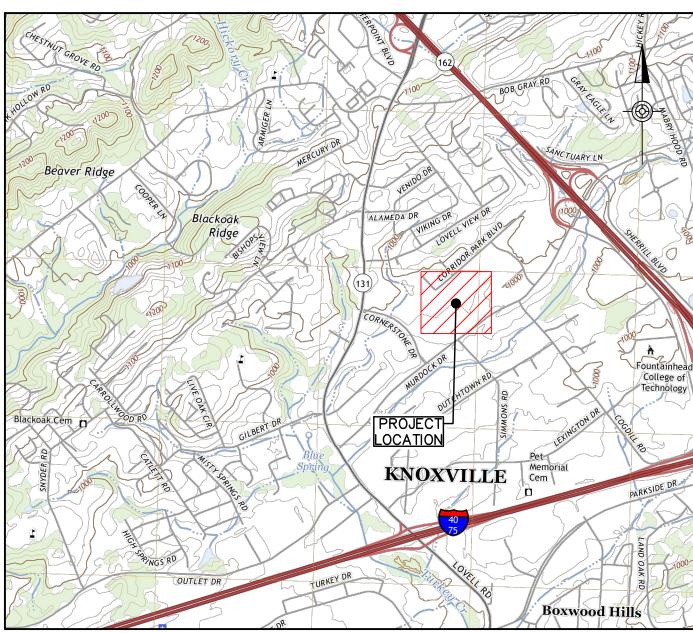
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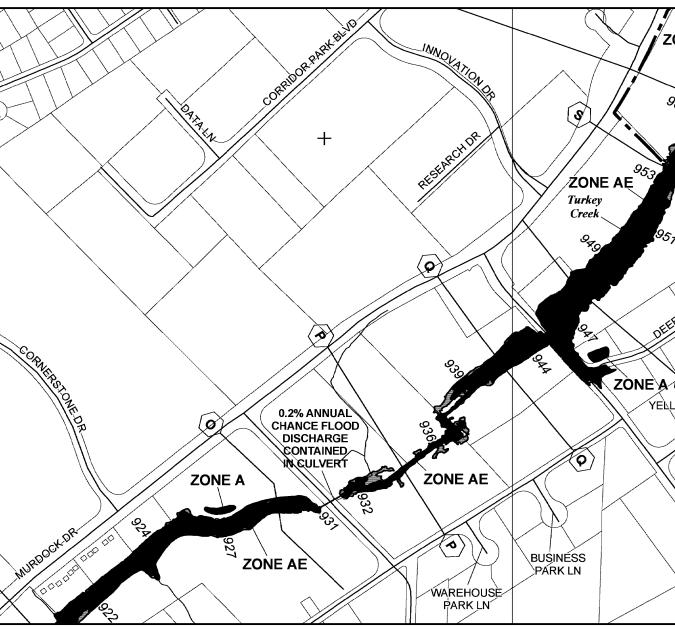
C-000

CONTRACTOR: JACKSON TAYLOR CONTRACTORS 7047 SPINACH DR,MENTOR, OH 44060

CLIENT: FEDEX GROUND
1000 FEDEX DRIVE
MOON TOWNSHIP, PA 15108



USGS QUADRANGLE MAP MAP NAME: LOVELL MAP SCALE: 1"=2000'



FEMA FIRM MAP MAP NUMBER: 47093C0242G MAP SCALE: 1"=500'

GENERAL NOTES:

APPLICANT / RESPONSIBLE PARTY: FEDEX GROUND 1000 FEDEX DRIVE MOON TOWNSHIP, PA 15108 PHONE: 412.269.1000

2. ENGINEER: LARSON DESIGN GROUP ATTN: CHRIS SHEAFFER. PE 1780 ROUTE 522 SELISGROVE, PA 17870 724.591.8562 EMAIL: csheaffer@larsondesigngroup.com

PROJECT LOCATION: 10601 MURDOCK DRIVE, KNOXVILLE, TN 37932 COUNTY/MUNICIPALITY: KNOX COUNTY, CITY OF KNOXVILLE

GENERAL SITE CONSTRUCTION NOTES

THE PROPERTY BOUNDARY IS SHOWN FROM HISTORICAL RECORDS AND SHOULD BE CONSIDERED APPROXIMATE, AS THE BOUNDARY MARKERS WERE NOT FIELD IDENTIFIED.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE STARTING WORK. ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS, SPECIFICATIONS, SITE CONDITIONS, OR ANY INCONSISTENCIES OR AMBIGUITIES IN THE DRAWINGS OR SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO FEDEX IN WRITING. FEDEX SHALL PROMPTLY ADDRESS SUCH INCONSISTENCIES OR AMBIGUITIES. WORK DONE BY THE CONTRACTOR AFTER HIS DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES, WITHOUT RECEIVING A RESPONSE FROM FEDEX SHALL BE DONE AT THE CONTRACTOR'S RISK.

THE CONTRACTOR SHALL PROMPTLY NOTIFY FEDEX, IN WRITING, OF ANY SUBSURFACE OR LATENT PHYSICAL CONDITIONS AT THE SITE DIFFERING MATERIALLY FROM THOSE INDICATED IN THE CONTRACT DOCUMENTS.

THE GENERAL CONTRACTOR SHALL COORDINATE ALL SITE/CIVIL IMPROVEMENTS WITH OTHER PRIME CONTRACTOR'S WORK. SEE ARCHITECTURAL, STRUCTURAL, PLUMBING AND ELECTRICAL SHEETS FOR ADDITIONAL REQUIREMENTS.

THESE CONTRACT DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THE CONSTRUCTION OF ALL PROPOSED IMPROVEMENTS, COMPLETE AND IN PLACE. CONTRACTOR SHALL CAREFULLY REVIEW ALL DOCUMENTS INCLUDING BUT NOT LIMITED TO THE GENERAL CONDITIONS, AGREEMENT, GENERAL SPECIFICATIONS, TECHNICAL SPECIFICATIONS AND ALL ISSUED CORRECTIVE PLANS, INTERPRETATIONS, AND OTHER DOCUMENTATION ISSUED THROUGHOUT THE LENGTH OF THE CONTRACT.

THIS PLAN IS NOT TO BE CONSTRUED AS AN ENVIRONMENTAL AUDIT/ASSESSMENT PLAN. THIS SURVEY MAKES NO WARRANTY OR GUARANTEE EITHER EXPRESSED OR IMPLIED AS TO THE ENVIRONMENTAL CONDITIONS OF THE PREMISES HEREON DESCRIBED

THE CONTRACTOR, DURING THE PERFORMANCE OF ALL WORK ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT, IS RESPONSIBLE FOR COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS, CODES, AND REGULATIONS. THE CONTRACTOR SHALL TAKE ALL SAFETY PRECAUTIONS AS REQUIRED TO PROTECT EMPLOYEES AND OTHER PERSONS FROM INJURY.

WHEN ALTERATIONS OF ANY PEDESTRIAN FACILITIES ARE PROPOSED, THE CONTRACTOR SHALL CONSTRUCT ALL PROPOSED PEDESTRIAN FACILITIES ON THESE PLANS TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT, PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), AND THE ADA STANDARDS, CURRENT EDITION.

THE CONTRACTOR IS NOTIFIED THAT OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) CLEARANCES MUST BE MAINTAINED TO OVERHEAD POWER LINES FROM ANY MATERIALS AND/OR CONSTRUCTION EQUIPMENT. EACH CONTRACTOR OR SUBCONTRACTOR IS RESPONSIBLE FOR ADHERENCE TO OSHA STANDARDS IN THIS REGARD.

10. OSHA EXCAVATION STANDARDS APPLY TO THIS CONTRACT. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE OVERALL SAFETY PROGRAM FOR THE ENTIRE SITE INCLUDING TRENCHES AND STRUCTURES.

11. IF ADJUSTMENTS TO EXISTING UTILITIES ARE REQUIRED AND INDICATED ON THE PLANS, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND WORK WITH UTILITY FEDEXS FOR THE ADJUSTMENT OR RELOCATION OF UTILITY SURFACE FEATURES, I.E., VALVE BOXES, UTILITY POLES, MANHOLES, ETC. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OF CONFLICTING UTILITIES WHICH ARE A RESULT OF THESE IMPROVEMENTS.

12. THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS SITE PLAN ARE BASED ON LIMITED SURFACE EVIDENCE, AND INFORMATION PROVIDED BY FEDEX AND SHALL BE CONSIDERED APPROXIMATE. THE CONTRACTOR, IN COMPLIANCE WITH THE LAW, IS ALSO RESPONSIBLE FOR LOCATING ALL PUBLIC OR PRIVATE UTILITIES WHICH LIE IN OR ADJACENT TO THE PROJECT SITE BEFORE STARTING WORK. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATELY REPAIRING, AT HIS EXPENSE, ALL EXISTING UTILITIES DAMAGED DURING CONSTRUCTION AS LONG AS THOSE UTILITIES WERE PROPERLY MARKED BY THE UTILITY OWNER(S).

13. THE GENERAL CONTRACTOR SHALL COMPLY WITH THE APPROVED E&S PLAN. STRIPPING OF VEGETATION, RE-GRADING, OR OTHER WORK, SHALL BE DONE IN A MANNER THAT WILL MINIMIZE EROSION. ANY EROSION AND SEDIMENT POLLUTION CONTROLS THAT ARE DEEMED NECESSARY BY THE LOCAL COUNTY CONSERVATION DISTRICT SHALL BE IMPLEMENTED IMMEDIATELY BY THE CONTRACTOR. WHENEVER SEDIMENTATION IS CAUSED BY STRIPPING VEGETATION, RE-GRADING, OR OTHER DEVELOPMENT, IT SHALL BE THE RESPONSIBILITY OF THE PERSON, CORPORATION OR OTHER ENTITY CAUSING SUCH SEDIMENTATION TO REMOVE IT FROM ALL ADJOINING SURFACES, DRAINAGE SYSTEMS, AND WATERCOURSES AND TO REPAIR ANY DAMAGE. DISTURBED SOILS SHALL BE STABILIZED IMMEDIATELY. TEMPORARY VEGETATION AND/OR MULCHING SHALL BE USED TO PROTECT EXPOSED CRITICAL AREAS DURING CONSTRUCTION. MEASURES NECESSARY FOR DUST CONTROL SHALL BE EXERCISED DURING ALL CONSTRUCTION OPERATIONS.

14. THE DESIGNATION OF EXCESS WASTE DISPOSAL AND CONSTRUCTION STAGING AREAS, WHICH MAY BE REQUIRED BUT ARE NOT NOTED ON THE PLANS, ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL CONSTRUCTION DEBRIS, INCLUDING EXCESS EXCAVATED MATERIAL, ASPHALT, CONCRETE, SCRAP WOOD, ETC. SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.

15. EROSION AND SEDIMENT POLLUTION CONTROL MEASURES SHALL BE MAINTAINED CONTINUOUSLY, RELOCATED AS NECESSARY, AND SHALL BE CHECKED AFTER EVERY RAINFALL. SEEDED AREAS SHALL BE CHECKED REGULARLY AND SHALL BE WATERED, FERTILIZED, RESEEDED, AND MULCHED, AS NECESSARY, TO OBTAIN A DENSE COVER OF GRASS.

ALL EXCAVATIONS. INCLUDING TRENCHES. SHALL BE KEPT DRY TO PROTECT THEIR INTEGRITY. IF PUMPING OF AN OPEN TRENCH IS NECESSARY DURING THE COURSE OF CONSTRUCTION, A SEDIMENT FILTER BAG OR OTHER FORM OF FILTERING IS REQUIRED BEFORE DISCHARGING INTO THE STORM SYSTEM.

17. ALL INLETS WITHIN THE PROJECT SITE SHALL BE EQUIPPED WITH STRUCTURAL STEEL BICYCLE SAFE GRATES. UNLESS SPECIFICALLY STATED OTHERWISE. AND BE SET FLUSH WITH THE ADJACENT WEARING COURSE OR FINISHED GRADE.

18. ALL INLETS IN ASPHALT PAVED AREAS SHALL BE EQUIPPED WITH STEEL INLET FRAMES AND GRATES UNLESS SPECIFICALLY STATED OTHERWISE. ALL INLETS IN GRASS OR CONTRACTOR SHALL ENSURE THAT POSITIVE DRAINAGE ACROSS PAVEMENTS IS PROVIDED AND NO LOW SPOTS OR PUDDLING OCCUR WITHIN THE LIMITS OF WORK UNLESS NATURALLY OCCURRING.

19. ALL TRENCHING SHALL OCCUR AS DESIGNATED IN THIS PLAN SET. THE CONTRACTOR SHALL USE EQUIPMENT APPROPRIATE TO MAINTAIN A MAXIMUM PAVEMENT OPENING. IF THE CONTRACTOR PROPOSES A REVISED TRENCHING METHOD OR ALIGNMENT, ENGINEER AND FEDEX SHALL BE NOTIFIED IMMEDIATELY.

20. CONTRACTOR SHALL BACKFILL ALL CURBS AND PAVEMENTS FLUSH WITH TOPSOIL AND SEED/MULCH IN ACCORDANCE WITH TECHNICAL SPECIFICATIONS UNLESS NOTED OTHERWISE.

21. ALL EXISTING SIGNS DISTURBED DURING CONSTRUCTION SHALL BE REINSTALLED IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY, STATE, AND FEDERAL REGULATIONS.

22. ALL EXISTING PAVEMENT TO BE REMOVED SHALL BE SAW CUT ALONG LIMITS OF PROPOSED PAVEMENT REMOVAL BEFORE REMOVAL OPERATIONS BEGIN. THE CONTRACTOR IS RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF REMOVED PAVEMENTS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING MEASURES TO PREVENT DAMAGE TO ALL EXISTING FEATURES (TO REMAIN) WITHIN PROJECT LIMITS AND ALONG ADJACENT PROPERTIES.

24. ALL ASPHALT TO ASPHALT JOINTS, ASPHALT TO CONCRETE JOINTS, AND OTHER JOINTS AT ALL OTHER RIGID FEATURES SUCH AS UTILITY STRUCTURES SHALL BE SEALED IN ACCORDANCE WITH AASHTO SPECIFICATIONS. REMOVE EXCESS MATERIAL AT UTILITY STRUCTURES TO ENSURE THAT COVERS AND GRATES WILL STILL BE EASILY REMOVABLE AFTER THE APPLICATION.

25. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT THE WORKMEN AND THE PUBLIC SHALL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE. CONTRACTOR SHALL KEEP THE WORK AREA FREE FROM THE ACCUMULATION OF WASTE MATERIAL OR RUBBISH CAUSED BY THEIR EMPLOYEES OR WORK. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REMOVE ALL RUBBISH FROM AND ABOUT THE PREMISES AND ALL TOOLS, EQUIPMENT, APPARATUS, AND SURPLUS MATERIAL. THE CONSTRUCTION SITE SHALL BE LEFT CLEAN TO THE FEDEX'S SATISFACTION.

26. THE INFORMATION SHOWN ON THESE DRAWINGS MAY HAVE ALSO BEEN RELEASED IN A DIGITAL DRAWING FORMAT. ONCE A DRAWING IS RELEASED FROM LARSON DESIGN GROUP IN DIGITAL FORMAT, LARSON DESIGN GROUP HAS NO CONTROL OVER THE MANIPULATION OR MISUSE OF THAT DATA CONTAINED IN THAT FILE. THE VIEWER IS THEREFORE CAUTIONED AND SHOULD COMPARE ANY SUBSEQUENT REPRODUCTIONS OR MANIPULATIONS OF THIS DATA WITH THE ORIGINAL HARD COPY SEALED PLAN PROVIDED BY LARSON DESIGN GROUP. THE USER OF THE DIGITAL DATA IS ALSO CAUTIONED THAT ANY USE OF THE DATA CONTAINED IN THE DIGITAL FILE, WHICH IS NOT SHOWN ON THE HARD COPY DRAWINGS, IS AT THE SOLE RISK OF THE USER.

DEMOLITION NOTES - NOT ALL NOTES MAY APPLY TO THIS PROJECT

DEMOLITION INCLUDES THE FOLLOWING: A. DEMOLITION AND REMOVAL OF BUILDINGS OR PARTS THEREOF.

DEMOLITION AND REMOVAL OF SITE IMPROVEMENTS. C. DISCONNECTING. CAPPING OR SEALING. AND ABANDONING SITE UTILITIES IN PLACE. D. DISCONNECTING, CAPPING OR SEALING, AND REMOVING SITE UTILITIES.

2. REMOVE: REMOVE AND LEGALLY DISPOSE OF ITEMS EXCEPT THOSE INDICATED TO BE REINSTALLED, SALVAGED, OR TO REMAIN.

REMOVE AND REINSTALL: REMOVE ITEMS INDICATED; CLEAN, SERVICE, AND OTHERWISE PREPARE THEM FOR REUSE; STORE AND PROTECT AGAINST DAMAGE: REINSTALL ITEMS IN

LOCATIONS INDICATED 4. EXISTING TO REMAIN: PROTECT ITEMS INDICATED TO REMAIN AGAINST DAMAGE AND SOILING DURING DEMOLITION. WHEN PERMITTED BY OWNER, ITEMS MAY BE REMOVED TO A SUITABLE. PROTECTED STORAGE LOCATION AND THEN CLEANED AND REINSTALLED IN THEIR ORIGINAL

5. CONTRACTOR SHALL SCHEDULE DEMOLITION ACTIVITIES WITH THE OWNER INDICATING THE

A. DETAILED SEQUENCE OF DEMOLITION AND REMOVAL WORK WITH STARTING AND ENDING DATES.

B. CONTINUATION OF UTILITY SERVICES. C. IDENTIFY AND ACCURATELY LOCATE CAPPED UTILITIES AND OTHER SUBSURFACE STRUCTURAL, ELECTRICAL, OR MECHANICAL CONDITIONS.

6. REGULATORY REQUIREMENTS: COMPLY WITH GOVERNING EPA OR DEP NOTIFICATION REGULATIONS BEFORE STARTING DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION. 7. ASBESTOS: IT IS NOT EXPECTED THAT ASBESTOS WILL BE ENCOUNTERED IN THE COURSE OF

THIS CONTRACT. IF ANY MATERIALS SUSPECTED OF CONTAINING ASBESTOS ARE ENCOUNTERED, DO NOT DISTURB THE MATERIALS. IMMEDIATELY NOTIFY THE OWNER 8. ON-SITE STORAGE OR SALE OF REMOVED ITEMS OR MATERIALS WILL NOT BE PERMITTED 9. OBTAIN APPROVED BORROW SOIL MATERIALS FROM OFF-SITE WHEN SUFFICIENT SATISFACTORY

PERMITTING OF ALL OFF-SITE BORROW AND WASTE AREAS. 10. SURVEY THE CONDITION OF THE BUILDING OR OTHER STRUCTURE TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN A STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF THE STRUCTURE OR ADJACENT STRUCTURES DURING DEMOLITION.

SOIL MATERIALS ARE NOT AVAILABLE ON-SITE. CONTRACTOR IS RESPONSIBLE FOR

11. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE PENNSYLVANIA ONE CALL SYSTEM BY CALLING 811 NO LESS THAN THREE (3) WORKING DAYS PRIOR TO BEGINNING WORK AS REQUIRED BY LAW. STOP-CALL BEFORE YOU DIG!

12. MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS. A. DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED OR OPERATING FACILITIES,

EXCEPT WHEN AUTHORIZED IN WRITING BY THE OWNER AND AUTHORITIES HAVING JURISDICTION. B. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES AS

ACCEPTABLE TO OWNER AND TO GOVERNING AUTHORITIES. 12. UTILITY REQUIREMENTS: LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITY SERVICES SERVING STRUCTURES TO BE DEMOLISHED.

A. ARRANGE TO SHUT OFF INDICATED UTILITIES WITH UTILITY COMPANIES AND FOLLOW THEIR RESPECTIVE UTILITY KILL POLICIES. 13. DO NOT START DEMOLITION WORK UNTIL UTILITY DISCONNECTING AND SEALING HAVE BEEN

14. CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES. A. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER ADJACENT OCCUPIED OR USED FACILITIES WITHOUT WRITTEN PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC

WAYS IF REQUIRED BY GOVERNING REGULATIONS. 15. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE

AROUND DEMOLITION AREA. A. ERECT TEMPORARY PROTECTION AND/OR BARRICADES AS PER PLAN. B. PROTECT EXISTING SITE IMPROVEMENTS AND APPURTENANCES TO REMAIN.

COMPLETED AND VERIFIED IN WRITING.

16. EXPLOSIVES: USE OF EXPLOSIVES WILL NOT BE PERMITTED 17. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.

18. CLEAN ADJACENT BUILDINGS AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITIONS EXISTING BEFORE START OF DEMOLITION. 19. BUILDING DEMOLITION: DEMOLISH BUILDINGS COMPLETELY AND REMOVE FROM THE SITE. USE

METHODS REQUIRED TO COMPLETE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS AND AS FOLLOWS: LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE BUILDING AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS. FLOORS OR

FRAMING B. DISPOSE OF DEMOLISHED ITEMS AND MATERIALS PROMPTLY. C. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS

D. REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER TO GROUND BY METHOD SUITABLE TO AVOID FREE FALL AND TO PREVENT GROUND IMPACT OR DUST GENERATION. BREAK UP AND REMOVE CONCRETE SLABS ON GRADE.

REMOVE AIR CONDITIONING EQUIPMENT WITHOUT RELEASING REFRIGERANTS. 20. BELOW-GRADE CONSTRUCTION: DEMOLISH FOUNDATION WALLS AND OTHER BELOW-GRADE CONSTRUCTION AS FOLLOWS:

A. COMPLETELY REMOVE BELOW-GRADE CONSTRUCTION INCLUDING FOUNDATION WALLS, FOOTINGS, AND BELOW GRADE CONCRETE SLABS. 21. FILLING BELOW-GRADE AREAS: COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS

RESULTING FROM DEMOLITION OF BUILDINGS AND PAVEMENTS WITH SOIL MATERIALS ACCORDING TO REQUIREMENTS PER THE GEOTECHNICAL REPORT. CONTRACTOR SHALL CONTACT OWNER PRIOR TO FILLING ANY AREAS TO OBSERVE FILL PROCEDURES. 22. DAMAGES: PROMPTLY REPAIR DAMAGES TO ADJACENT FACILITIES CAUSED BY DEMOLITION

OPERATIONS AT THE CONTRACTOR'S COST. 23. GENERAL: PROMPTLY DISPOSE OF DEMOLISHED MATERIALS OFF SITE. DO NOT ALLOW

DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE. 24. BURNING: DO NOT BURN DEMOLISHED MATERIALS ON-SITE.

25. CONTRACTOR SHALL REMOVE ALL ASPHALT/CONCRETE PAVEMENT, CONCRETE CURB, STRUCTURES, LANDSCAPING, LIGHT POLES, AND FOUNDATIONS, ETC. WITHIN THE PROPERTY LINE OR AS INDICATED ON THE PLANS. CONTRACTOR SHALL REFER TO GRADING PLAN AND UTILITY PLAN PRIOR TO DEMOLITION OPERATIONS.

26. CONTRACTOR SHALL REMOVE ALL EXISTING TREES WITHIN THE PROPERTY BOUNDARY UNLESS

OTHERWISE INDICATED. 27. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITIES.

LEGEND

EXISTING

PROPOSED

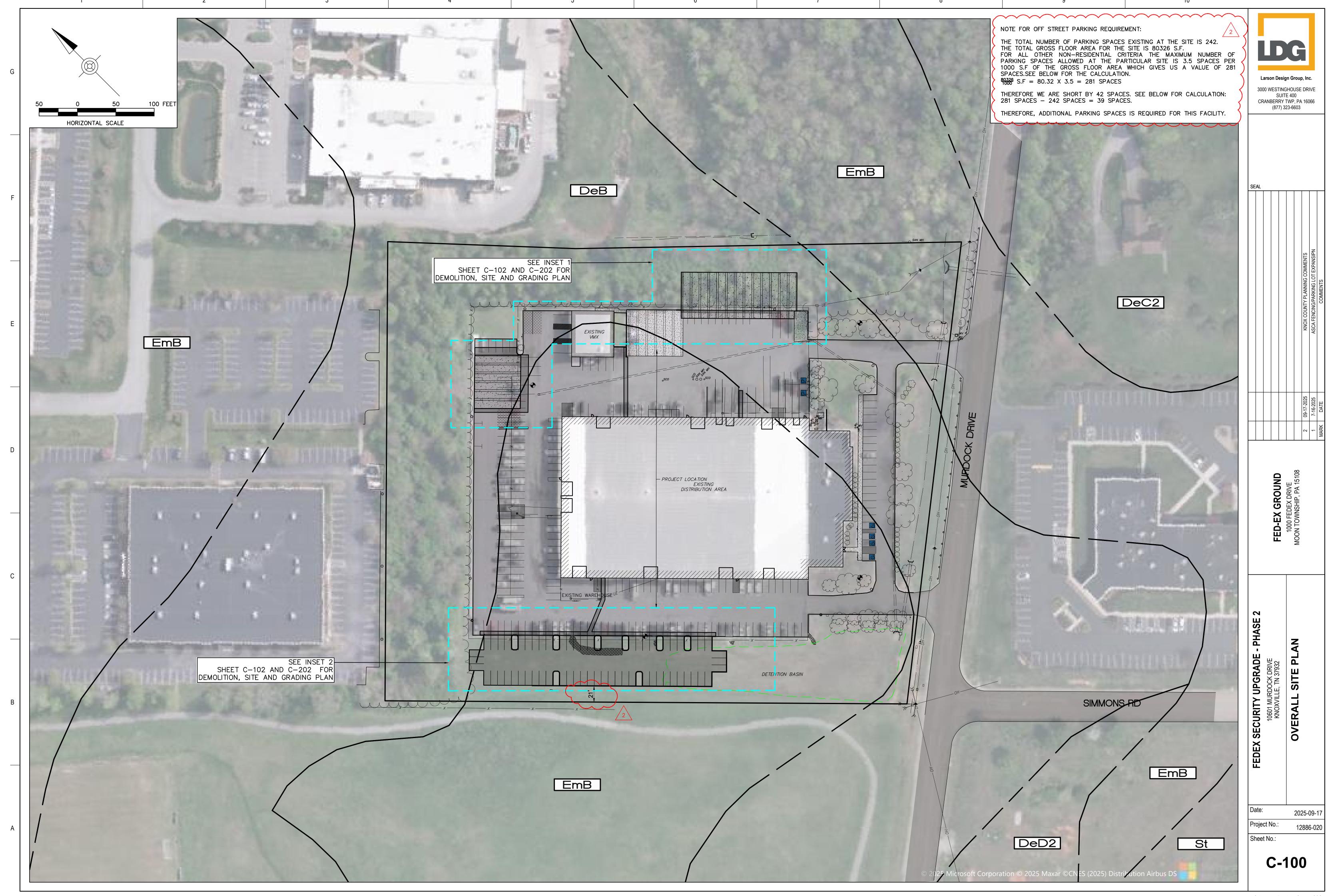
FEATURES TEXT	FEATURES TEXT	FEATURES TEXT
PROPERTY LINE		
RIGHT-OF-WAY LINE		
EASEMENT LINE		
CONTOUR LINE	— — — 100 — — — —	100
CENTER LINE OF ROAD		
BUILDING SETBACK		
BUILDING LINE	<u>'////////////////////////////////////</u>	<u>'////////////////////////////////////</u>
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EDGE OF PAVEMENT		
GRAVEL		
CONCRETE CURB		
CONCRETE SIDEWALK	· · · · · · · · · · · · · · · · · · ·	Δ Δ Δ Δ
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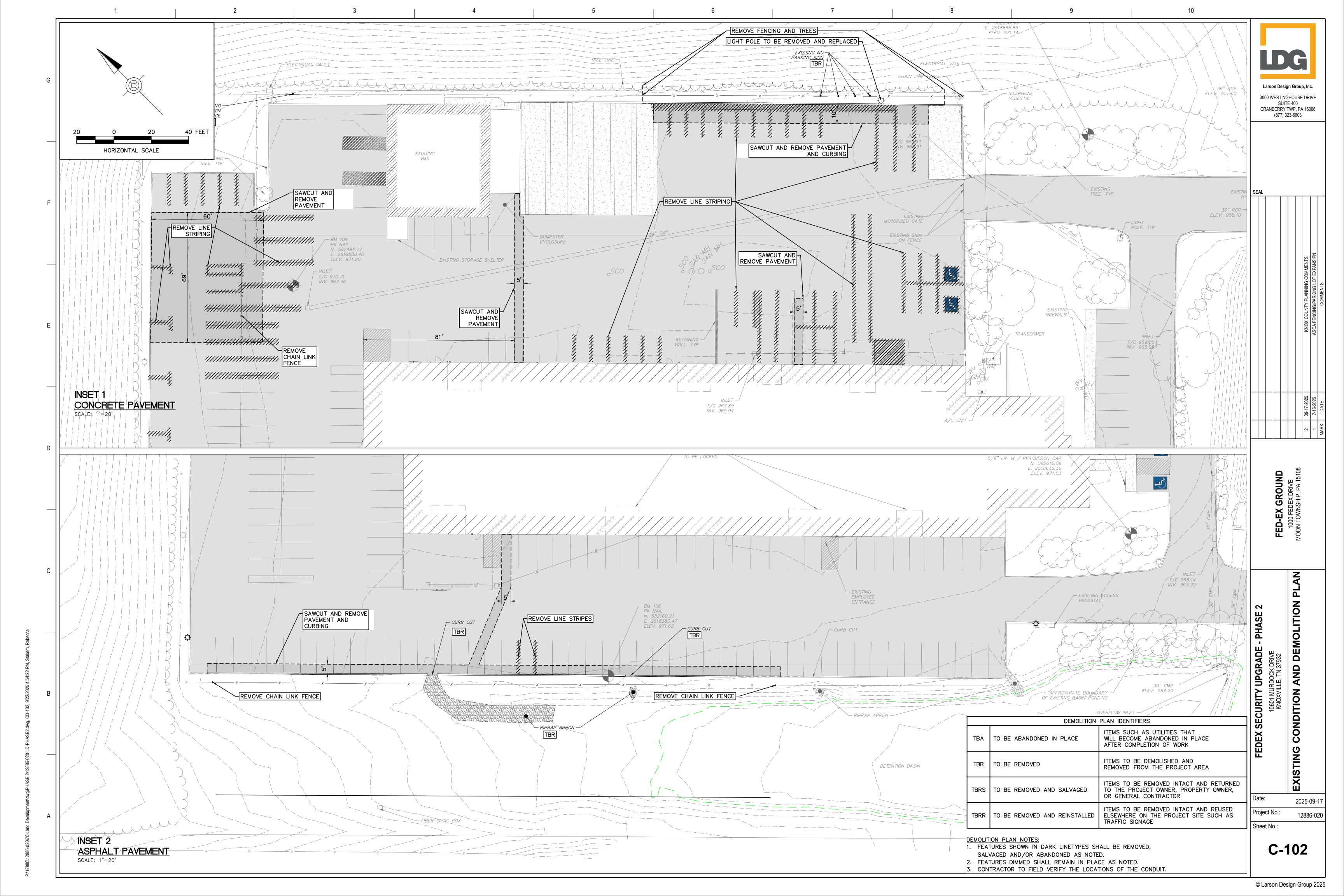
SITE COVERAGE DATA: PROPERTY SIZE: 411,906 SF 9.46 AC EXISTING IMPERVIOUS COVER: 198,788 SF 4.56 AC (48.3%) EXISTING VEGETATIVE COVER: 213,118 SF 4.89 AC (51.7%) PROPOSED ADDITIONAL IMPERVIOUS (THIS PROJECT): 42,515 SF 0.98 AC PROPOSED IMPERVIOUS COVER: 241,303 SF 5.54 AC (58.6%) PROPOSED VEGETATIVE COVER: 170,603 SF 3.92 AC (41.4%) TOTAL PARKING AREA: 133,258 SF TOTAL LANDSCAPING AREA: 23,409 SF (17.6%)

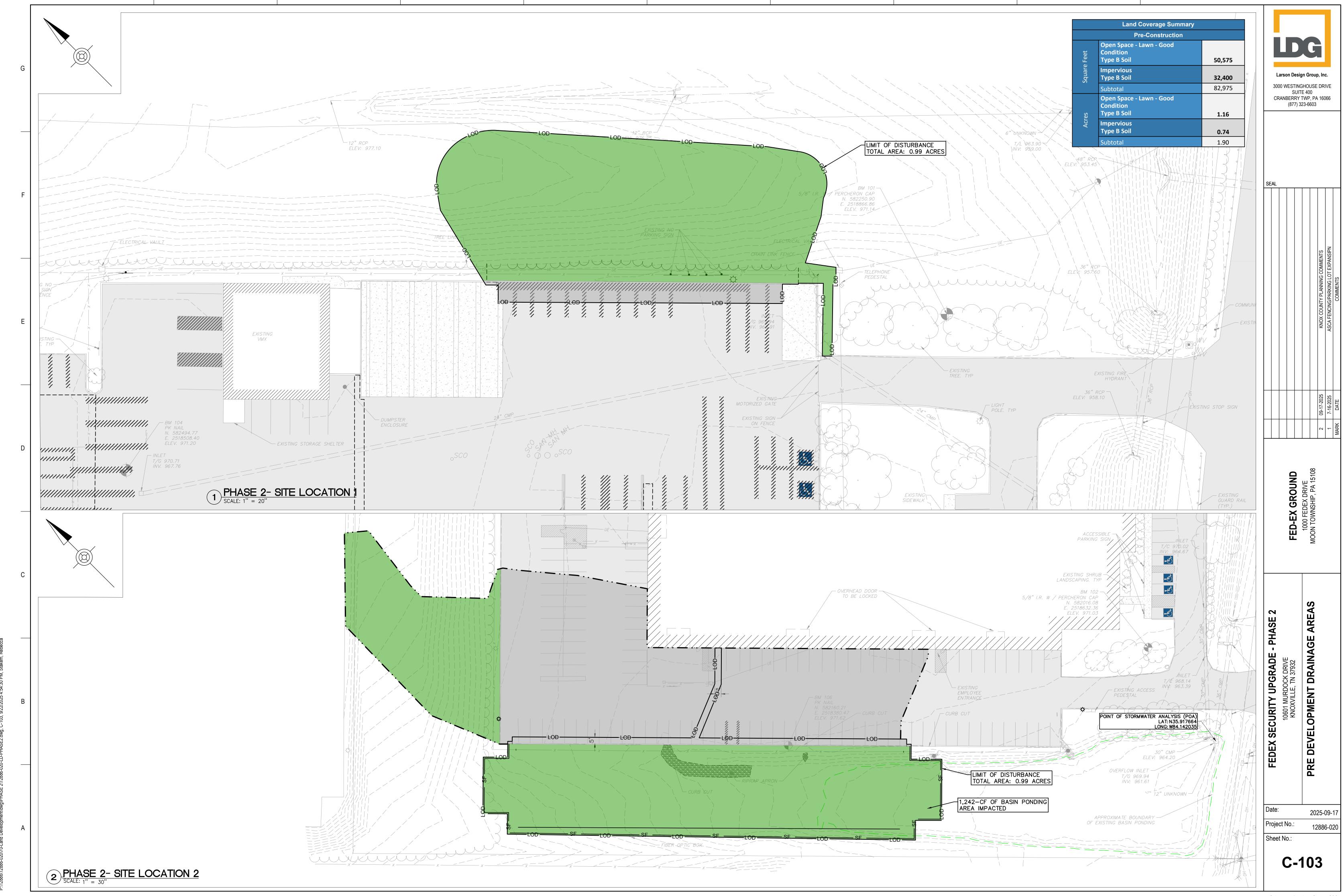
Larson Design Group, Inc.

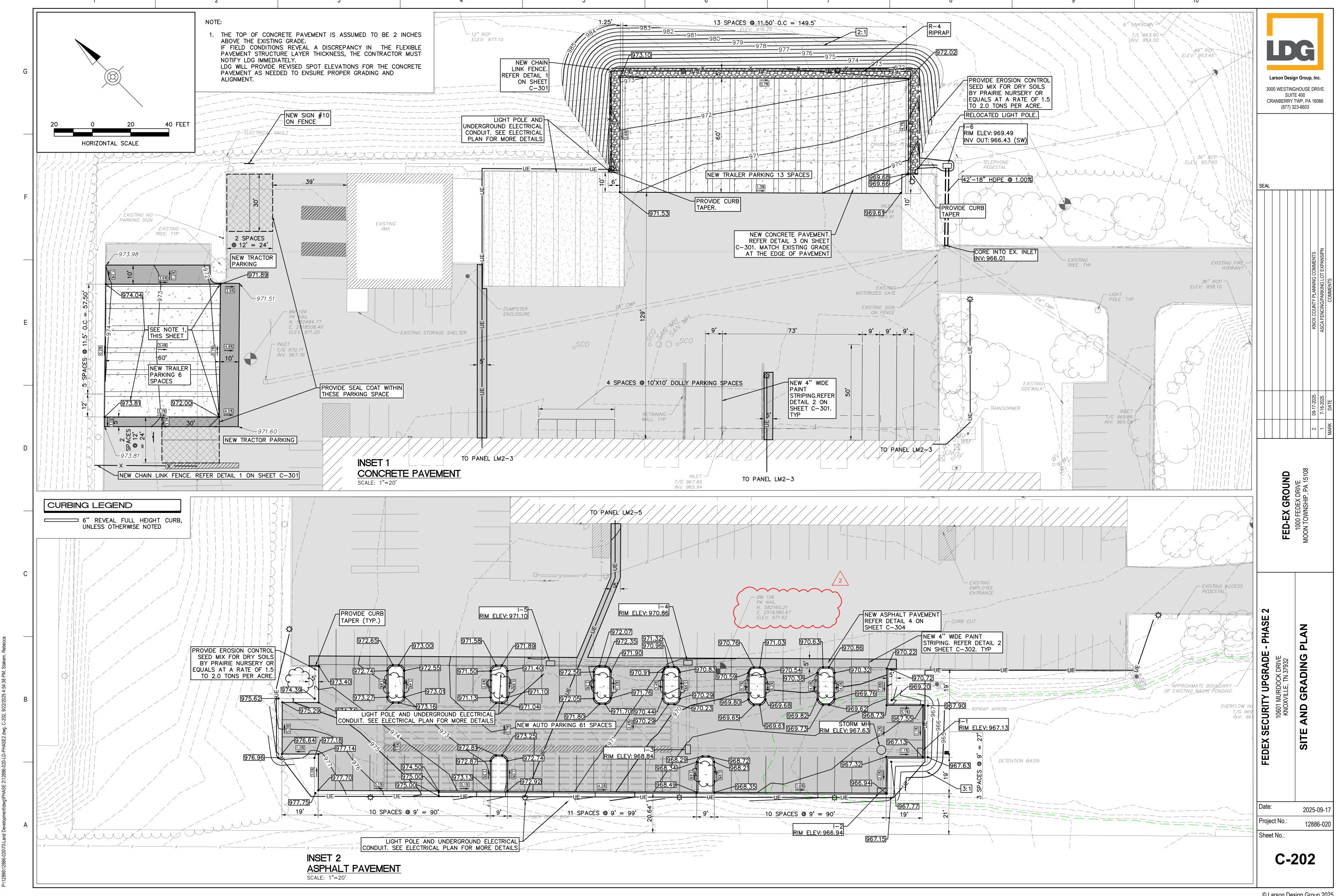
3000 WESTINGHOUSE DRIVE SUITE 400 CRANBERRY TWP, PA 16066 (877) 323-6603

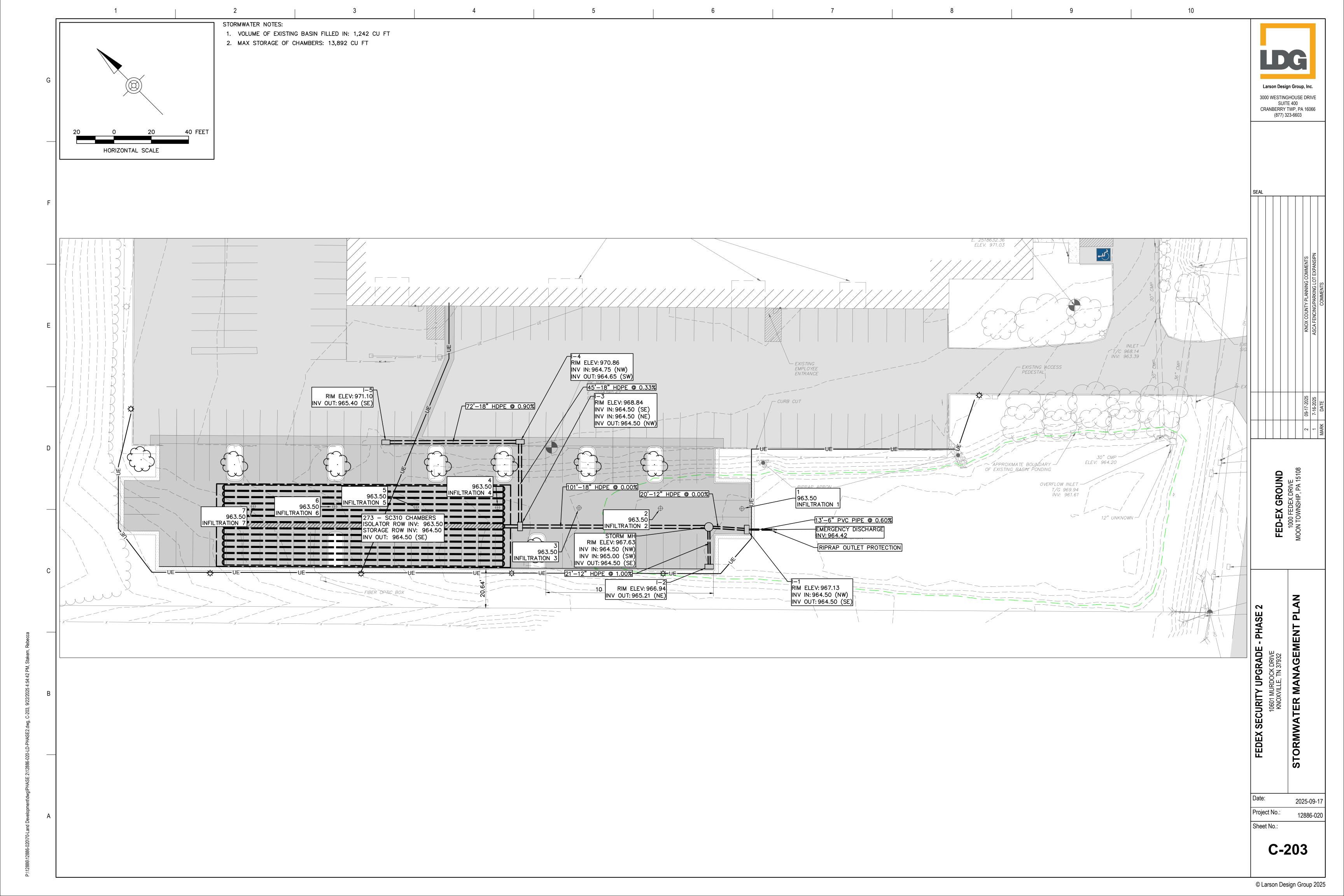
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			09-17-2025	7-16-2025	DATE
			2	-	MARK
	FED-EX GROUND	1000 FEDEX DRIVE MOON TOWNSHIP, PA 15108			
FEDEX SECURITY UPGRADE - PHASE 2	10601 MURDOCK DRIVE KNOXVILLE, TN 37932	GENERAL NOTES			
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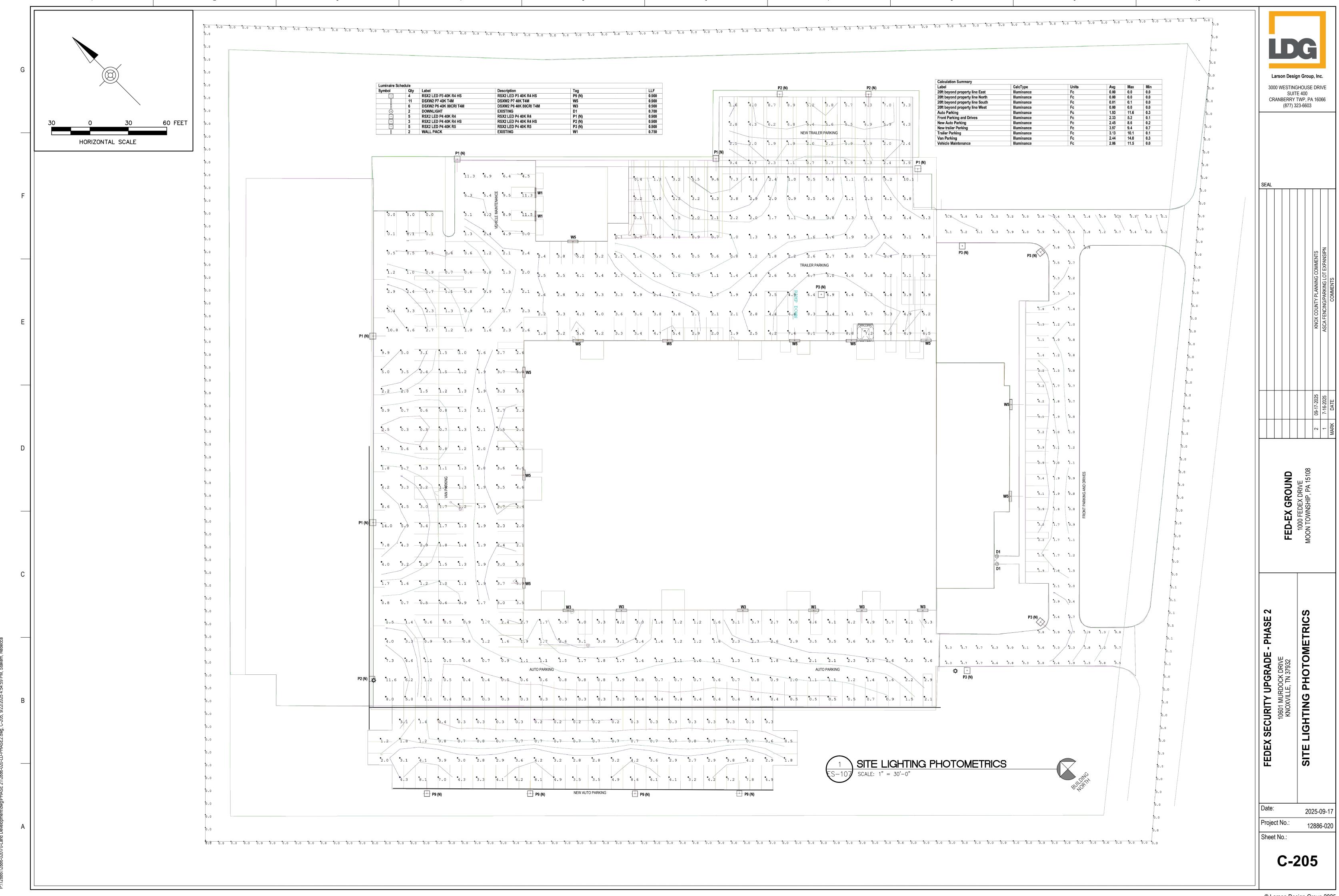


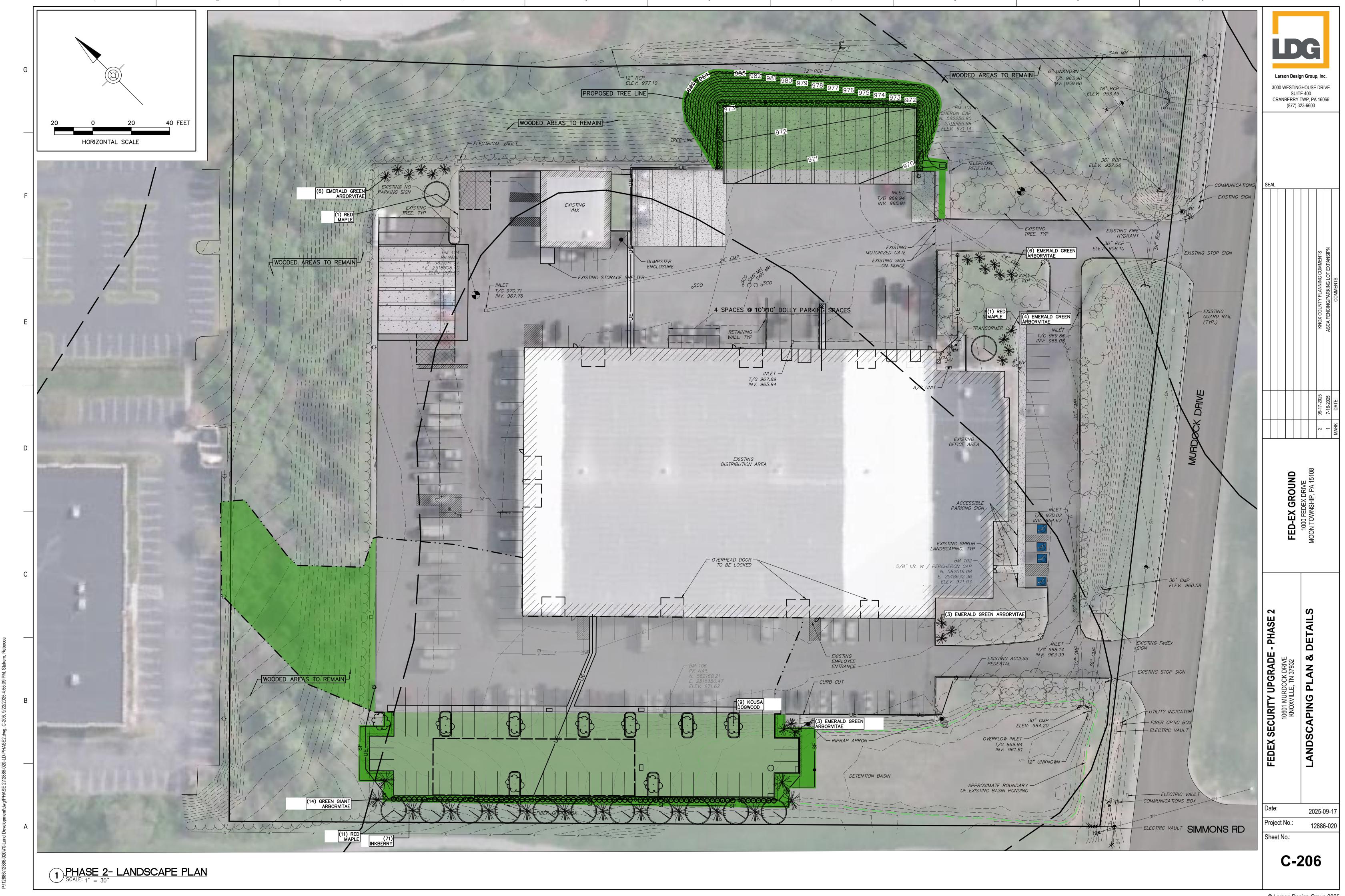












1. COORDINATE THE PLACEMENT OF THE LANDSCAPING MATERIALS WITH EXISTING SITE FEATURES AND OTHER IMPROVEMENTS. CONTRACTOR TO PROVIDE CLEANUP, PROTECTION, AND MAINTENANCE OF LANDSCAPED AREA UNTIL OWNER INSPECTION AND ACCEPTANCE.

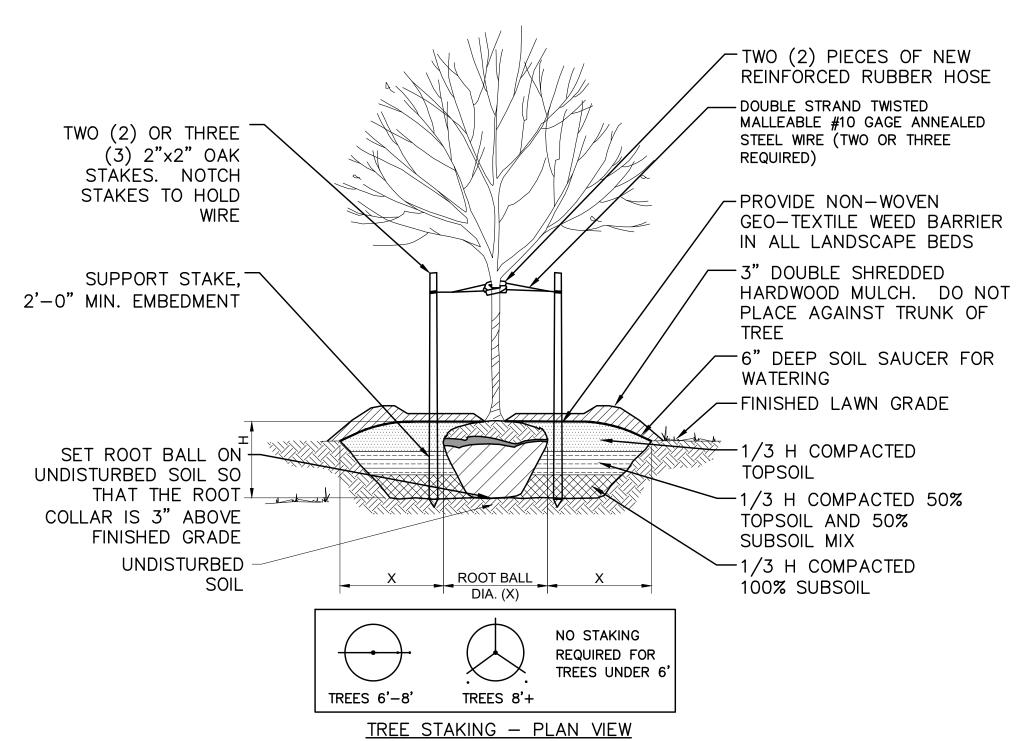
2. ALL DISTURBED AREAS NOT LANDSCAPED, PAVED, OR BUILT UPON SHALL BE SEEDED, FERTILIZED, AND MULCHED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS OR AS OTHERWISE NOTED.

GENERAL NOTES

3. PLANTS SHALL BE MAINTAINED AND WARRANTED TO BE LIVING AND IN HEALTHY CONDITION FOR AT LEAST TWELVE (12) MONTHS FROM THE DATE OF SUBSTANTIAL COMPLETION.

IRRIGATION NOTES

TEMPORARY IRRIGATION WILL BE PROVIDED BY THE CONTRACTOR TO ESTABLISH ALL NEW LANDSCAPE AREAS. THESE AREAS WILL INCLUDE TREES, SHRUBS, GROUNDCOVER, AND SEED ACROSS THE SITE UNTIL THE REQUIRED MAINTENANCE PERIOD HAS ENDED AND ALL PLANT MATERIALS HAVE SUSTAINED HEATHY, VIGOROUS GROWTH.



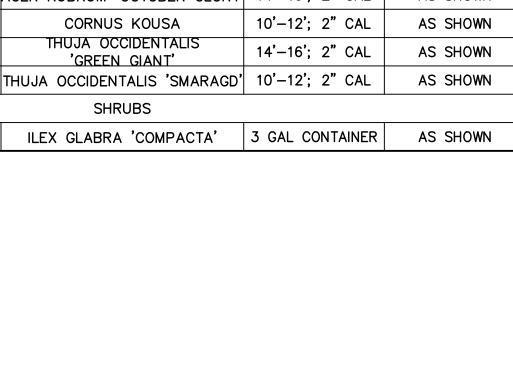
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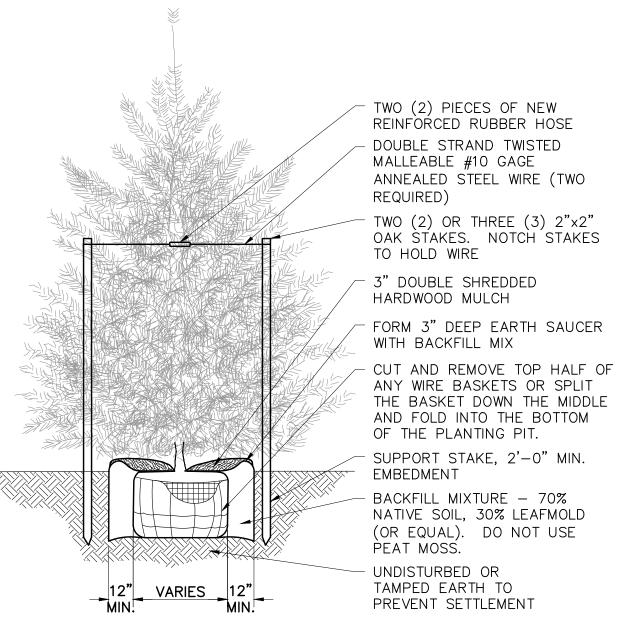
- 1. DIG ELLIPTICAL HOLE THREE (3) TIMES THE DIAMETER OF THE TOP OF ROOT BALL. "X" = DIAMETER OF THE ROOT BALL.
- 2. REMOVE ALL CORD FROM AROUND TRUNK AND REMOVE ALL METAL, PLASTIC, OR BURLAP FROM TOP 1/3 OF ROOTBALL. 3. ALL PLANTS MUST BE PLANTED TO BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE AT NURSERY.

DECIDUOUS TREE PLANTING

SCALE: NOT TO SCALE

			PLANT LIST		
PLAN ID	QTY	COMMON NAME	SCIENTIFIC NAME	PLANT SIZE AND ROOT	SPACING
			TREES		
AR	13	RED MAPLE	ACER RUBRUM 'OCTOBER GLORY'	14'-16'; 2" CAL	AS SHOWN
CK	9	KOUSA DOGWOOD	CORNUS KOUSA	10'-12'; 2" CAL	AS SHOWN
TG	13	GREEN GIANT ARBORVITAE	THUJA OCCIDENTALIS 'GREEN GIANT'	14'-16'; 2" CAL	AS SHOWN
TS	22	EMERALD GREEN ARBORVITAE	THUJA OCCIDENTALIS 'SMARAGD'	10'-12'; 2" CAL	AS SHOWN
			SHRUBS		
IG	71	INKBERRY	ILEX GLABRA 'COMPACTA'	3 GAL CONTAINER	AS SHOWN



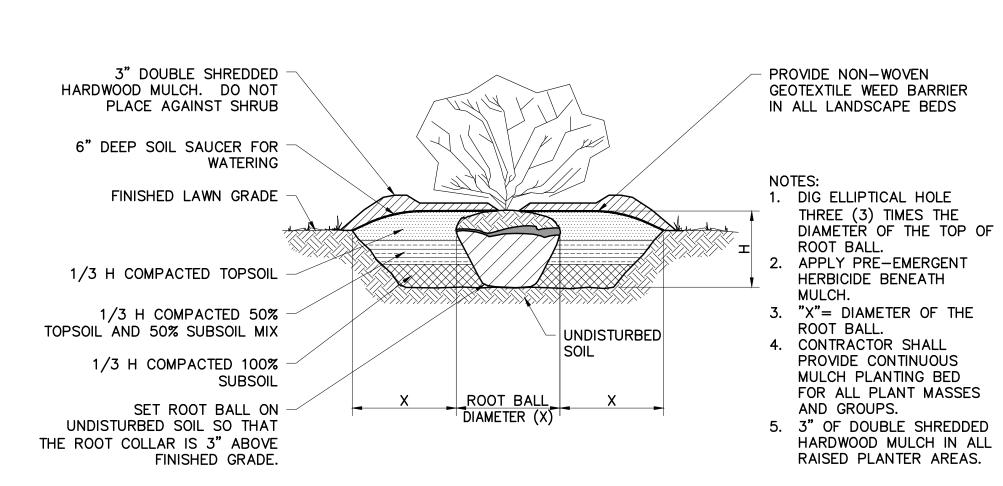


NOTES:

1. REMOVE ALL CORD FROM AROUND TRUNK AND REMOVE ALL METAL, PLASTIC, OR BURLAP FROM TOP 1/3 OF ROOTBALL.

2. ALL PLANTS SHALL BE PLANTED TO BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE AT NURSERY.

EVERGREEN TREE PLANTING SCALE: NOT TO SCALE



SHRUB PLANTING

SCALE: NOT TO SCALE

Larson Design Group, Inc.

3000 WESTINGHOUSE DRIVE SUITE 400 CRANBERRY TWP, PA 16066 (877) 323-6603

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						KNOX COUNTY PLANNING COMMENTS	ASCA FENCING/PARKING LOT EXPANSIPN	COMMENTS
						09-17-2025	7-16-2025	DATE
						2	1	MARK
			FED-EX GROUND	 1000 FEDEX DRIVE	MOON TOWNSHIP, PA 15108			

DETAILS 7 **PHASE** PLAN

SECURITY UPGRADE APING LANDSC/ **FEDEX**

Date: 2025-09-1 Project No.:

Sheet No.:

C-207

Larson Design Group

FEDEX SECURITY UPGRADE
10601 MURDOCK DRIVE, KNOXVILLE, TN 37932
12886-020

CONTRACTOR: JACKSON TAYLOR CONTRACTORS 7047 SPINACH DR,MENTOR, OH 44060

CLIENT: FEDEX GROUND
1000 FEDEX DRIVE
MOON TOWNSHIP, PA 15108

	EXISTING	PROPOSED
FEATURES TEXT	FEATURES TEXT	FEATURES TEXT
PROPERTY LINE		
RIGHT-OF-WAY LINE		
EASEMENT LINE		
CONTOUR LINE	— — — 100 — — — —	100
CENTER LINE OF ROAD		
BUILDING SETBACK		
BUILDING LINE	<u> </u>	<u>'////////////////////////////////////</u>
FENCE LINE	x	x
EDGE OF PAVEMENT		
GRAVEL		
CONCRETE CURB		
CONCRETE SIDEWALK		Δ Δ Δ Δ Δ Δ Δ Δ Δ Δ Δ Δ Δ Δ Δ Δ Δ Δ Δ
SIGN		<u> </u>
BENCHMARK	•	·
	*	
DITCH/SWALE		
DRAINAGE LINE, MANHOLE & CB		→ <u>MH</u> — — — —
SANITARY SEWER & MANHOLE	S	—O ^{MH} ——S——
WATER MAIN & VALVE	——∘ ^{WV}	W/
SEWER FORCE MAIN	FM	FM
GAS MAIN & VALVE	GV	G
UNDERGROUND ELECTRIC	UE	————E———
UNDERGROUND CABLE TV		
OVERHEAD UTILITIES & POLE	<u></u> ОН	— ОН—
UNDERGROUND TELEPHONE	UT	T
OBJİDEILRAR FABRIC FENCE		. • • • • •
30" FILTER FABRIC FENCE		
SUPER FILTER FABRIC FENCE	SFF	
8" COMPOST FILTER SOCK	CS-8	
12" COMPOST FILTER SOCK	CS-12	
18" COMPOST FILTER SOCK	CS-18	
24" COMPOST FILTER SOCK	CS-24	
LIMIT OF DISTURBANCE	LOD	
NPDES PERMIT BOUNDARY	PERMIT —	
SOILS BOUNDARY		
SOIL TYPE	HhC2	
DRAINAGE DIVIDES		
DRAINAGE SWALE		
ROCK CONSTRUCTION EXIT	RCE	
ROCK FILTER	RF	
LEVEL SPREADER	LS	
INLET PROTECTION		
CONCRETE WASHOUT	CWO	
STONE & CONCRETE BLOCK	SCBIP	
INLET PROTECTION		

STOCKPILE

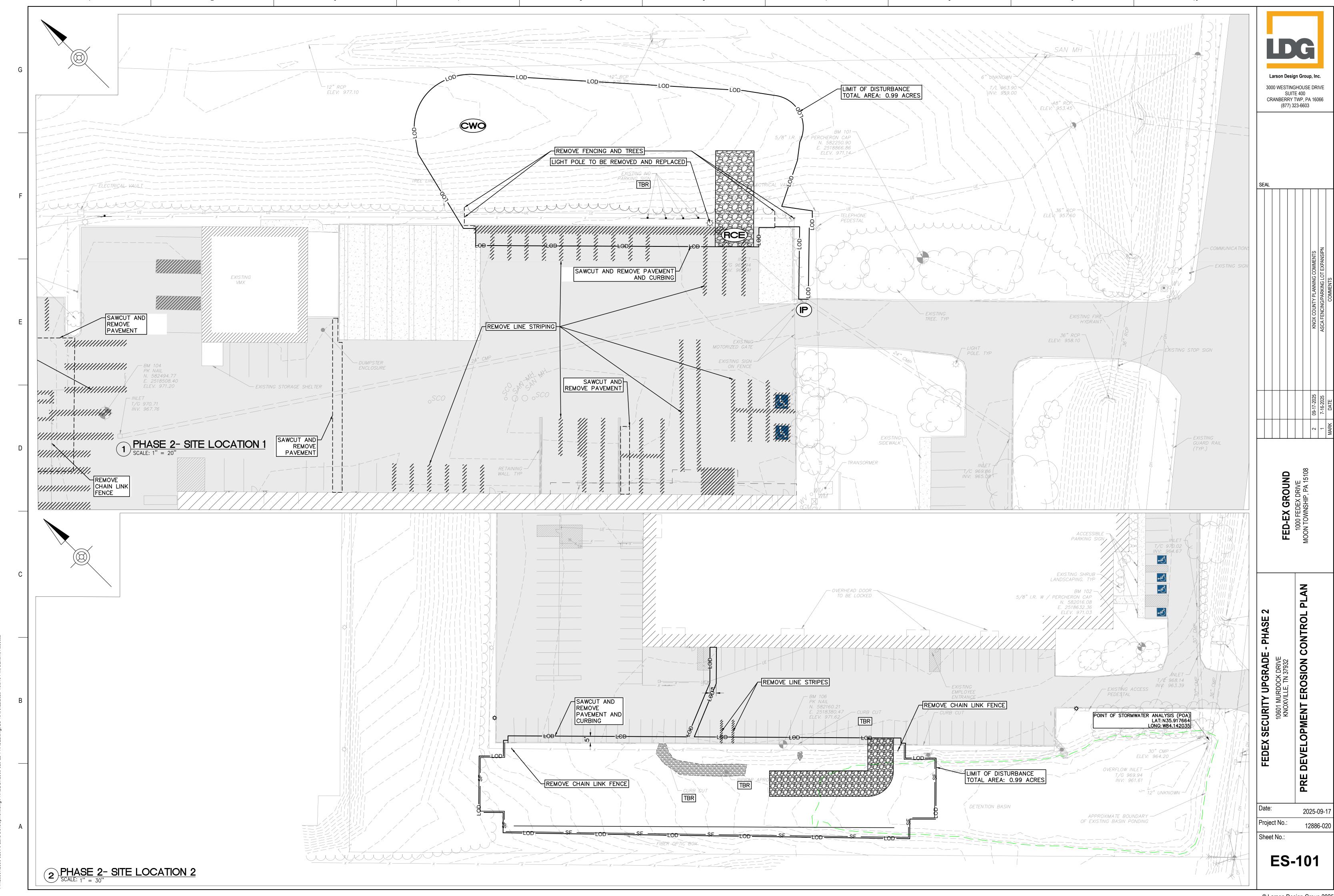
LEGEND

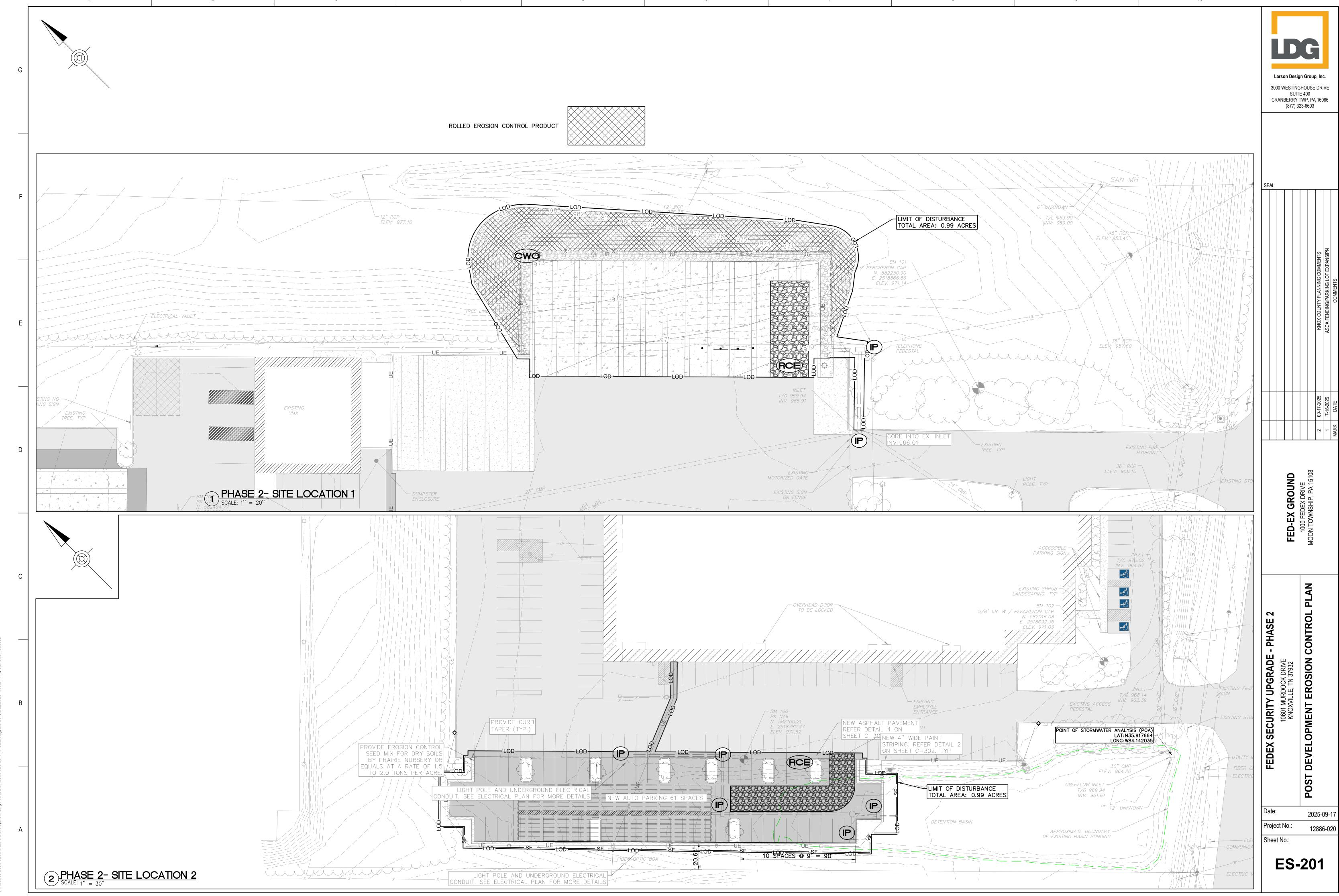
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						KNOX COUNTY PLANNING COMMENTS	ASCA FENCING/PARKING LOT EXPANSIPN	COMMENTS
						2025	2025	
-						2 09-17-2025	1 7-16-2025	MARK DATE
			FED-EX GROU	1000 FEDEX DRIVE	MOON TOWNSHIP, PA 15108			
	FEDEA SECURII Y UPGRADE - PHASE 2	10601 MURDOCK DRIVE	KNOXVILLE, TN 37932		COVER SHEE!			
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SHEET INDEX

CONTROL PLAN

POST DEVELOPMENT EROSION





TOPSOIL SHOULD BE UNIFORMLY DISTRIBUTED ACROSS THE DISTURBED AREA TO A DEPTH OF FOUR (4) TO EIGHT (8) INCHES MINIMUM [TWO (2) INCHES ON FILL OUTSLOPES]. SPREADING SHOULD BE DONE IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL PREPARATION OR TILLAGE. IRREGULARITIES IN THE SURFACES RESULTING FROM TOPSOIL PLACEMENT SHOULD BE CORRECTED IN ORDER TO PREVENT FORMATION OF DEPRESSIONS UNLESS SUCH DEPRESSIONS ARE PART OF THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN.

TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

PERMANENT OR TEMPORARY STABILIZATION SHALL OCCUR IF ADDITIONAL WORK OR DISTURBANCE IS NOT TO BE PERFORMED FOR FOUR (4) OR MORE DAYS.

IN NO CASE SHALL AN AREA EXCEEDING 15,000 SQUARE FEET AND PLANNED TO BE ESTABLISHED BY VEGETATION REACH FINAL GRADE WITHOUT BEING SEEDED AND MULCHED. OUTSIDE OF APPROVED GERMINATION PERIODS, APPLY STRAW MULCH AT A RATE OF THREE (3) TONS PER ACRE FOR TEMPORARY STABILIZATION UNTIL THE NEXT GERMINATION PERIOD.

SEEDING PROGRAM

TEMPORARY SEEDING:

- IF PERMANENT VEGETATION IS NOT PLACED ON DISTURBED AREA FOR FOUR (4) OR MORE DAYS, THE DISTURBED AREA SHALL BE TEMPORARILY SEEDED AS FOLLOWS:
- A. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY AGRICULTURAL GRADE LIME AT A RATE OF ONE (1) TON/ACRE, OR FORTY-FIVE (45) LBS/1,000 SF, AND FERTILIZER 10-10-10 AT A RATE OF 1000 LBS/ACRE OR TWENTY-THREE (23)
- LB/1,000 SF BROADCAST TEMPORARY SEED MIXTURE OF ANNUAL RYEGRASS AT A RATE OF
- FORTY-FOUR (44) LBS/ACRE, OR ONE (1) LB/1,000 SF C. SPREAD MULCH (STRAW OR HAY) AT A RATE OF THREE (3) TONS/ACRE, OR ONE HUNDRED AND THIRTY THREE (133) LBS/1.000 SF

PERMANENT SEEDING

- PLACE TOPSOIL TO A MINIMUM DEPTH OF SIX (6) INCHES WHERE THE TEXTURE OF THE EXPOSED SOIL IS NOT SUITABLE FOR VEGETATIVE GROWTH, OR WHERE THE TOPSOIL DEPTH IS INSUFFICIENT FOR THE SUPPORTING ROOT ZONE
- LIME AND FERTILIZE ACCORDING TO SOIL TESTS OR AT THE RATES INDICATED BELOW. LOOSEN SURFACE SOIL TO A DEPTH OF FOUR (4) TO SIX (6) INCHES WITH SUITABLE
- EQUIPMENT. APPLY SEEDS UNIFORMLY BY BROADCASTING OR HYDROSEEDING. 4. SPREAD MULCH (STRAW ONLY) ON ALL AREAS AS INDICATED. MULCH SHALL BE ANCHORED WITH WOOD CELLULOSE FIBER (APPLIED AT A RATE OF 750 LBS/ACRE) OR OTHER SUITABLE MULCH ANCHORING MATERIAL.
- SEED AND SOIL AMENDMENT APPLICATION RATES SLOPES < 3:1: APPLY AGRICULTURAL GRADE LIME AT A RATE OF TWO (2) TONS/ACRE, OR NINETY
- (90) LBS/1,000 SF APPLY FERTILIZER 10-20-10 AT A RATE OF SIX HUNDRED AND NINETY SIX (696)
- LBS/ACRE OR SIXTEEN (16) LB/1,000 SF C. BROADCAST A PERMANENT SEED MIXTURE OF 50% TALL FESCUE (2 VARIETIES), 40% PERENNIAL RYEGRASS (2 VARIETIES), AND 10% BLUEGRASS (2 VARIETIES) AT A RATE OF 100 LBS/ACRE, OR 2.3 LB/1,000 SF (SEE SPECIFICATIONS FOR
- FURTHER DETAIL) SPREAD MULCH (STRAW) AT A RATE OF THREE (3) TONS/ACRE, OR 133 LBS/1,000
- SEED AND TOPSOIL AMENDMENT APPLICATION RATES SLOPE > 3:1: A. APPLY AGRICULTURAL GRADE LIME AT A RATE OF TWO (2) TONS/ACRE, OR NINETY (90) LBS/1,000 SF;
- APPLY FERTILIZER 10-20-10 AT A RATE OF SIX HUNDRED AND NINETY SIX (696) LBS/ACRE OR SIXTEEN (16) LB/1,000 SF;
- C. BROADCAST A PERMANENT SEED MIXTURE OF 100% TALL FESCUE (2 VARIETIES) AT
- A RATE OF 100 LBS/ACRE, OR 2.3 LBS/1,000 SF; AND SPREAD MULCH (STRAW) AT A RATE OF THREE (3) TONS/ACRE, OR 133 LBS/1,000
- 7. IF A UNIFORM 70% COVER IS NOT ESTABLISHED ON ALL LAWN AREAS BY OCTOBER 15. THE CONTRACTOR SHALL LOOSEN THE SOIL SURFACE AND APPLY ADDITIONAL TOPSOIL, AND APPLY SOIL AMENDMENTS, SEED, AND MULCH TO THE EXTENT REQUIRED TO ESTABLISH A MINIMUM UNIFORM 70% COVER.
- IF A UNIFORM 90% COVER IS NOT ESTABLISHED ON ALL SLOPES BY OCTOBER 15. ALL
- BARREN AREAS SHALL BE REPLANTED IN ACCORDANCE WITH NOTES 1 AND 6. ALL VEGETATION SHALL BE GUARANTEED TO ACHIEVE 100% COVERAGE WITHIN ONE YEAR. OR PLANTING SHALL CONTINUE UNTIL 100% COVERAGE IS ACHIEVED.

PROCEDURES WHICH ENSURE THAT THE PROPER MEASURES FOR THE RECYCLING OR DISPOSAL OF MATERIALS ASSOCIATED WITH OR FROM THE PROJECT SITE WILL BE UNDERTAKEN

THE RECYCLING AND DISPOSAL OF MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL, STATE,

AND FEDERAL REGULATIONS. COMPLY WITH AIR QUALITY, WATER QUALITY, SOLID WASTE MANAGEMENT POLICIES, ETC. CONSTRUCTION WASTES MAY INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:

- EXCESS SOIL MATERIALS (1)
- TREES, SHRUBS, AND BRUSH REMOVED DURING CLEARING AND GRUBBING (2)
- SANITARY WASTES (3) • CONCRETE WASH WATER (3)
- PACKAGING MATERIALS (WOOD, PAPER, PLASTIC, STYROFOAM, ETC.) (3)
- SCRAP OR SURPLUS BUILDING MATERIALS (METALS, RUBBER, PLASTIC, GLASS, MASONRY PRODUCTS, AND OTHER SOLID WASTE MATERIALS) (3)
- PETROLEUM PRODUCTS, PAINT AND THINNERS, CLEANING SOLVENTS, CURING
- COMPOUNDS AND SIMILAR MATERIALS (3) DEMOLITION DEBRIS (3)

FOOTNOTES:

- 1. UNLESS OTHERWISE DIRECTED, EXCESS SOIL AND EXCAVATED MATERIAL MAY BE USED FOR FILL MATERIAL ON SITE OR OFF SITE. COORDINATE WITH OWNER AND AGENCIES HAVING JURISDICTION.
- 2. TREES, SHRUBS AND BRUSH SHALL BE CHIPPED WHEN POSSIBLE AND REUSED AS MULCH. DO NOT BURN WITHOUT PERMISSION.
- 3. WHERE POSSIBLE, WASTES SHALL BE RECYCLED. WHERE NOT PRACTICAL, WASTES SHALL BE PROPERLY DISPOSED OF AT A PERMITTED LANDFILL FACILITY. THE CONTRACTOR IS ENCOURAGED TO CONSULT THE RECYCLING HOTLINE OR LOCAL SOLID WASTE MANAGEMENT AGENCY.

CONTRACTOR SHALL PRACTICE GOOD HOUSEKEEPING, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- NEAT, ORDERLY, AND CENTRALIZED STORAGE OF MATERIALS AND WASTES
- CONTROL OF LITTER PROVIDING CONTAINERS WITH LIDS IF NEEDED
- REGULAR DISPOSAL • PROMPT CLEANUP OF ANY SPILLS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS OR IN ACCORDANCE WITH REGULATORY REQUIREMENTS. UTILIZE A
- SPECIALTY FIRM IF REQUIRED. • PROMPT CLEANUP OF SEDIMENTS WITHIN THE SITE AND ONTO ADJACENT ROADWAYS
- KEEP DUST WITHIN TOLERABLE LIMITS BY USING WATER OR OTHER APPROVED DUST SUPPRESSERS

MAINTENANCE PROGRAM WHICH PROVIDES FOR THE INSPECTION OF BMP'S ON A WEEKLY BASIS AND AFTER EACH MEASURABLE RAINFALL EVENT, INCLUDING THE REPAIR OF THE BMP'S TO ENSURE EFFECTIVE AND EFFICIENT OPERATION.

IT SHALL BE THE RESPONSIBILITY OF THE OWNER'S CONTRACTOR TO MAINTAIN THE TEMPORARY CONTROL DEVICES. THE FOLLOWING ARE SOME TYPICAL MAINTENANCE ITEMS:

ROLLED EROSION CONTROL PRODUCT

- GOOD CONTACT WITH THE GROUND MUST BE MAINTAINED, AND EROSION MUST NOT OCCUR BENEATH THE BLANKET.
- ANY AREAS OF THE BLANKET THAT ARE DAMAGED OR NOT IN CLOSE CONTACT WITH THE GROUND SHALL BE REPAIRED AND STAPLED.
- IF EROSION OCCURS DUE TO POORLY CONTROLLED DRAINAGE, THE PROBLEM SHALL BE FIXED AND THE ERODED AREA REPAIRED.
- MONITOR AND REPAIR THE BLANKET AS NECESSARY UNTIL GROUND COVER IS ESTABLISHED.
- INSPECTIONS SHOULD INCLUDE WALKING ACROSS THE SLOPE TO CHECK FOR EROSION GULLIES THAT CAN BE FELT RATHER THAN SEEN.
- HARDWARE CLOTH AND GRAVEL INLET PROTECTION • SEDIMENT SHOULD NOT BE ALLOWED TO WASH INTO THE INLET. IT SHOULD BE
- REMOVED FROM THE INLET PROTECTION AND DISPOSED OF AND STABILIZED SO THAT IT WILL NOT ENTER THE INLET AGAIN. REMOVE SEDIMENT FROM THE DEPOSITION AREAS WHEN HALF THE HEIGHT OF THE STORAGE AREA HAS BEEN FILLED.
- CHECK MEASURE FOR DAMAGE OR EVIDENCE OF EROSION AND BYPASSING AROUND THE INLET PROTECTION. IF INLETS ARE IN SERIES, RUNOFF THAT BYPASSES AN UPGRADIENT INLET CAN OVERWHELM A DOWNGRADIENT INLET PROTECTION DEVICE. SAND BAGS, DIVERSIONS, OR OTHER METHODS SHOULD BE USED TO DIRECT RUNOFF INTO STORM DRAIN INLETS.
- WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN PERMANENTLY STABILIZED, ALL MATERIALS AND ANY SEDIMENT SHOULD BE REMOVED, AND EITHER SALVAGED OR DISPOSED OF PROPERLY. THE DISTURBED AREA SHOULD BE BROUGHT TO PROPER GRADE, THEN SMOOTHED AND COMPACTED. APPROPRIATELY STABILIZE ALL DISTURBED AREAS AROUND THE INLET. ROCK CONSTRUCTION EXIT
- THE EXIT MUST BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOW OF MATERIAL ONTO PUBLIC RIGHTS-OF-WAY OR INTO THE STORM DRAIN SYSTEM. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH FRESH STONE OR FULL REPLACEMENT OF STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY RELATED DIVERSIONS AND SEDIMENT TRAPS.ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OR SITE ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED BY THE END OF THE DAY.
- SILT FENCE • REMOVE SEDIMENT ONCE IT HAS ACCUMULATED TO ½ THE ORIGINAL HEIGHT OF THE
- REPLACE FILTER FABRIC WHENEVER IT IS WORN OR HAS DETERIORATED TO SUCH AN
- EXTENT SO THAT THE EFFECTIVENESS OF THE FABRIC IS REDUCED. ALL SEDIMENT ACCUMULATED AT THE FENCE SHOULD BE REMOVED AND PROPERLY
- DISPOSED OF BEFORE THE FENCE IS REMOVED. REPAIR SAGGING SILT FENCE TO PREVENT FAILURE OR OVERTOPPING.
- MONITOR THE TOE FOR EVIDENCE OF PIPING OR EROSION ALONG THE TOE. INSTALL J-HOOKS WHEREVER RUNOFF FLOWS ALONG THE TOE OF THE FENCING TO PREVENT
- SILT FENCE SHOULD REMAIN IN PLACE UNTIL DISTURBED AREAS HAVE BEEN
- PERMANENTLY STABILIZED. CONCRETE WASHOUT
- INSURE CONTRACTORS AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE AND PERFORM WASHOUT OF CONCRETE TRUCKS OFFSITE OR IN DESIGNATED AREAS ONLY. DO NOT ALLOW CONCRETE TRUCKS TO WASH INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS. DO NOT ALLOW EXCESS CONCRETE TO BE DUMPED ONSITE, EXCEPT IN DESIGNATED AREAS. DO NOT WASH SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE INTO THE STREET OR STORM DRAINS.
- TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE MAINTAINED TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM FREEBOARD OF 4 INCHES FOR ABOVE GRADE FACILITIES AND 12 INCHES FOR BELOW GRADE FACILITIES. INSPECT PLASTIC LININGS AND SIDEWALLS OF SITE-BUILT WASHOUTS TO ENSURE THEY HAVE NOT BEEN DAMAGED DURING CONSTRUCTION ACTIVITIES. INSPECT ALL SURFACES OF PREFABRICATED WASHOUTS TO ENSURE THE CONTAINER IS NOT LEAKING.
- WASHOUT FACILITIES MUST BE CLEANED, OR NEW FACILITIES MUST BE CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75% FULL.
- INSPECTORS SHOULD NOTE WHETHER WASHOUT FACILITIES ARE BEING USED AND MAINTAINED REGULARLY. IF INSPECTOR FINDS THAT CONCRETE TRUCKS ARE BEING WASHED OUT IN LOCATIONS OTHER THAN DESIGNATED WASHOUT AREAS. THE INSPECTOR SHOULD NOTIFY THE SITE SUPERINTENDENT IMMEDIATELY AND THE SITE SUPERINTENDENT SHOULD CORRECT THE ISSUE.
- GENERAL MAINTENANCE • REPAIR, RESEED, AND REMULCH ANY AREAS THAT ERODE PRIOR TO FINAL STABILIZATION. FINAL STABILIZATION WILL BE ACHIEVED WHEN THERE IS A UNIFORM
- VEGETATIVE COVER OR DENSITY OF 70% ACROSS THE DISTURBED AREA. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE MEASURES TO ENSURE THAT SEDIMENT IS NOT DEPOSITED ON PUBLIC WALKS OR ROADWAYS. IF ANY SEDIMENT IS DEPOSITED ON PUBLIC WALKS OR ROADWAYS, IT SHALL BE REMOVED AND RETURNED TO THE SITE DAILY, DISPOSED OF IN LOW AREAS AND IMMEDIATELY SEEDED AND

MULCHED.

STANDARD EROSION AND SEDIMENTATION CONTROL PLAN NOTES

- ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED, AND DATED BY THE REVIEWING AGENCY) SHALL BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION. THE CONTRACTOR/OPERATOR SHALL BE RESPONSIBLE FOR PAYMENT OF ANY FEES ASSOCIATED WITH ACQUIRING APPROVAL FOR SUCH CONTRACTOR REQUESTED DEVIATIONS FROM THE APPROVED PLANS AND NARRATIVES.
- 2. AT LEAST SEVEN (7) DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
- 3. AT LEAST THREE (3) DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE TENNESSEE ONE CALL SYSTEM INC. SHALL BE NOTIFIED BY CALLING 811 OR 1-800-351-1111 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- 4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE
- DEPARTMENT PRIOR TO IMPLEMENTATION. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL
- CLEARING. GRUBBING. AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING. GRUBBING, AND TOPSOIL STRIPPING SHALL NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMP'S SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S
- AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS SHALL BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS
- 8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION ON FINAL GRADES SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED THIRT-FIVE (35) FEET OR AS INDICATED ON THE PLANS. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
- 9. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT
- AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT. 10. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- 11. ALL OFF-SITE WASTE AND BORROW AREAS SHALL HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT OF ENVIRONMENTAL
- PROTECTION FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED. 12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- 13. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN OVER UNDISTURBED VEGETATED AREAS.
- 14. VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT DIRECTLY FROM CONSTRUCTION ONTO MURDOCK DRIVE. CONSTRUCTION VEHICLES SHALL NOT ENTER ADJACENT PROPERTIES WITHOUT PRIOR WRITTEN CONSENT.
- 15. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMP'S SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMP'S AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- 16. A LOG SHOWING DATES THAT E&S BMP'S WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- 17. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEPT INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER. 18. ALL SEDIMENT REMOVED FROM BMP'S SHALL BE DISPOSED OF IN THE MANNER DESCRIBED
- 19. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A DEPTH OF 3" TO 5", OR 6" TO 12" ON COMPACTED SOILS, PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.

ON THE PLAN DRAWINGS.

OTHER APPROVED METHOD.

- 20. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE, OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE
- WITH LOCAL REQUIREMENTS OR CODES. 21. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9" IN
- 22. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT
- CONSTRUCTION OF SATISFACTORY FILLS. 23. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- 24. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES. 25. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR
- 26. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
- 27. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN ONE (1) YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN ONE (1) YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- 28. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS. 29. E&S BMP'S SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM

ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP

APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT OF

ENVIRONMENTAL PROTECTION. 30. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS. THE OWNER AND OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMP'S.

- 31. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMP'S MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMP'S. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMP'S SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE
- ONLY DURING THE GERMINATING SEASON. 32. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
- 33. FAILURE TO CORRECTLY INSTALL E&S BMP'S, PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMP'S MAY RESULT IN ADMINISTRATIVE. CIVIL. AND OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
- 34. CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.



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	CNICA	DEX DRIVE	HIP, PA 15108	2		MARK
				09-17-2025	7-16-2025	K DATE
				KNOX COUNTY PLANNING COMMENTS	ASCA FENCING/PARKING LOT EXPANSIPN	COMMENTS

FED-EX 1000 FEE AOON TOWN

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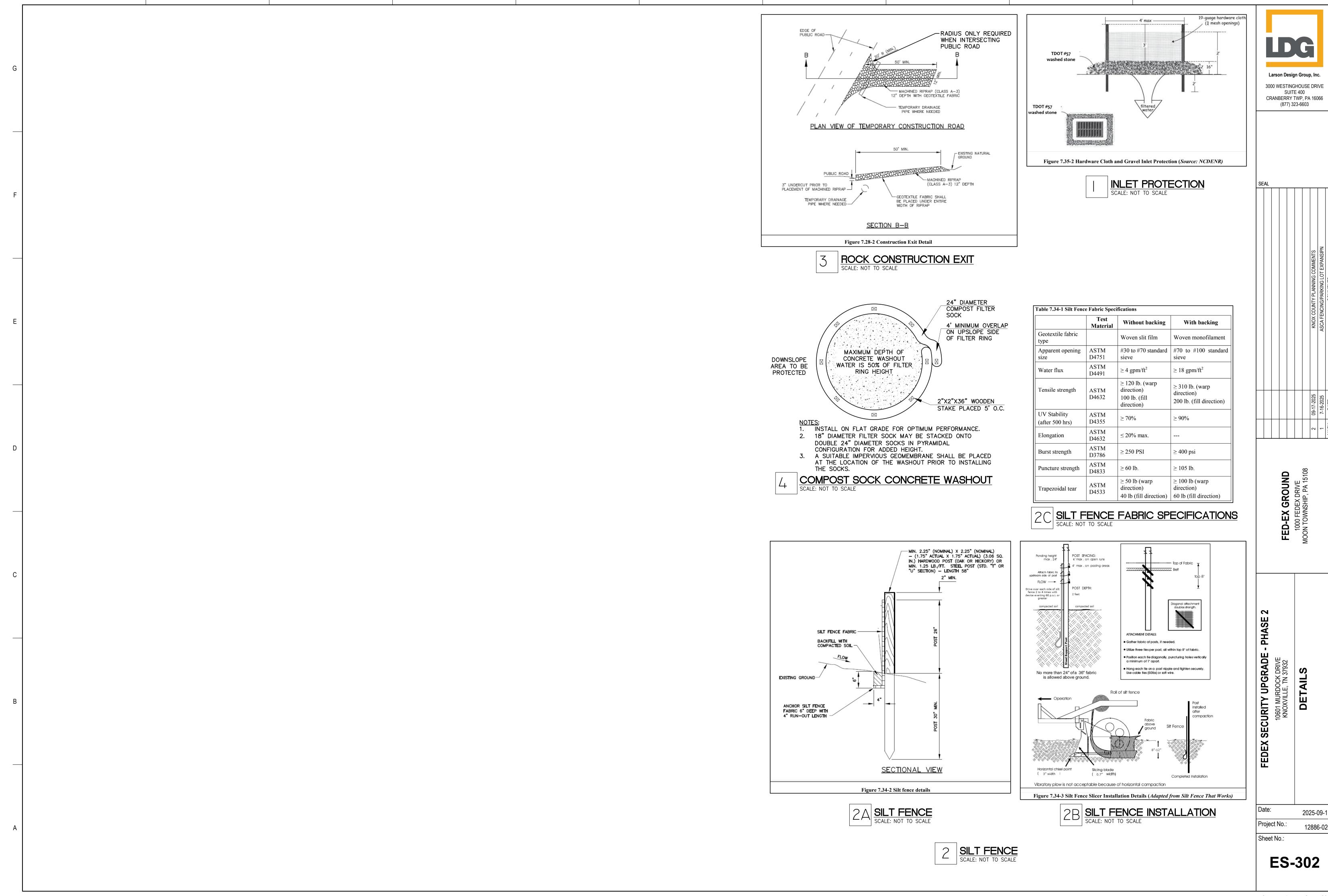
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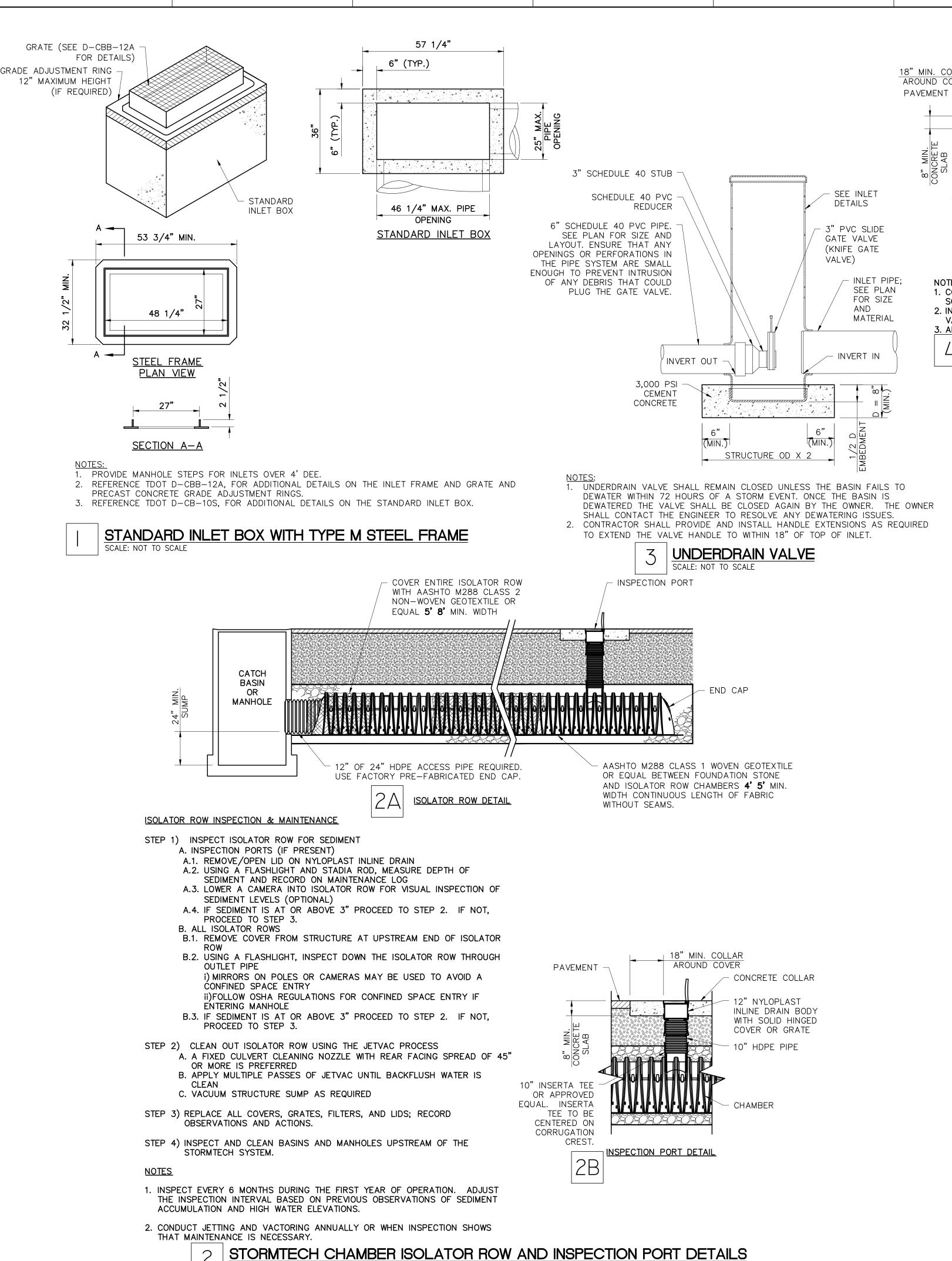
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SCALE: NOT TO SCALE

18" MIN. COLLAR AROUND COVER 4" SCHEDULE 40 SCREW-IN CAP CONCRETE COLLAR SQUARE SLAB WITH 4" SCHEDULE TWO #4 REBAR AT 40 PVC PIPE 12" SPACING ON 4" SCHEDULE EACH SIDE 40 PVC COUPLING 12" NYLOPLAST INLINE DRAIN BODY 4" SCHEUDELE WITH SOLID HINGED 40 PVC PIPE COVER OR GRATE (SEE NOTE 1) CORE 4 1/2" HOLE IN CHAMBER WITH HOLE SAW CHAMBER ANY VALLEY LOCATION CONNECTION DETAIL

1. CONCRETE COLLAR, COVER AND GRATE ARE NOT REQUIRED IN LAWN AREAS. BRING SCREW-IN CAP TO FINISHED GRADE TO BE EASILY LOCATED IN THE FUTURE. 2. INSPECTION PORTS MAY BE CONNECTED THROUGH ANY CHAMBER CORRUGATION

3. ALL SCHEDULE 40 FITTINGS SHALL BE SOLVENT CEMENTED.

STORMTECH CHAMBER INSPECTION PORT SCALE: NOT TO SCALE

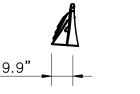
90.7" ACTUAL LENGTH

85.4" INSTALLED LENGTH _

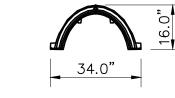
⇔ BUILD ROW IN

THIS DIRECTION

- OVERLAP NEXT CHAMBER ∠ START END HERE (OVER SMALL CORRUGATION)







NOMINAL CHAMBER SPECIFICATIONS SIZE (W X H X INSTALLED LENGTH) CHAMBER STORAGE MINIMUM INSTALLED STORAGE* WEIGHT

34.0" X 16.0" X 85.4" 14.7 CUBIC FEET 31.0 CUBIC FEET 35.0 lbs.

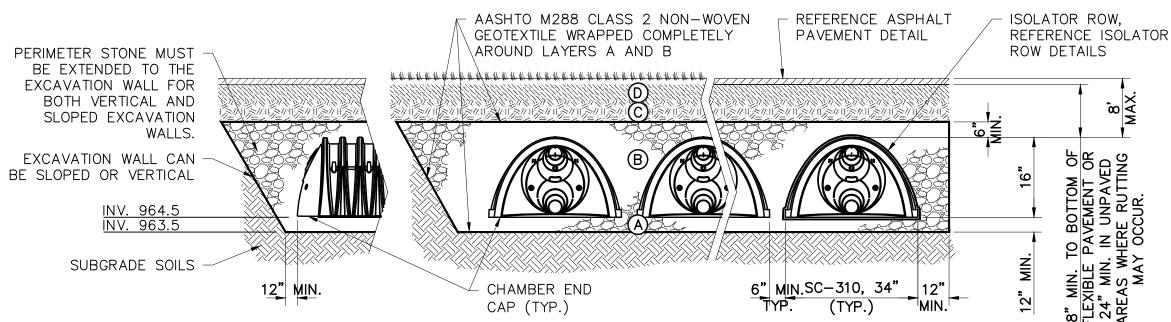
*ASSUMES 6" ABOVE, BELOW, AND BETWEEN CHAMBERS

STORMTECH SC-310 CHAMBER SCALE: NOT TO SCALE

ACCEPTABLE FILL MATERIALS: STORMTECH CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS. CONFIRM PAVEMENT COMPACTION PLANS WITH THE STORMTECH MANUFACTURER.
INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs. DYNAMIC FORCE NOT TO EXCEED 20,000 lbs.
B EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE, NOMINAL SIZE DISTRIBUTION BETWEEN 3/4-2 INCH	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBERS.	CLEAN, CRUSHED, ANGULAR STONE, NOMINAL SIZE DISTRIBUTION BETWEEN 3/4-2 INCH	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2 3}

- TABLE NOTES:
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A
- SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
- 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (MAX) LIFTS USING TWO FULL
- COVERAGES WITH A VIBRATORY COMPACTOR. 3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED
- BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS. 4. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



DETAIL NOTES:

- 1. CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- 2. CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED
- WALL STORMWATER COLLECTION CHAMBERS". 3. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND
- THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- 4. PERIMETER STONE MUST EXTEND HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- 5. REQUIREMENTS FOR HANDLING AND INSTALLATION: • TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL INTERLOCKING STACKING LUGS.
- TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALLOT BE LESS THAN 2" • TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2922 SHALL BE GREATER THAN OR EQUAL TO 400 LBS/IN/IN AND TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED
- TEMPERATURES (ABOVE 73° F), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS. 6. INSPECTION PORTS SHALL BE PROVIDED AT THE END OF EACH CHAMBER ROW AND IN THE MIDDLE OF EACH CHAMBER ROW. REFER TO PROVIDED INSPECTION PORT DETAILS.
- 7. CONTRACTOR SHALL PROVIDE A SHOP DRAWING OF THE UNDERGROUND CHAMBER SYSTEM INCLUDING ALL CHAMBERS, STRUCTURES, AGGREGATE, GEOTEXTILE, END CAPS, INSPECTION PORTS FOR REVIEW AND APPROVAL BY LDG PRIOR TO ORDERING.

STORMTECH CHAMBER CROSS-SECTION

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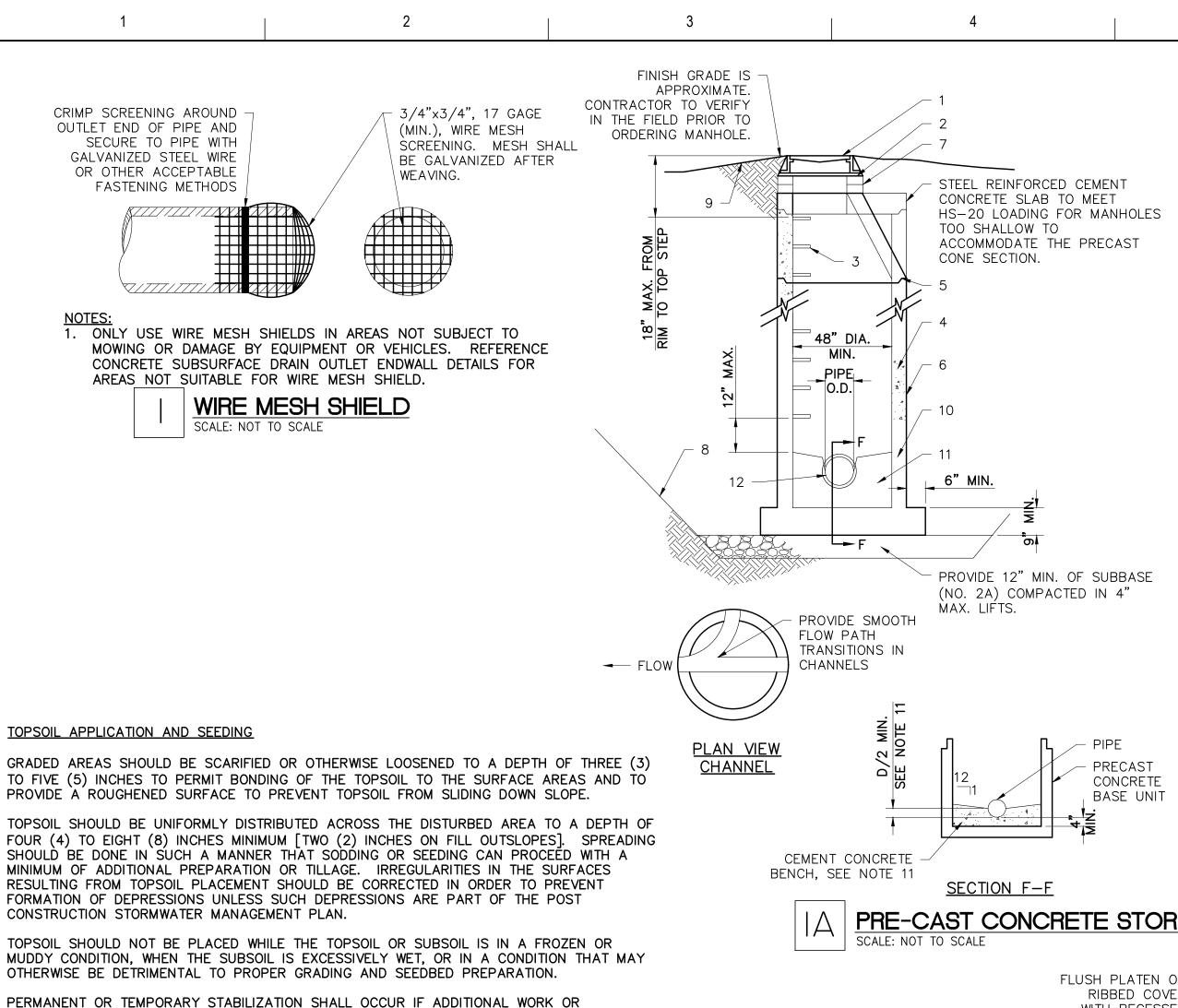
					2 09-17-2025 KNOX COUNTY PLANNING COMMENTS	1 7-16-2025 ASCA FENCING/PARKING LOT EXPANSIPN	MADY NATE AT MACHIES
		FED.FX GROUIND	1000 FEDEX DRIVE	MOON TOWNSHIP, PA 15108			
FEDEX SECURITY UPGRADE - PHASE 2	10601 MIIBDOCK DRIVE	KNOXVII JE TN 37932	0 = 4 + 1 0	DELAILS			

C-303

Project No.:

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DISTURBANCE IS NOT TO BE PERFORMED FOR FOUR (4) OR MORE DAYS.

SEEDING PROGRAM

TEMPORARY SEEDING:

PERMANENT SEEDING:

IN NO CASE SHALL AN AREA EXCEEDING 15,000 SQUARE FEET AND PLANNED TO BE

ESTABLISHED BY VEGETATION REACH FINAL GRADE WITHOUT BEING SEEDED AND MULCHED.

OUTSIDE OF APPROVED GERMINATION PERIODS, APPLY STRAW MULCH AT A RATE OF THREE

(3) TONS PER ACRE FOR TEMPORARY STABILIZATION UNTIL THE NEXT GERMINATION PERIOD.

1. IF PERMANENT VEGETATION IS NOT PLACED ON DISTURBED AREA FOR FOUR (4) OR

FORTY-FOUR (44) LBS/ACRE, OR ONE (1) LB/1,000 SF

HUNDRED AND THIRTY THREE (133) LBS/1,000 SF

DEPTH IS INSUFFICIENT FOR THE SUPPORTING ROOT ZONE.

OTHER SUITABLE MULCH ANCHORING MATERIAL.

LBS/ACRE OR SIXTEEN (16) LB/1,000 SF

LBS/ACRE OR SIXTEEN (16) LB/1,000 SF;

ESTABLISH A MINIMUM UNIFORM 70% COVER.

(90) LBS/1,000 SF

FURTHER DETAIL)

(90) LBS/1,000 SF;

MORE DAYS. THE DISTURBED AREA SHALL BE TEMPORARILY SEEDED AS FOLLOWS:

A RATE OF ONE (1) TON/ACRE, OR FORTY-FIVE (45) LBS/1,000 SF, AND

1. PLACE TOPSOIL TO A MINIMUM DEPTH OF SIX (6) INCHES WHERE THE TEXTURE OF THE

EXPOSED SOIL IS NOT SUITABLE FOR VEGETATIVE GROWTH, OR WHERE THE TOPSOIL

LIME AND FERTILIZE ACCORDING TO SOIL TESTS OR AT THE RATES INDICATED BELOW. LOOSEN SURFACE SOIL TO A DEPTH OF FOUR (4) TO SIX (6) INCHES WITH SUITABLE

ANCHORED WITH WOOD CELLULOSE FIBER (APPLIED AT A RATE OF 750 LBS/ACRE) OR

A. APPLY AGRICULTURAL GRADE LIME AT A RATE OF TWO (2) TONS/ACRE, OR NINETY

BROADCAST A PERMANENT SEED MIXTURE OF 50% TALL FESCUE (2 VARIETIES),

A. APPLY AGRICULTURAL GRADE LIME AT A RATE OF TWO (2) TONS/ACRE, OR NINETY

7. IF A UNIFORM 70% COVER IS NOT ESTABLISHED ON ALL LAWN AREAS BY OCTOBER 15,

AND APPLY SOIL AMENDMENTS. SEED. AND MULCH TO THE EXTENT REQUIRED TO

8. IF A UNIFORM 90% COVER IS NOT ESTABLISHED ON ALL SLOPES BY OCTOBER 15, ALL

ALL VEGETATION SHALL BE GUARANTEED TO ACHIEVE 100% COVERAGE WITHIN ONE YEAR,

BARREN AREAS SHALL BE REPLANTED IN ACCORDANCE WITH NOTES 1 AND 6.

THE CONTRACTOR SHALL LOOSEN THE SOIL SURFACE AND APPLY ADDITIONAL TOPSOIL,

APPLY FERTILIZER 10-20-10 AT A RATE OF SIX HUNDRED AND NINETY SIX (696)

BROADCAST A PERMANENT SEED MIXTURE OF 100% TALL FESCUE (2 VARIETIES) AT

SPREAD MULCH (STRAW) AT A RATE OF THREE (3) TONS/ACRE, OR 133 LBS/1,000

A RATE OF 100 LBS/ACRE, OR 2.3 LB/1,000 SF (SEE SPECIFICATIONS FOR

APPLY FERTILIZER 10-20-10 AT A RATE OF SIX HUNDRED AND NINETY SIX (696)

40% PERENNIAL RYEGRASS (2 VARIETIES), AND 10% BLUEGRASS (2 VARIETIES) AT

SPREAD MULCH (STRAW) AT A RATE OF THREE (3) TONS/ACRE, OR 133 LBS/1,000

EQUIPMENT. APPLY SEEDS UNIFORMLY BY BROADCASTING OR HYDROSEEDING.

4. SPREAD MULCH (STRAW ONLY) ON ALL AREAS AS INDICATED. MULCH SHALL BE

SEED AND SOIL AMENDMENT APPLICATION RATES — SLOPES < 3:1:

6. SEED AND TOPSOIL AMENDMENT APPLICATION RATES - SLOPE > 3:1:

A RATE OF 100 LBS/ACRE, OR 2.3 LBS/1,000 SF; AND

OR PLANTING SHALL CONTINUE UNTIL 100% COVERAGE IS ACHIEVED.

A. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY AGRICULTURAL GRADE LIME AT

FERTILIZER 10-10-10 AT A RATE OF 1000 LBS/ACRE OR TWENTY-THREE (23)

BROADCAST TEMPORARY SEED MIXTURE OF ANNUAL RYEGRASS AT A RATE OF

SPREAD MULCH (STRAW OR HAY) AT A RATE OF THREE (3) TONS/ACRE, OR ONE

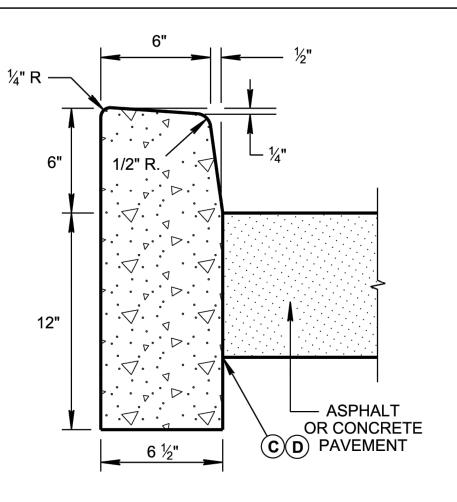
ALL OTHER DETAILS, REINFORCEMENT, AND DESIGN CRITERIA SHALL CONFORM WITH TDOT, STANDARD DRAWING D-RMH-1 2. MANHOLE MANUFACTURER IS RESPONSIBLE FOR STRUCTURAL DESIGN OF MANHOLE SECTIONS AS SHOWN ON ALL MANHOLE DETAILS. OURSE (TDOT 307 BM2) 6" LAP JOINT **NUMBERED NOTES:** STONE BASE (TDOT 303 BM2 GRADING D)-1. CAST IRON FRAME AND COVER. (FIELD VERIFY TOP OF CASTING ELEVATION) 2. PLACE TWO (2) ROWS OF JOINT SEALING COMPOUND BETWEEN FRAME AND GRADE RING OR RISER SECTION. 3. CAST IN PLACE POLYPROPYLENE MANHOLE STEPS TWELVE (12) INCHES ON CENTER. REFERENCE THE MANHOLE STEP DETAIL FOR OTHER DETAILS. 4. STANDARD REINFORCED CONCRETE RISER SECTIONS SHALL CONFORM TO ASTM C-478 OR CURRENT SPECIFICATIONS. 5. REFERENCE RC-39M FOR JOINT SEALING DETAILS AND NOTES. 6. PAINT ALL EXTERIOR SURFACES WITH TWO (2)

> PRIME COAT (REQUIRED FOR ASPHALT THICKNESS LESS THAN 4")----

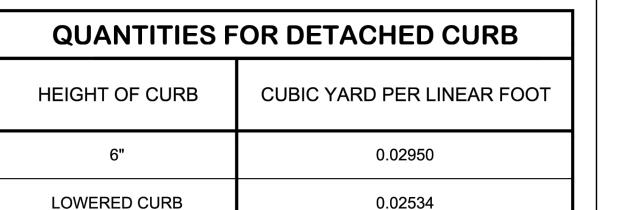
ASPHALT PAVEMENT A PAVEMENT

ALL THICKNESSES SHOWN ARE MINIMUM COMPACTED MATERIAL WHICH SHALL BE REVIEWED AND APPROVED BY GEOTECHNICAL ENGINEER.

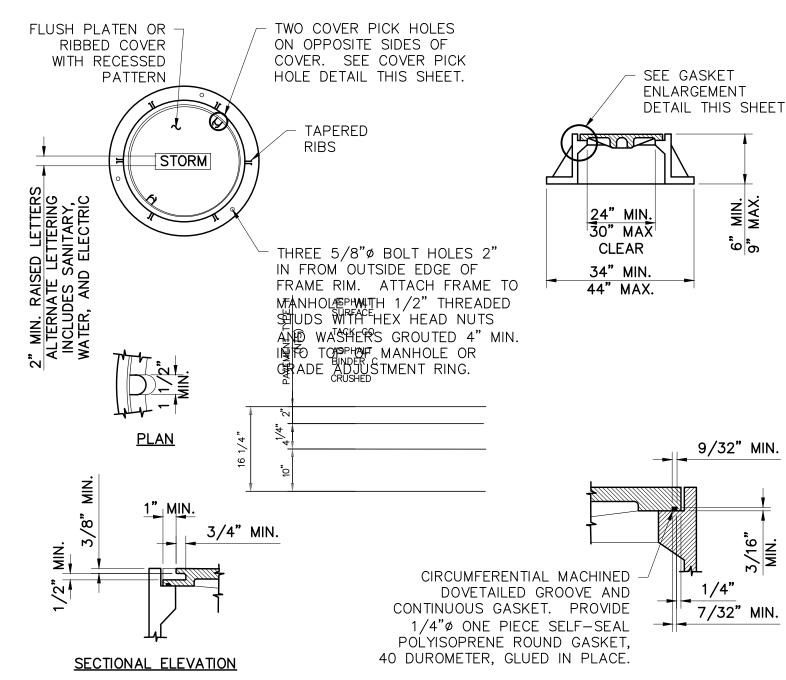
ASPHALT PAVEMENT SCALE: NOT TO SCALE



6" DETACHED CONCRETE CURB (PAY ITEM NO. 702-01)



PRE-CAST CONCRETE STORMWATER MANHOLE



COATS OF BITUMASTIC BLACK SOLUTION FROM AN

BUILD-UP OF TWELVE (12) INCHES FOR PRECAST CONCRETE RINGS. MAXIMUM TOTAL BUILDUP OF FOUR (4) INCHES FOR HDPE OR RECYCLED

7. GRADE ADJUSTMENT RINGS: MAXIMUM TOTAL

8. ALL EXCAVATION SLOPES SHALL CONFORM TO

10. PRECAST MONOLITHIC MANHOLE BASE SHALL

9. FINISHED GRADE FOR TOPS OF MANHOLE FRAMES

CONFORM TO ASTM C-478 SPECIFICATIONS OR

11. UTILIZE 4,000 PSI MINIMUM CONCRETE FOR BENCH

WORK IN THE FIELD AND BENCH WORK BY THE

FABRICATOR. INVERTS SHALL BE TRUE TO LINE

WITH SPECIFIED TO REDUCE ENERGY LOSSES.

12. CONNECT PIPES TO MANHOLE WITH MORTAR OR

FLEXIBLE CONNECTORS (GASKETS).

AND GRADE. SLOPE BENCHES U-SHAPED CHANNEL

APPROVED SOURCE.

RUBBER RINGS.

AND COVERS.

OSHA STANDARDS

CURRENT SPECIFICATIONS.

MANHOLE COVER AND FRAME NOTES:

COVER PICK HOLE

1. PROVIDE MANHOLE COVERS AND FRAMES MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTION 605.2(b). 2. DESIGN MANHOLE COVERS AND FRAMES FOR PHL-93 OR HS-25 LOADINGS. IF MANHOLES ARE NOT IN OR

GASKET ENLARGEMENT DETAIL

ADJACENT TO ROADWAY, DESIGN FOR ALL POSSIBLE LIVE LOADS AS APPROVED BY THE ENGINEER. 3. PROVIDE GRAY CAST IRON CONFORMING TO AASHTO M105, CLASS 35B AND AASHTO M306. 4. PROVIDE MANHOLE COVERS AND FRAMES SUPPLIED BY A MANUFACTURER LISTED IN BULLETIN 15. FOR

AND ACCEPTANCE PRIOR TO ORDERING. 5. PROVIDE A GASKET SEALING SYSTEM, DOVETAIL GROOVE, AND CONTINUOUS GASKET AS INDICATED IN ENLARGEMENT TO PREVENT INFLOW THROUGH THE BEARING SURFACES OF SURFACE RUNOFF WATER INTO THE MANHOLE SYSTEM. PROVIDE 1/4" DIAMETER ONE PIECE SELF-SEAL POLYISOPRENE ROUND GASKET, 40

DEVIATIONS OR MODIFICATIONS OF THE STANDARDS, SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR REVIEW

DUROMETER GLUED IN PLACE. PROVIDE TWO (2) LIFT HOLES AT 180 DEGREES TO FACILITATE COVER REMOVAL FOR SELF-SEALING MANHOLE COVER.

7. THE FRAME SHALL HAVE A MINIMUM BEARING SEAT OF 1" FOR MANHOLE COVER. 8. LOCATE TOP OF FRAME 1/8" BELOW THE TOP OF THE ROADWAY SURFACE.

9. ATTACH FRAME AND/OR PRECAST CONCRETE GRADE ADJUSTMENT RINGS RIGIDLY TO THE TOP OF THE MANHOLE. USE THREADED STUDS WITH HEX HEAD NUTS AND WASHERS INSERTED THROUGH 5/8" DIAMETER HOLES (MINIMUM) THROUGH THE FRAME AND RING. SPACE HOLES AT 120 DEGREES (MAXIMUM) AND 2" (MINIMUM) FROM OUTSIDE EDGE OF FRAME/RING. EMBED STUDS 4" MINIMUM INTO MANHOLE. GROUT STUDS

INTO MANHOLE. 10. SET THE BASE FRAME ON A NON-SHRINK GROUT PAD TO PROVIDE FULL BEARING ON THE SUPPORTING SURFACE. NON-SHRINK GROUT IS ALSO PERMITTED FOR CROSS SLOPE AND LONGITUDINAL GRADE ADJUSTMENTS. PROVIDE NON-SHRINK GROUT IN ACCORDANCE WITH STANDARD SPECIFICATIONS SECTION 918 REQUIRED AROUND PIPE OPENINGS ONLY.

> MANHOLE FRAME AND COVER SCALE: NOT TO SCALE

GENERAL NOTES

- (A) FOR SPECIFICATIONS SEE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" OF THE TENNESSEE DEPARTMENT OF TRANSPORTATION, SECTION 702 - CEMENT CONCRETE CURB, GUTTER AND COMBINED CURB AND GUTTER
- THE FRONT FACE OF THE CONCRETE CURBS FOR ALL DEGREES OF CURVATURE SHALL CONFORM TO THE CONTOUR OF THE CURVE AND NO CHORD SECTIONS WILL BE PERMITTED.
- CONCRETE EXPANSION JOINT MATERIAL IS TO BE 1/2" IN THICKNESS AT ALL LOCATIONS. ALL MATERIAL IS TO BE PRE-MOLDED FIBER IN ACCORDANCE WITH SECTION 905 - JOINT MATERIALS OF THE STANDARD SPECIFICATIONS.
- (D) EXPANSION JOINTS ARE TO BE PLACED AS FOLLOWS:
 - 1. AT TANGENT POINTS OF CIRCULAR CURBS.
 - 2. BETWEEN CURBS AND ABUTTING RIGID OBJECTS.
 - 3. AT OTHER PLACES WHERE STRESSES MAY DEVELOP.
 - 4. TO LINE UP WITH PAVEMENT JOINTS WHERE THE ADJACENT PAVEMENT IS CONCRETE.
 - 5. THE MAXIMUM SPACING IS TO BE 100 FEET LINEAR.
 - 6. BETWEEN CONCRETE CURBS OR CURB AND GUTTERS AND CONCRETE PAVEMENT. IT IS NOT REQUIRED WHEN CURBS OR CURB AND GUTTERS ARE ADJACENT TO ASPHALT.
- CONTRACTION JOINTS ARE TO BE SPACED AT 10 FEET. THE SPACING 0F 10 FEET MAY BE REDUCED FOR CLOSURES, BUT NOT LESS THAN 6 FEET
- (F) EDGES OF JOINTS SHALL BE FINISHED ON 1/4" RADII.
- (G) ALL COST OF JOINTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CONCRETE CURBS AND CONCRETE CURBS AND GUTTERS.
- (H) THE UNIT PRICE BID FOR CONCRETE CURB, CONCRETE CURB AND GUTTER AND CONCRETE PAVEMENT WILL INCLUDE ANY CIRCULAR SECTION REQUIRED TO BE BUILT CONFORMING TO SECTIONS SHOWN ON THIS SHEET.
- (I) PAYMENT WILL BE AS FOLLOWS: ITEM NO. 702-01 CONCRETE CURB, PER C.Y. ITEM NO. 702-03 CONCRETE COMBINED CURB AND GUTTER, PER C.Y.
- (J) THE 1/4" HEIGHT IS FOR WHEN ASPHALT PAVEMENT IS ADJACENT TO CONCRETE CURB AND GUTTER ONLY. CONCRETE PAVEMENT WILL BE FLUSH WITH THE TOP OF THE GUTTER.

LOWERED CONCRETE CURB NOTES

- (K) TO BE BUILT AS COMBINED CURB AND GUTTER, DETACHED CURB OR INTEGRAL CURB AS NOTED ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
- (L) TO BE USED FOR PROPOSED RAMP OPENINGS.

CONCRETE CURBING SCALE: NOT TO SCALE

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1000 FEDEX DRIVE
MOON TOWNSHIP, PA 15108 UPGRADE DRIVE 37932 URITY $\overline{\mathbf{c}}$ တ ш 2025-09-Project No.: Sheet No.:

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