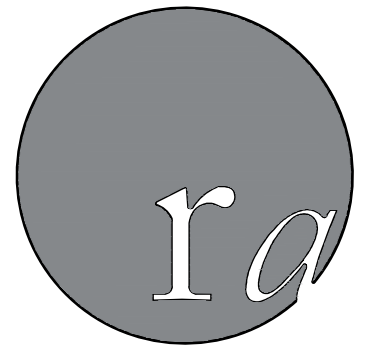


CHAPMAN STORAGE BUILDING B & C

111 EAST HENDRON CHAPEL ROAD | KNOXVILLE, TN 37920

RANDOLPH ARCHITECTURE



randolph
architecture

550 w main street
suite 725
knoxville, tn 37902
v: 865.357.3750
f: 865.357.3746

MPC
SUBMITTAL

2016_08.02

PROJECT INFORMATION

PROJECT NAME:
CHAPMAN STORAGE
105 EAST HENDRON CHAPEL ROAD
KNOXVILLE TN, 37920

PROJECT CONTACT PERSON:
MARK RANDOLPH, AIA
RANDOLPH ARCHITECTURE
550 WEST MAIN STREET
SUITE 725
KNOXVILLE, TN 37902
PHONE (865) 357-3750
FAX (865) 357-3746

JURISDICTION:
KNOX COUNTY CODES ADMINISTRATION & INSPECTION
MR. RANDY LILLY, DEPT. HEAD
CITY COUNTY BUILDING | ROOM 547
400 MAIN STREET.
KNOXVILLE, TN 37902
PHONE (865) 215-2325
FAX (865) 215-4255

APPLICABLE CODES:
INTERNATIONAL BUILDING CODE 2012
INTERNATIONAL MECHANICAL CODE 2012
INTERNATIONAL PLUMBING CODE 2012
INTERNATIONAL FIRE CODE 2012
INTERNATIONAL FUEL GAS CODE 2012
INTERNATIONAL PROPERTY MAINTENANCE CODE 2012
INTERNATIONAL ENERGY CONSERVATION CODE 2012
NFPA 101 LIFE SAFETY CODE 2012
NFPA 70 NATIONAL ELECTRICAL CODE 2011
ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES ICC
A117.1-2009 ANSI AMERICAN NATIONAL STANDARD

TYPE OF CONSTRUCTION:
TYPE II B (IBC 2012)
SPRINKLED

ZONING :
TYPE - PC/CA
LOT AREA - NO MINIMUM REQUIRED
SET BACKS - 25'-0" FRONT ROAD
5'-0" SIDE YARD
50'-0" PERIPHERAL SETBACK @ PC ZONE
(WEST SIDE) (NORTH SIDE)
10'-0" EAST SIDE (WAIVER GRANTED)
PREVIOUSLY FROM 50'-0" TO 10'-0"

FIRE RESISTANCE RATING REQUIREMENTS

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS) FROM TABLE 601, IBC 2012 FOR TYPE II-B		
STRUCTURAL FRAME	0	
BEARING WALLS		
EXTERIOR	0	
INTERIOR	0	
NON BEARING WALLS/PARTITIONS		
EXTERIOR	0	
INTERIOR	0	
FLOOR CONSTRUCTION	0	
ROOF CONSTRUCTION	0	
FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE FROM TABLE 602, IBC 2012 FOR TYPE II-B		
FIRE SEPARATION DISTANCE=X	OCCUPANCY GROUP S-1	
X < 5 FT	2	
5 FT < X < 10 FT	1	
10 FT < X < 30 FT	0	
X > 30 FT	0	
OCCUPANCY TYPE:		
S-1 STORAGE		
B BUSINESS		

HEIGHT:
ALLOWABLE: 2 STORIES PER 503
ACTUAL: 1 STORIES

BUILDING AREA:
ALLOWABLE: 17,500 SQ. FT. PER FLOOR

ACTUAL: BUILDING D 21,019 SQ. FT.

ALLOWABLE INCREASE:

PER SECTION 506.3 AUTOMATIC SPRINKLER
SYSTEM INCREASE:
INCREASE 0%, AT ONE (1) STORY,
THEREFORE FORCE IS = 0

$A_a = \{ A_t + [A_t \times I_f] + [A_t \times I_s] \}$
 $= \{ 17,500 + [17,500 \times .975] + [17,500 \times 0] \}$

$A_a = 17,500 + [17,062.5] + [0]$
 $= 34,562.50 \text{ SQ. FT.}$

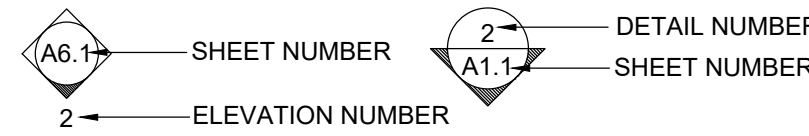
FRONTAGE INCREASE: PER SECTION 506.2

If = $\{ 670 / 670 - .025 \}$ 30/30
= $\{ .975 \}$ 1
= .975

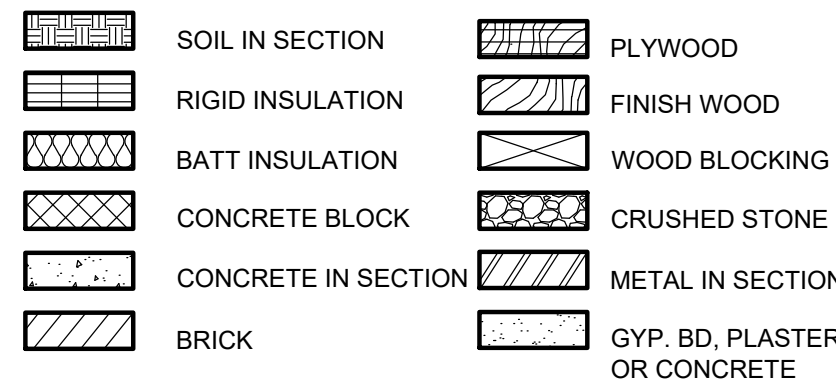
VICINITY MAP



GRAPHIC SYMBOLS



MATERIALS LEGEND



CONSULTANTS

CIVIL ENGINEER

MR. WILL ROBINSON, P.E.
WILL ROBINSON & ASSOCIATES
131 BRENTWOOD DRIVE
OAK RIDGE, TN 37830
PH: (865) 386-4200
FX: (877) 663-2233

STRUCTURAL ENGINEER

TRACHTE BUILDING SYSTEMS, INC.
314 WILBURN ROAD
SUN PRAIRIE, WI 53590
PH: (608) 837-7899

ABBREVIATIONS

A.F.F. ALT. ALUM. ARCH. A.C.T. ASPH. B.F. BSMT. B.M. BLDG. BLK. BRG. C.B. C.J. CH.B. CLG. CLOS. CLR. COL. COMP. CONC. CONST. C.M.A. C.T. DTL. DIA. DN. DWG. D.F. D.S. EA. E.F. ELEC. E.W.A. ELEV. EXIST. EXT. E.J. F.E. FL. F.D. FT. FTG. GALV. G.A. GYP.	ABOVE FINISH FLOOR ALTERNATE ALUMINUM ARCHITECTURAL ACOUSTICAL TILE ASPHALT BOTTOM FACE BASEMENT BENCHMARK BUILDING BLOCK BEARING CATCH BASIN CONTROL JOINT CHALK BOARD CEILING CLOSET CLEAR COLUMN COMPOSITION CONCRETE CONSTRUCTION CONCRETE MASONRY UNIT CERAMIC TILE DETAIL DIAMETER DOWN DRAWING DRINKING FOUNTAIN DOWNSPOUT EACH EACH FACE ELECTRICAL ELECTRIC WATER COOLER ELEVATION EXISTING EXTERIOR EXPANSION JOINT FIRE EXTINGUISHER FLOOR FLOOR DRAIN FOOT FOOTING GALVANIZED IRON GAUGE GYPSUM HOSE BIB HOLLOW CORE WOOD HARDWARE HOLLOW METAL INSIDE DIAMETER INCH INVERT JANITOR JOIST LAVATORY POUND MANHOLE MAXIMUM MECH.	MTL. MG. MFG. MIN. MISC. N.I.C. N.T.S. NO.# O.C. O.D. P. PLAS. PLAS. LAM. PLYWD. PTD. RAD. R.D. RINF. REQ'D RS. RM. ROUGH OPENING R.O. RB.T. SCHED. S.C.WD. SECT. SHT. SIM. SPECS. SQ.FT. STD. STL. STOR. S.D. SUSP. SQ. T.B. T'HOLD TLT. TD.,TDS. T.F. TYP. U. V.I.F. V.S. VOL. V.A. VERT. WSCOT. W.C. W.H. WPFG. W.F. WDW. WD. W/ W.W.F. W.W.M. L C O	METAL MANUFACTURING MANUFACTURER MINIMUM MISCELLANEOUS NOT IN CONTRACT NOT TO SCALE NUMBER ON CENTER OUTSIDE DIAMETER PLATE PLASTIC PLASTIC LAMINATE PLYWOOD PAINTED RADIUS ROOF DRAIN REINFORCING REQUIRED RISER ROOM ROUGH OPENING RUBBER TILE SCHEDULE SOLID CORE WOOD DOOR SECTION SHEET SIMILAR SPECIFICATIONS SQUARE FEET STANDARD STEEL STORAGE STORM DRAIN SUSPENDED SQUARE TACK BOARD THRESHOLD TOILET TREADS TOP FACE TYPICAL URINAL VERIFY IN FIELD VENT STACK VOLUME VINYL TILE VERTICAL WAINSCOT WATER CLOSET WATER HEATER WATERPROOFING WIDE FLANGE WINDOW WOOD WITH WELDED WIRE FABRIC WELDED WIRE MESH ANGLE CHANNEL ROUND
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LIST OF DRAWINGS

CVR	COVERSHEET
CIVIL	
C1.01	SITE DEMOLITION PLAN
C1.02	SITE LAYOUT PLAN
C1.03	EROSION CONTROL
C1.04	EROSION CONTROL
C1.05	SITE GRADING PLAN
C1.06	SITE UTILITY PLAN
C2.01	SITE DETAILS
C2.02	SITE DETAILS
LANDSCAPE	
L1.01	LANDSCAPE PLAN; LANDSCAPE DETAILS; PLANT SCHEDULE
ARCHITECTURAL	
A0.01	FLOOR PLANS - BUILDING B
A1.02	FLOOR PLANS - BUILDING C
A4.01	EXTERIOR ELEVATIONS - BUILDING B
A4.02	EXTERIOR ELEVATIONS - BUILDING C



File No.: 10-G-21-UR
Date submitted: 9/28/2021

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Planning Staff and may not be finalized.

BUILDING S.F. MATRIX

BUILDING B	29,300 S.F.
BUILDING C	31,900 S.F.
BUILDING D - EXISTING	21,300 S.F.
BUILDING E - EXISTING	14,000 S.F.
TOTAL	96,200 S.F.

NOTES:
PREVIOUS MPC APPROVAL APRIL 14TH, 2016: 6 BUILDINGS WITH
A TOTAL OF 88,565 S.F.
NEW LAYOUT, 4 BUILDINGS WITH A TOTAL OF 96,200 S.F.

CHAPMAN STORAGE

111 E. HENDERON CHAPEL ROAD
KNOXVILLE, TENNESSEE 37920
10-G-21-UR

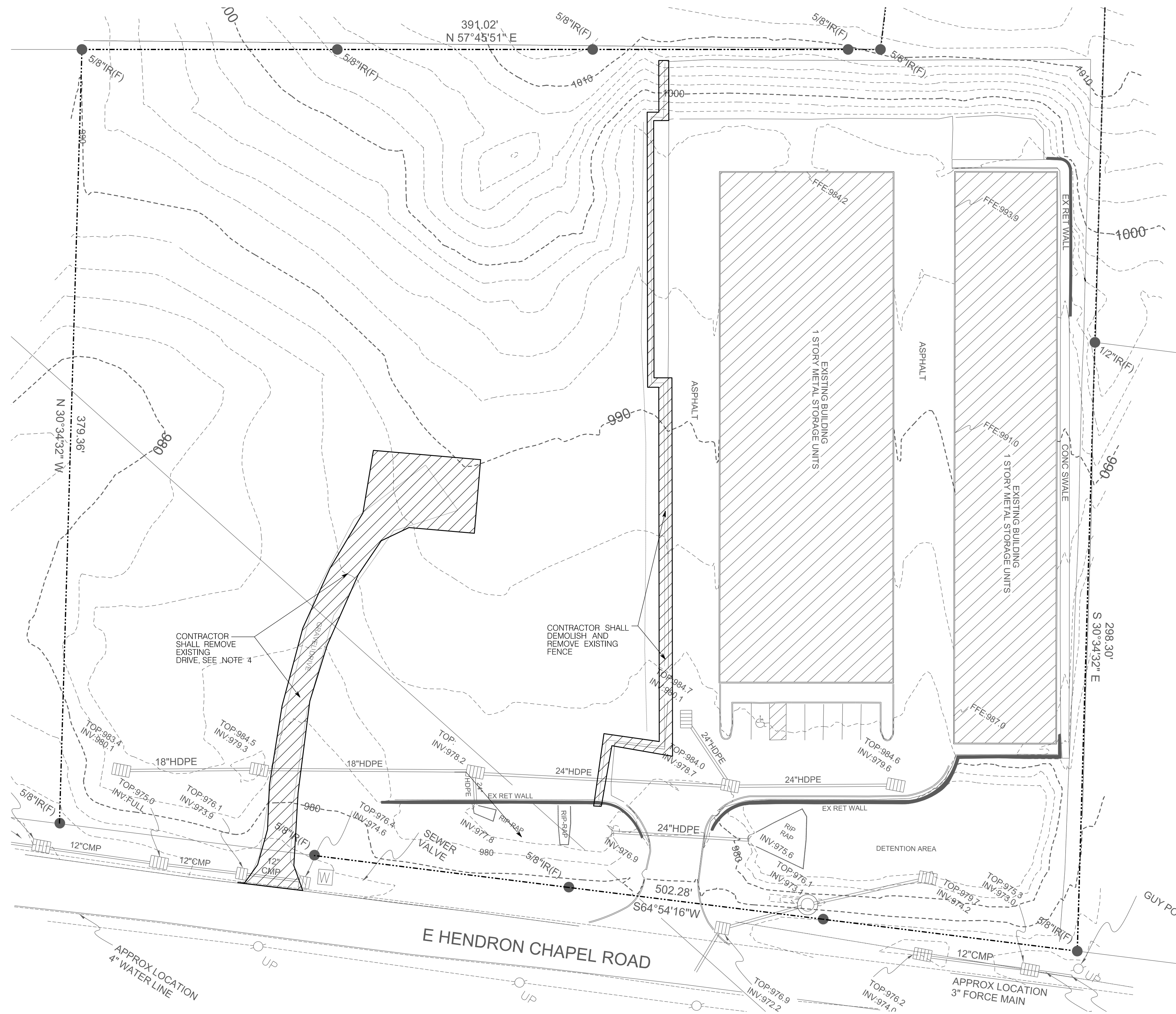
Issue Date 09-27-2021

Drawn Checked
HGB RMR

Revisions

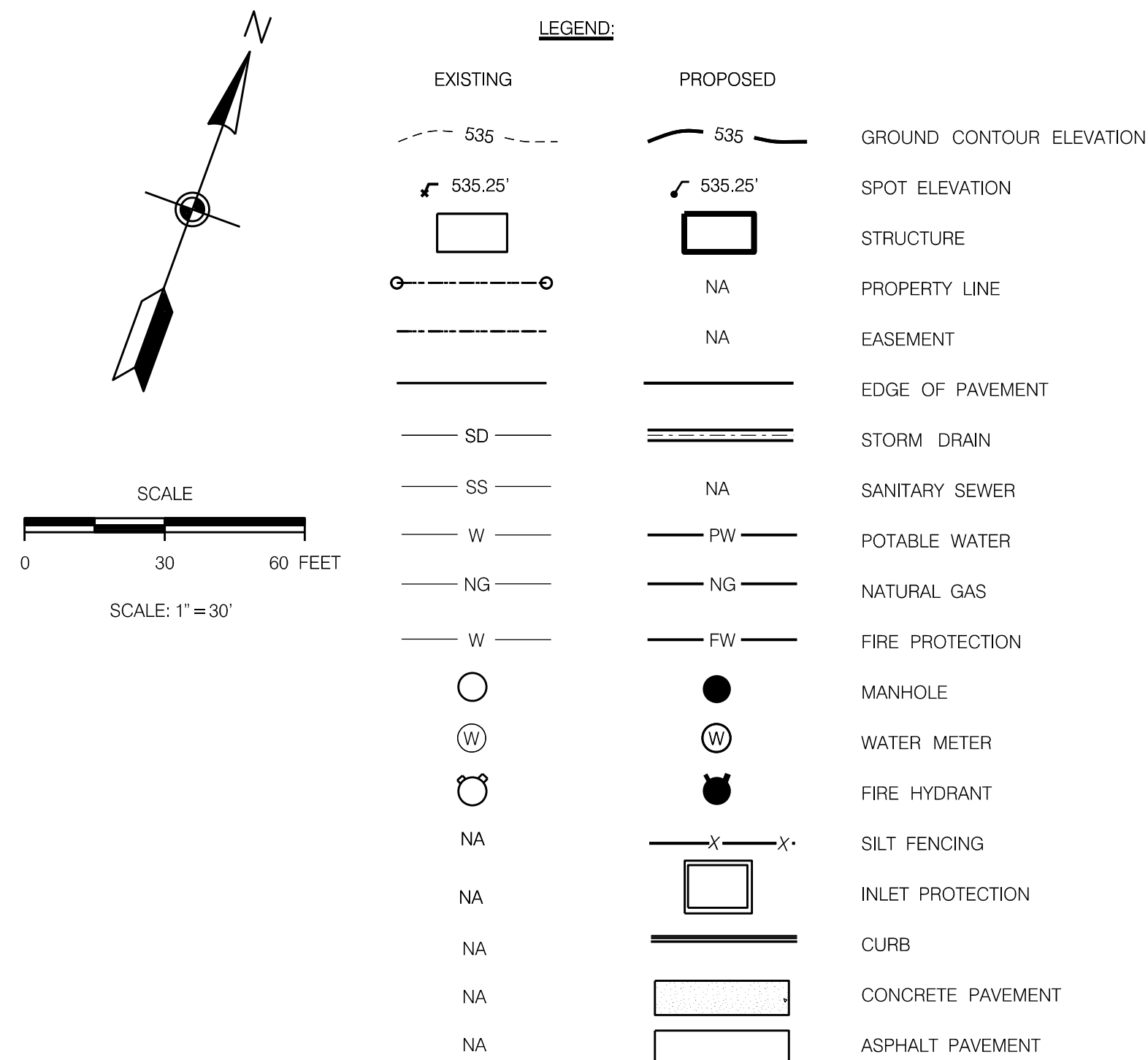
CVR

coversheet



SITE DEMOLITION PLAN

SCALE: 1" = 30'



SITE DEMOLITION NOTES

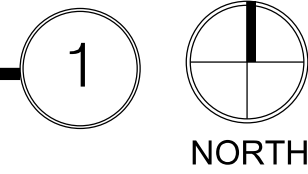
1. SITE BOUNDARY AND TOPOGRAPHIC SURVEY IS FROM A SURVEY BY DAVID HURST DATED 4/26/2021. THE CONTRACTOR SHALL VERIFY THE EXISTING INFORMATION PRIOR TO CONSTRUCTION. THE ENGINEER DOES NOT ACCEPT ANY RESPONSIBILITY FOR EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS.
2. CONTRACTOR SHALL CALL TN ONE CALL TO LOCATE SITE UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL UTILIZE ONE CALL INFORMATION SITE RECORDS, AND ANY OTHER MEANS AT HIS DISPOSAL TO DETERMINE THE LOCATION OF EXISTING UTILITIES.
3. DEMOLITION AND REMOVAL OPERATIONS SHALL COMMENCE ONLY AFTER ALL EROSION AND SEDIMENTATION CONTROL MEASURES HAVE BEEN INSTALLED AND ARE FUNCTIONAL.
4. CONTRACTOR SHALL REMOVE EXISTING ASPHALT PAVEMENT, CURBS, SIDEWALKS AND/OR OTHER RELATED MATERIALS TO THE LIMITS INDICATED ON THIS PLAN AND DISPOSE OF THE WASTE MATERIALS AS DIRECTED BY THE OWNER AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS. COORDINATE DEMOLITION WITH THE OWNER, PROVIDE TEMPORARY ACCESS ROUTES AS REQUIRED, PERFORM DEMOLITION IN ACCORDANCE WITH THE PROJECT PHASING PLANS.
5. THE CONTRACTOR SHALL REMOVE EXISTING TREES WITHIN THE AREA OF WORK DEPICTED ON THE FOLLOWING DRAWINGS AND AS REQUIRED IN THE FIELD. CONTRACTOR SHALL REMOVE ENTIRE TREE INCLUDING ROOTBALL UNLESS DIRECTED OTHERWISE BY THE GEOTECHNICAL ENGINEER. CONTRACTOR SHALL DISPOSE OF WASTE OFFSITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS. MULCHED BRANCHES MAY BE USED FOR EROSION CONTROL BUT MUST BE REMOVED WHEN THE SITE HAS BEEN STABILIZED.
6. THE CONTRACTOR SHALL REMOVE THE EXISTING STRUCTURE IN ITS ENTIRETY. THE CONTRACTOR SHALL DETERMINE THE PRESENCE OR ABSENCE OF MATERIALS REQUIRING SPECIAL HANDLING AND/OR DISPOSAL. THE CONTRACTOR SHALL EMPLOY ANY METHODS REQUIRED FOR HANDLING OF SPECIAL MATERIALS IN COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS. THE ENGINEER NOR THE ARCHITECT MAKE NO OPINION AS TO THE PRESENCE OR ABSENCE OF MATERIALS REQUIRING SPECIAL HANDLING.
7. PROVIDE NEAT AND STRAIGHT SAWCUTS OF EXISTING CONCRETE AND/OR PAVEMENT ALONG ALL LIMITS OF CONCRETE AND/OR PAVEMENT DEMOLITION.
8. ALL DEMOLISHED MATERIALS BECOME THE PROPERTY OF THE CONTRACTOR UNLESS NOTED OTHERWISE. DISPOSE OF DEMOLITION WASTE OFF THE OWNERS PROPERTY IN A LEGAL MANNER.
9. THE CONTRACTOR SHALL USE WATER SPRINKLING AND OTHER SUITABLE METHODS AS NECESSARY TO CONTROL DUST AND DIRT CAUSED BY THE DEMOLITION WORK. WATER USE SHALL NOT BE EXCESSIVE TO THE POINT OF SUSPENDING SOLIDS/SEDIMENT IN RUNOFF WATER.
10. CONTRACTOR SHALL PROVIDE PROTECTION TO ALL STREETS, FENCES, TREES, UTILITIES AND STRUCTURES THAT ARE TO REMAIN. CONTRACTOR CAUSED DAMAGE SHALL BE REPAIRED TO MATCH EXISTING AT NO ADDITIONAL COST TO THE OWNER.
11. THE CONTRACTOR SHALL PREPARE THE PROJECT SITE FOR THE PROPOSED CONSTRUCTION DEPICTED ON THE FOLLOWING DRAWINGS FOR THIS PROJECT. NO ADDITIONAL PAYMENT SHALL BE MADE FOR WORK REQUIRED AND NOT SPECIFICALLY NOTED ON THIS DRAWING. DEMOLITION WORK MAY BE INDICATED ON DRAWINGS BY OTHER DISCIPLINES.



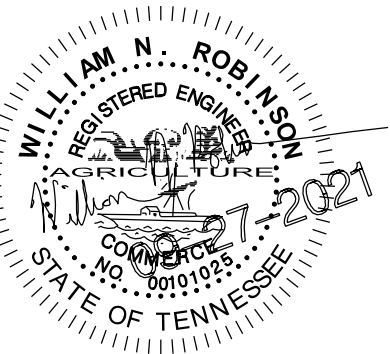
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Date submitted: 9/28/2021

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knoxville, tn 37902
v: 865.357.3750
f: 865.357.3746



CHAPMAN STORAGE
111 E. HENDRON CHAPEL ROAD
KNOX COUNTY, TENNESSEE
10-G-21-UR

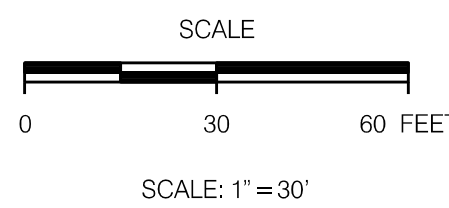
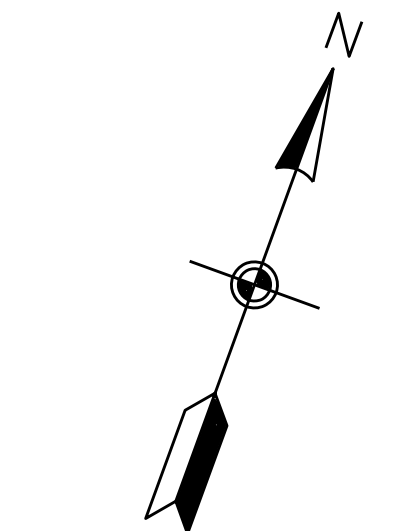
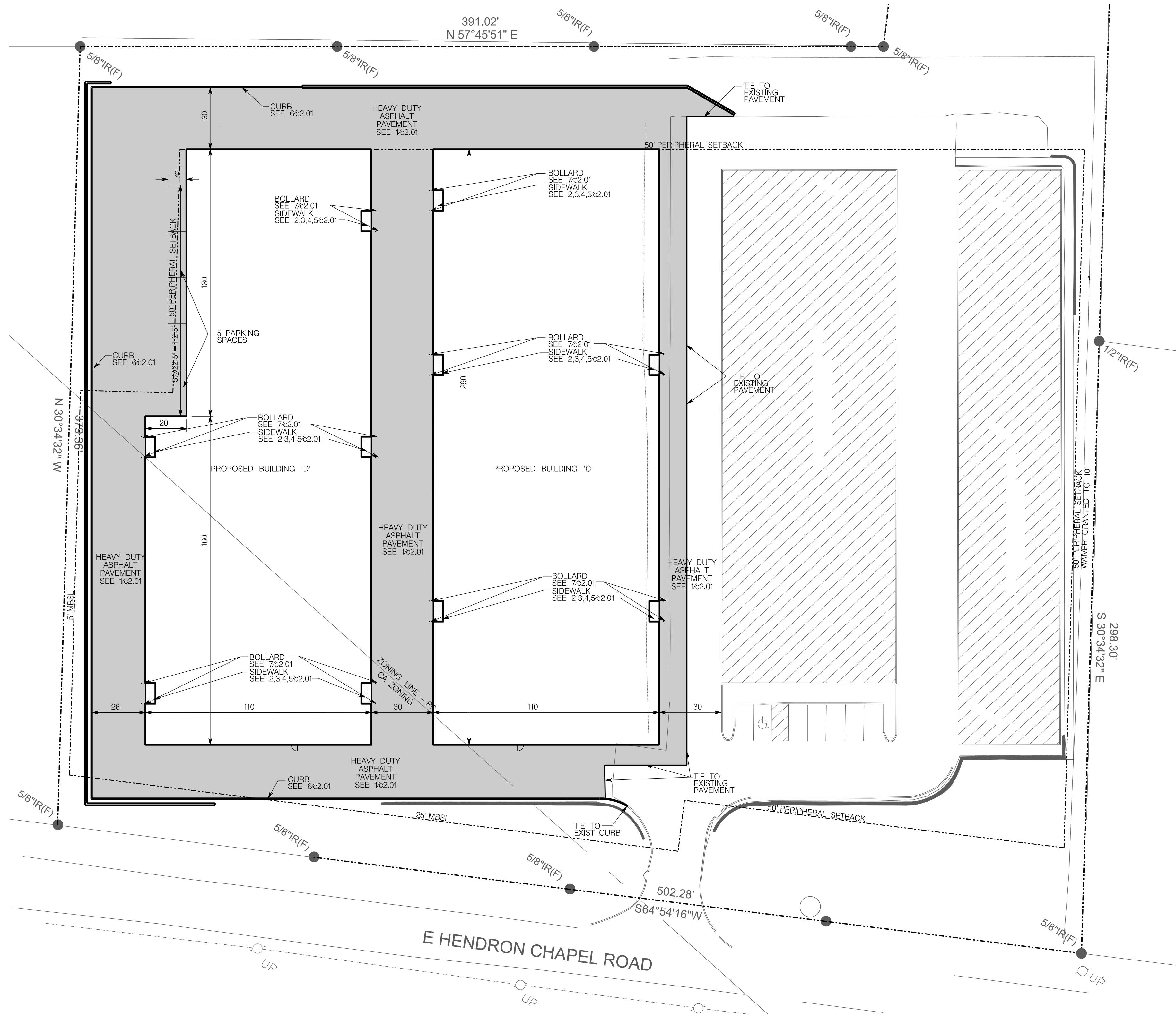
Issue Date 09-27-2021

Drawn WNR
Checked WNR

Revisions

c1.01

SITE DEMOLITION PLAN



LEGEND:		
EXISTING	PROPOSED	
		GROUND CONTOUR ELEVATION
		SPOT ELEVATION
		STRUCTURE
	NA	PROPERTY LINE
	NA	EASEMENT
		EDGE OF PAVEMENT
		STORM DRAIN
	NA	SANITARY SEWER
		POTABLE WATER
		NATURAL GAS
		FIRE PROTECTION
		MANHOLE
		WATER METER
		FIRE HYDRANT
NA		SILT FENCING
NA		INLET PROTECTION
NA		CURB
NA		CONCRETE PAVEMENT
NA		ASPHALT PAVEMENT

SITE LAYOUT NOTES

- USE: SELF STORAGE, ZONING: CA/PC, PARCEL 138 043.04
- TOTAL BUILDING AREA: EXISTING: 35,159 SF PROPOSED 61,200 SF (1 STORY, 2 EXISTING BUILDINGS, 2 PROPOSED BUILDINGS)
- TOTAL SITE: 5.62 AC, TOTAL DIST AREA: 2.63 AC, TOTAL IMPERVIOUS: 158,103 SF
- DEED REFERENCE: 200710040028840
- THIS PROPERTY IS NOT LOCATED IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD AREA.
- SITE BENCHMARK: CONTACT SURVEYOR FOR SITE BENCHMARK. DATUM NAVD 88.
- SITE BOUNDARY AND TOPOGRAPHIC INFORMATION IS FROM A SURVEY BY DAVID HURST DATED 04/26/2021. THE CONTRACTOR SHALL VERIFY THE EXISTING INFORMATION PRIOR TO CONSTRUCTION. THE ARCHITECT NOR THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY THE OTHERS.
- UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
- PARKING SUMMARY:
PARKING REQUIRED: 4 SPACES
PARKING PROPOSED: 7 SPACES (EXISTING)
BASIS: 1 SPACE PER 200 SF
- SETBACKS:
FRONT: 25'
SIDE: 5'
REAR: 16'
PC: 50' (PERIPHERAL)
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES FOR EXECUTION OF THE WORK. ALL MATERIALS AND EXECUTION OF THE WORK SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS.
- CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION ISSUED BY THE AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE US DEPARTMENT OF LABOR. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION EROSION AND SEDIMENT CONTROL HANDBOOK.
- VERIFY SITE CONDITIONS, DIMENSIONS, ELEVATIONS, AND LOCATION OF EXISTING FEATURES BEFORE STARTING WORK. THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED OF ANY INTERFERENCES OR DISCREPANCIES.
- TRAFFIC CONTROL IN CONSTRUCTION AREAS TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- CORRECT ALL DAMAGE TO EXISTING PAVEMENT, SIDEWALKS, DRAINAGE STRUCTURES, UTILITIES, OR OTHER EXISTING IMPROVEMENTS AT NO EXPENSE TO THE OWNER.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND/OR CONCRETE AND NEW PAVEMENT AND/OR CONCRETE. FIELD ADJUSTMENT OF FINAL GRADES MAY BE REQUIRED. INSTALL ALL STORM SYSTEMS PRIOR TO INSTALLATION OF PAVEMENT AND/OR CONCRETE.
- DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, OR TO THE FACE OF BUILDING UNLESS NOTED OTHERWISE.
- MAINTAIN ONE SET OF AS-BUILT DRAWINGS ON THE JOB SITE FOR DISTRIBUTION TO THE ENGINEER UPON COMPLETION. INCLUDE ALL UTILITY LOCATIONS AND ALL NEW SIDEWALK RAMP ELEVATIONS FOR ALL SANITARY AND STORM SEWER STRUCTURES SHALL BE INCLUDED. DRAWINGS SHALL INCLUDE VERTICAL AND HORIZONTAL INFORMATION ON ALL NEW UTILITIES AS WELL AS EXISTING UTILITIES DISCOVERED DURING CONSTRUCTION.



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Date submitted: 9/28/2021

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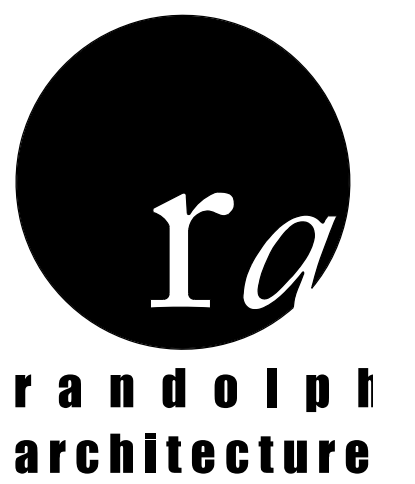
OWNER:
SOUTH KNOXVILLE STORAGE
KNOXVILLE, TN
PH
CONTACT:

ENGINEER:
WILL ROBINSON & ASSOCIATES
1248 N. SHOREWOOD LN
CARYVILLE, TN 37714
865-386-4200
EMAIL: WRASSOCIATES@BELLSOUTH.NET
CONTACT: WILL ROBINSON

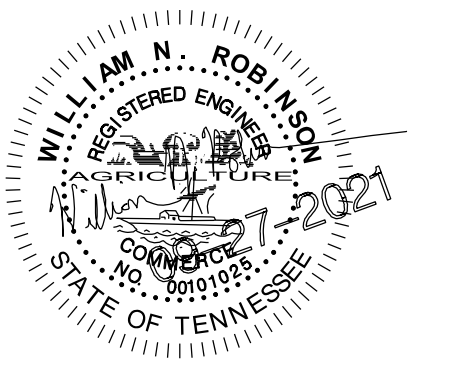
CONTRACTOR:
TO BE DETERMINED



PROJECT LOCATION MAP - NOT TO SCALE



550 w main st
suite 725
knoxville, tn 37902
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f: 865.357.3746



CHAPMAN STORAGE
111 E. HENDRON CHAPEL ROAD
KNOX COUNTY, TENNESSEE
10-G-21-UR

Issue Date 09-27-2021

Drawn	Checked
WNR	WNR

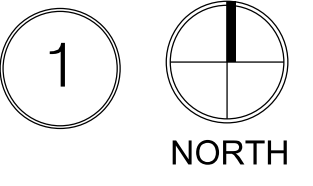
Revisions

c1.02

SITE LAYOUT PLAN

SITE LAYOUT PLAN

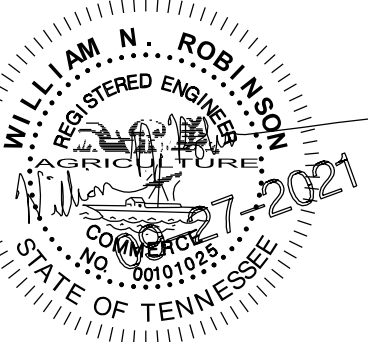
SCALE: 1" = 30'





r a
architecture

550 w main st
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CHAPMAN STORAGE
111 E. HENDRON CHAPEL ROAD
KNOX COUNTY, TENNESSEE
10-G-21-JR

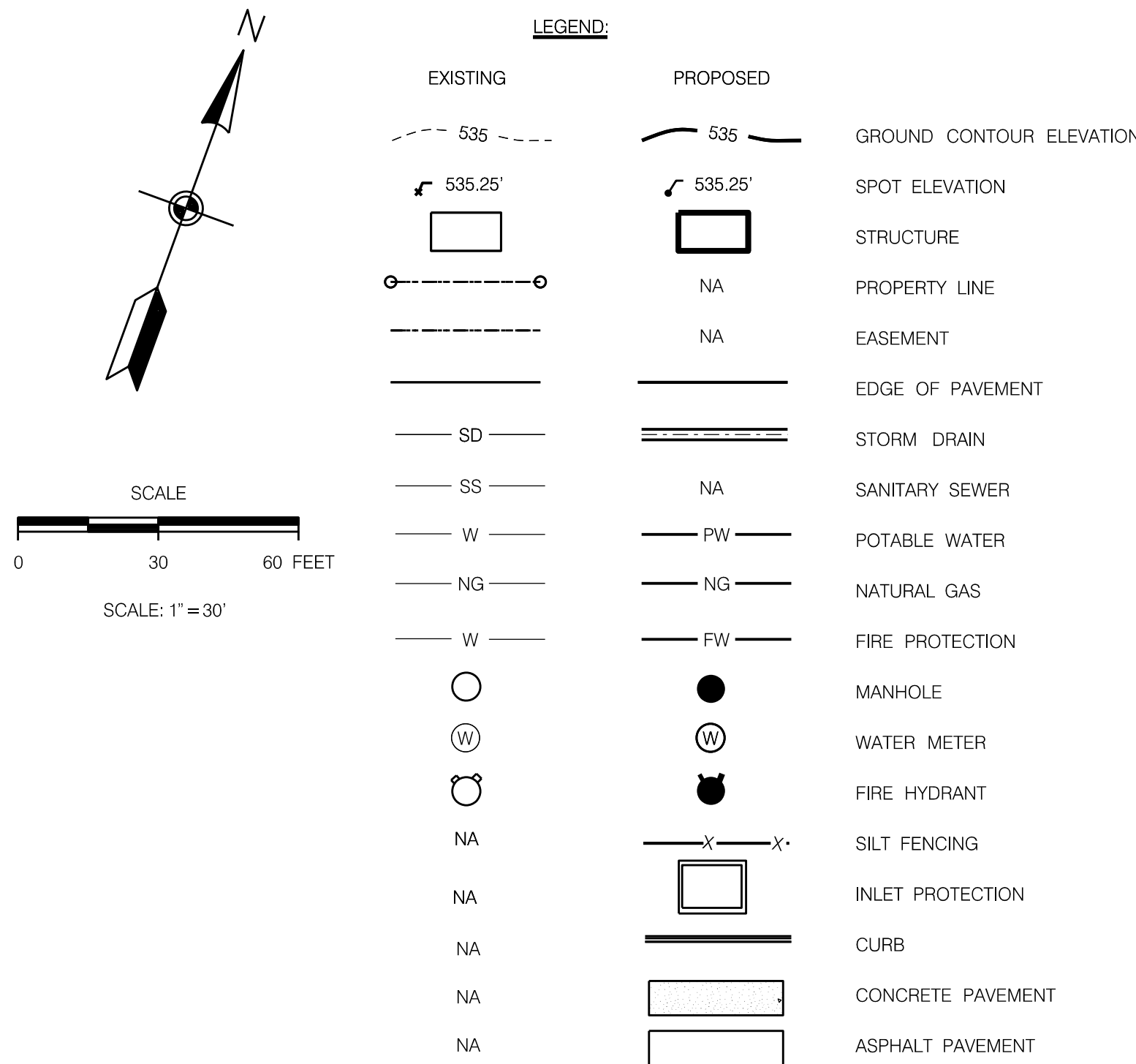
Issue Date 09-27-2021

Drawn WNR
Checked WNR

Revisions

c1.05

SITE GRADING PLAN



SITE GRADING NOTES

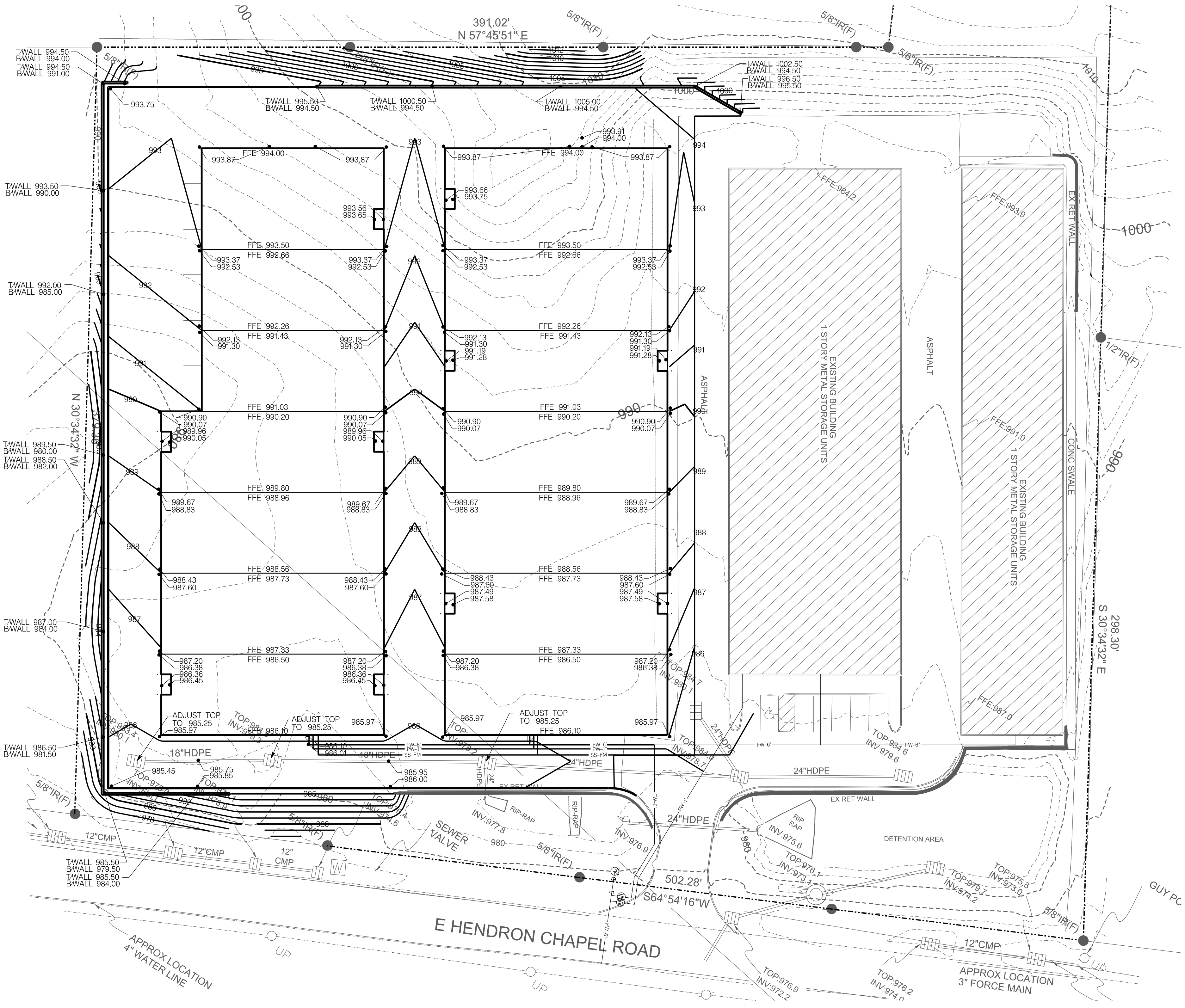
1. SITE BENCHMARK: CONTACT SURVEYOR FOR LOCATION AND ELEVATION OF SITE BENCHMARK BASIS NAVD88.
2. SITE BOUNDARY AND TOPOGRAPHIC SURVEY IS FROM A SURVEY BY DAVID HUST DATED 04/26/2016. THE CONTRACTOR SHALL VERIFY THE EXISTING INFORMATION PRIOR TO CONSTRUCTION. THE ARCHITECT NOR THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS.
3. UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
4. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES INCLUDING SILT FENCE, RIP RAP, AND EROSION CONTROL MAT AS SOON AS PRACTICAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE STRUCTURES UNTIL THE SITE HAS BEEN SUFFICIENTLY STABILIZED.
5. THE CONTRACTOR SHALL EMPLOY SOILS CONSULTANTS FOR THE TESTING OF SOIL COMPACTION IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. SOIL SHALL BE COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD. SOIL MOISTURE CONTENT SHALL BE MAINTAINED WITHIN +/- 3% OF OPTIMUM.
6. THIS PROJECT MAY INVOLVE IMPORT OR WASTE OF FILL MATERIAL. THE CONTRACTOR SHALL REVIEW THIS PLAN, THE SITE SURVEY, AND INSPECT THE SITE ITSELF. THE CONTRACTOR SHALL THEN FORMULATE HIS OWN OPINION AS TO THE APPLICABILITY OF THIS PLAN TO THE GOAL OF AN ECONOMICALLY OPTIMAL SITE. CONTRACT THE ENGINEER IF CHANGES TO THIS GRADING PLAN ARE REQUIRED TO MEET THIS GOAL.
7. ALL SLOPES GREATER THAN 3:1 SHALL BE SPREAD WITH NORTH AMERICAN GREEN S-71 EROSION CONTROL FABRIC. INSTALL FABRIC PER MANUFACTURERS RECOMMENDATIONS.
8. NO SLOPES SHALL BE GREATER THAN 2 HORIZONTAL : 1 VERTICAL.
9. APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND FINAL GRADING OR EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
10. APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.
11. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL FOLLOW THE APPROVED PLAN DETAILS. IF DETAILS ARE NOT SHOWN, REFERENCE THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
12. SLOPES SHALL HAVE EROSION CONTROL MAT INSTALLED IMMEDIATELY AFTER SLOPE GRADING IS COMPLETED AND TOPSOIL HAS BEEN INSTALLED TO ENCOURAGE 'LOCK IN' OF EROSION MAT.
13. ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
14. CONTRACTOR SHALL STORE CHEMICALS AND SOLUBLE MATERIALS IN AN ENCLOSED, WATERPROOF LOCATION OR PROVIDED WITH SECONDARY CONTAINMENT CAPABLE OF STORING THE CONTENTS OF THE TOTAL AMOUNT OF CHEMICALS STORED. SPILL CLEANUP MATERIALS MUST BE LOCATED WITHIN THE IMMEDIATE PROXIMITY OF THE MATERIALS AS WELL.
15. NO VEHICLE MAINTENANCE OF CONSTRUCTION VEHICLES WILL OCCUR ONSITE.
16. CONSTRUCTION MATERIALS WILL BE STAGED IN THE FUTURE PARKING AREA. FOR TRASH ON THE PROJECT, PROVIDE A TRASH RECEPTACLE WITH A LID. MAINTAIN THE MATERIAL STAGING AREA IN AN NEAT AND ORDERLY MANNER.
17. CONTRACTOR SHALL INSTALL 4" THICK LAYER OF QUALITY TOPSOIL ON ALL DISTURBED AREAS AND ESTABLISH A THICK STAND OF GRASS ACCEPTABLE TO THE CITY OF MORRISTOWN SITE INSPECTOR.
18. SEDIMENT SHOULD BE REMOVED FROM SEDIMENT TRAPS, SILT FENCES, SEDIMENTATION PONDS, OTHER SEDIMENT CONTROLS WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
19. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORMWATER SHALL BE PICKED UP PRIOR TO ANTICIPATED STORM EVENTS OR BEFORE BEING CARRIED OFF THE SITE BY WIND, OR OTHERWISE PREVENTED FROM BECOMING A POLLUTION SOURCE FOR STORMWATER DISCHARGES.



File No.: 10-G-21-UR

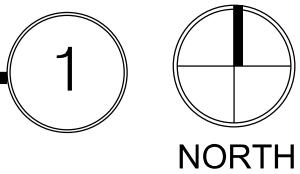
Date submitted: 9/28/2021

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SITE GRADING PLAN

SCALE: 1" = 30'

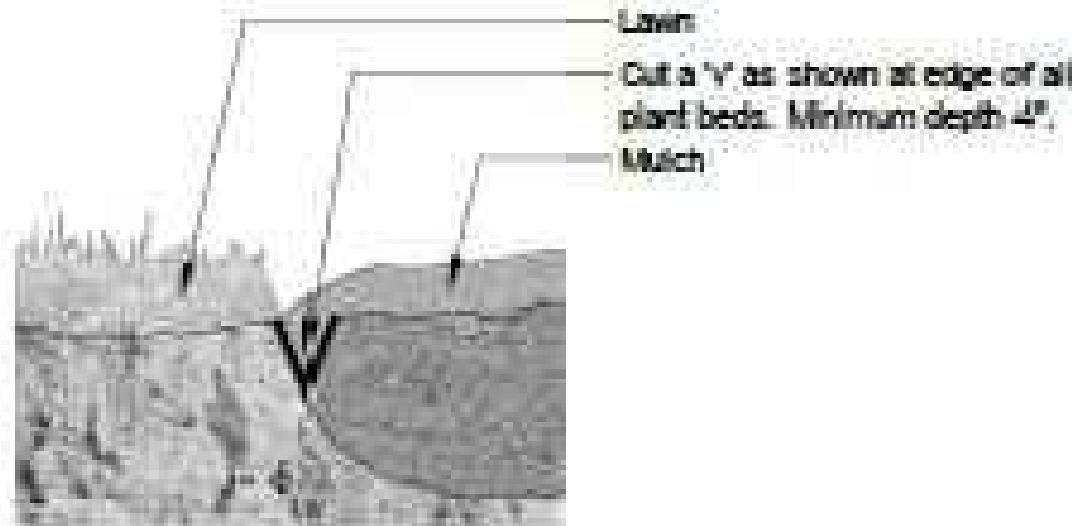




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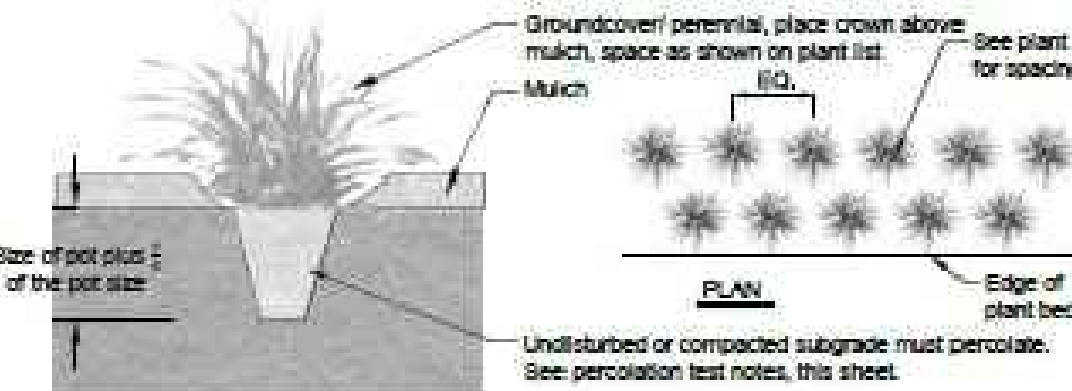
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BED EDGE DETAIL

SCALE: N.T.S.

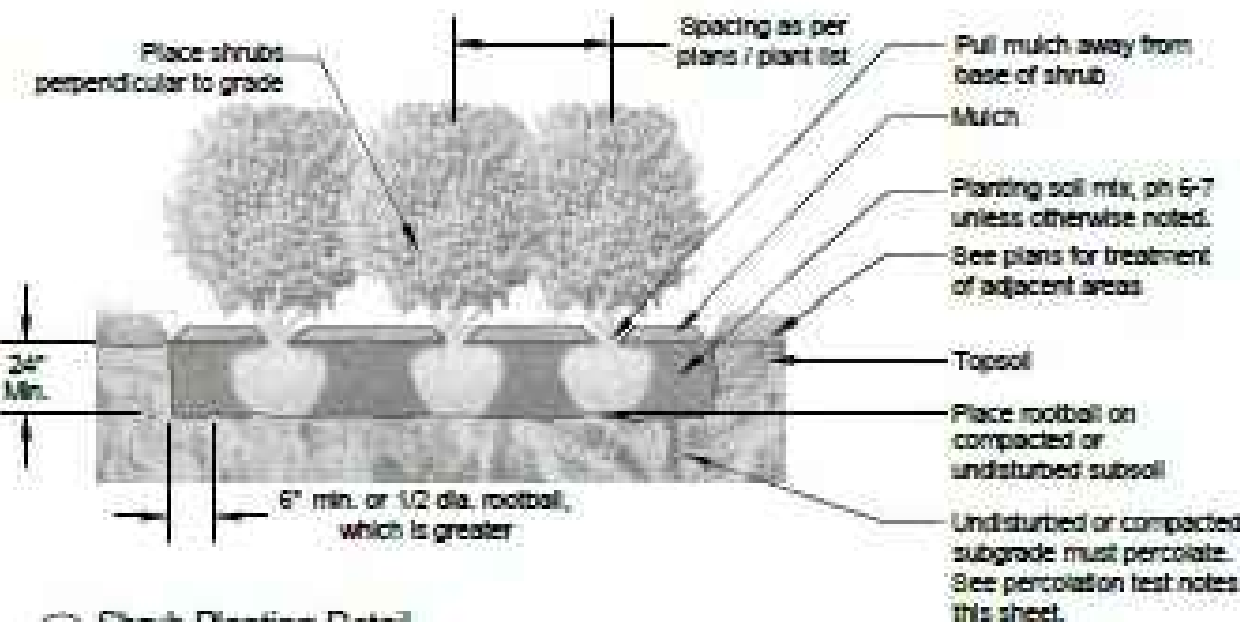
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GROUNDCOVER DETAIL

SCALE: N.T.S.

5



SHRUB PLANTING DTL.

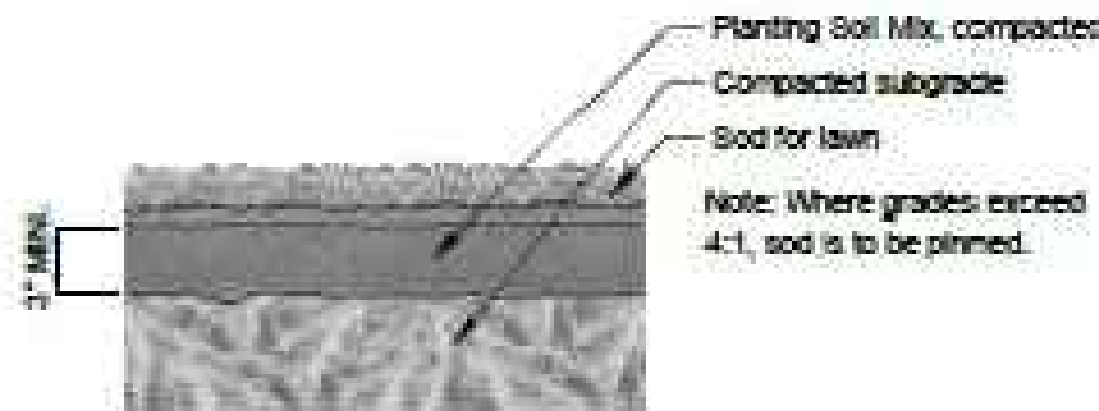
SCALE: N.T.S.

4

PLANT SCHEDULE					
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
SHADE TREES					
QA	1	QUERCUS ALBA	WHITE OAK	3" cal.	6' CT, FULL & MATCHED
CN	12	CORNUS	DOGWOOD	2" cal.	6' CT, FULL & MATCHED
SHRUBS					
CA	6	CALLICARPA AMERICANA	AMERICAN BEAUTYBERRY	3 gal.	
IG	17	ILEX GLABRA	INKBERRY HOLLY	3 gal.	
LV	3	ILEX VERTICILLATA	WINTERBERRY RED SPRITE	3 gal.	
GROUND COVER					
HHR	12	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	1 gal.	18" O.C.
LMB	40	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LIRIOPE	1 gal.	18" O.C.

PLANTING NOTES

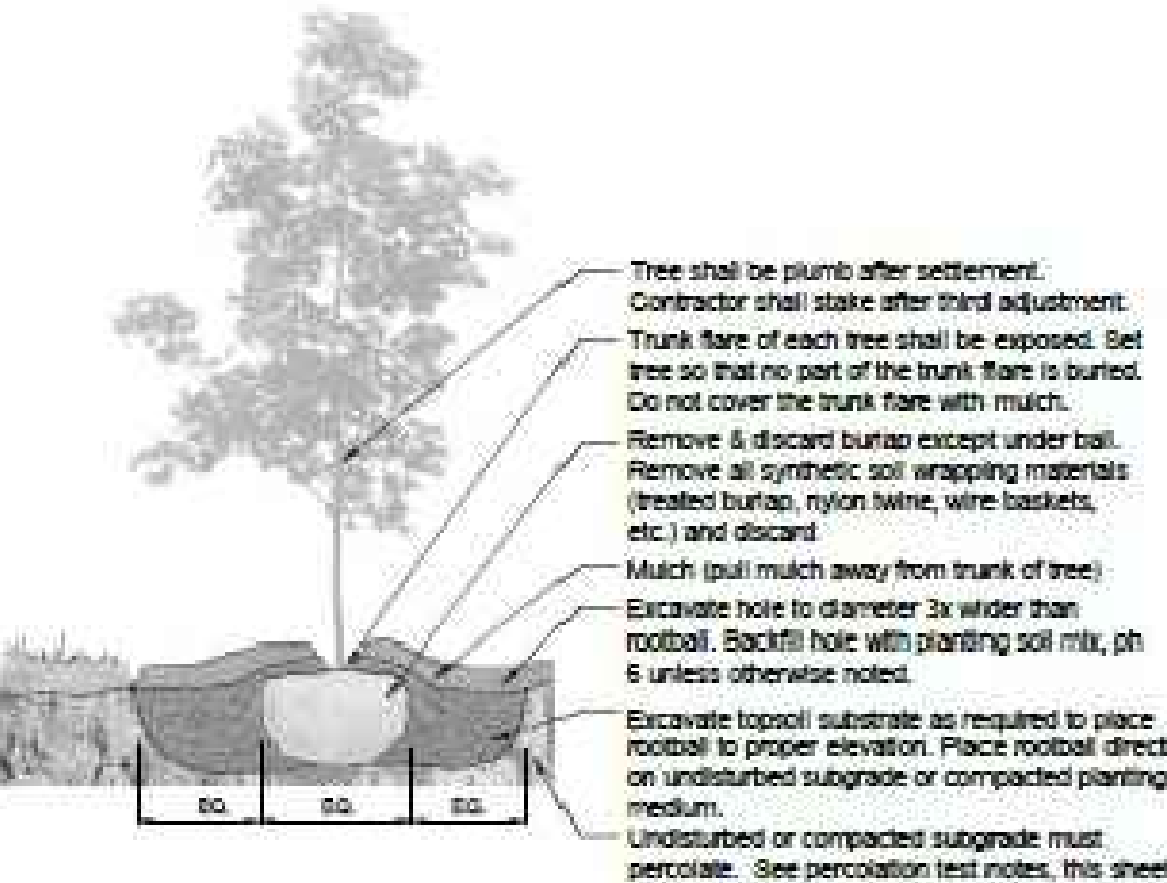
- Contractor shall verify all existing conditions in the field and report any discrepancies to the Owner's Representative prior to starting work.
- No planting shall occur until soil sample results have been received from all planting areas and soils are properly amended based on the results of the soil tests. See this sheet for soil sampling instructions.
- No planting shall occur until percolation testing has been completed and soils have been properly amended to drain. See this sheet for percolation testing procedures.
- All new plant material shall conform to the guidelines established for nursery stock published by the American Association of Nurserymen, Inc. In addition, all new plant material for the project shall be of the highest specimen quality. Plant material delivered to the site that does not meet the requirements stated herein may be rejected by the Owner's Representative.
- Do not assume trunk flare will be exposed at the nursery. Contractor to expose trunk flares to check for root girdling. Pull mulch away from the trunk flare of trees and from the base of all shrubs.
- No plant material shall be planted before acceptance of rough grading. The finished grade shall not cover any part of the tree trunk flare. See tree planting detail.
- All new plants shall be balled and burlapped or container grown unless otherwise noted on the plant list.
- The Contractor shall locate and verify all existing utility lines prior to planting and report any conflicts to the Owner's Representative.
- Planting plans are not layout plans. Plants may need to be shifted in the field, based on the existing conditions. Coordinate with the Owner's Representative prior to any changes.
- All lawn areas disturbed by construction operations inside and outside the limit of work shall be prepared and seeded.
- Prepare all shrub beds with planting soil to a minimum depth matching the depth of shrub root balls; prepare perennial beds with a minimum of 12" planting loam; prepare groundcover beds with a minimum of 6" planting loam.
- All plant beds are to receive one and a half inches (1.5") of double shredded hardwood mulch.
- Thoroughly water trees and shrubs during the first 24 hours after planting. Wet the soil to a depth of 18-24". When runoff starts, stop watering, let the water soak in and repeat until the proper depth is wet.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit, and culture only as approved by the Owner's Representative.
- All areas to be seeded shall receive soil preparation as specified prior to seeding, unless otherwise noted on plan.
- Contractor's base bid to include all materials, labor, permits, equipment, tools, insurance, etc. to perform the work as described in the contract documents.
- Contractor to complete work within schedule established by Owner.
- Contractor to provide one year warranty for all material from date of substantial completion. Contractor to provide interim maintenance (watering, pruning, fertilizing, geying, mowing, trimming, adequate drainage of ponding areas, edging, weeding, mulching, and general landscape clean-up) until substantial completion notice is provided by the Owner's Representative. Application of insecticides/herbicides must be approved by Owner's Representative prior to use on site.
- See civil drawings for further information regarding:
 - Erosion and sediment control.
 - Locations of existing and proposed structures, paving, driveways, cut and fill areas, and retention areas.
 - Limits of construction.
 - Locations of existing and proposed utilities or easements.
- Shade trees to be planted a minimum of 5' from sidewalks, water line, sewer line or manholes. Evergreen and ornamental trees to be planted a minimum of 3' from sidewalks, water line, sewer line or manholes.
- Mulch rings around shade trees to be a minimum diameter of 4' and a minimum of 3' around ornamental and evergreen trees. If evergreen trees are specified as full to ground, mulch ring to extend a minimum of 12" beyond the edge of plant.
- Square footage of seed quantities is approximate and is an estimate of the disturbed areas. Contractor to verify quantities prior to purchase and installation.



SOD DETAIL

SCALE: N.T.S.

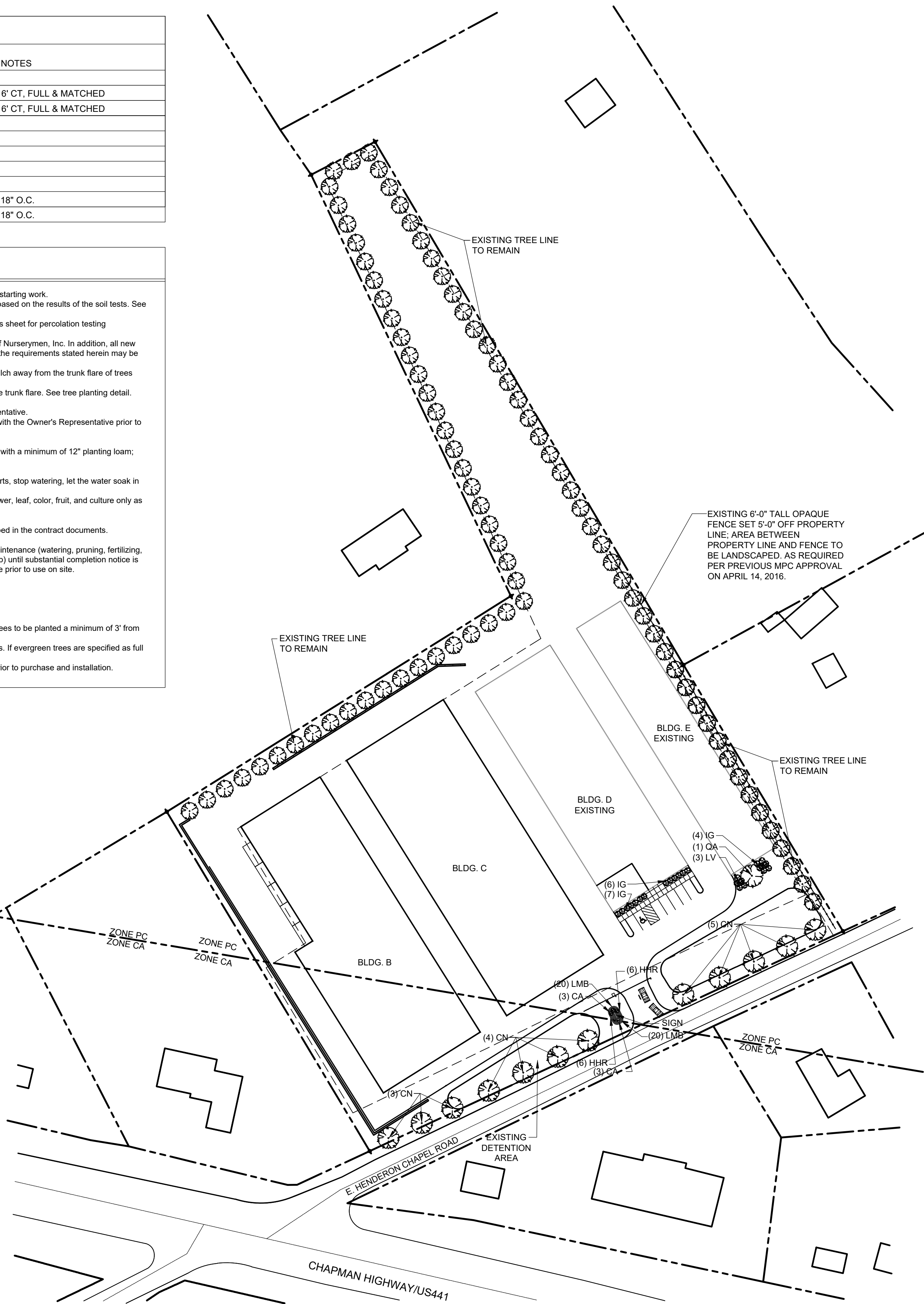
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DECIDUOUS TREE PLANTING DTL.

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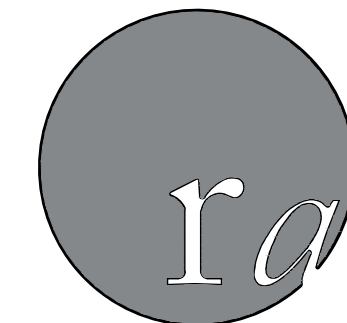
2



LANDSCAPE PLAN

SCALE: 1"=60'

1



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CHAPMAN STORAGE

111 E. HENDERON CHAPEL ROAD
KNOXVILLE, TENNESSEE 37920
10-G-21-UR

Issue Date 09-27-2021

Drawn HGB
Checked RMR

Revisions

L1.01

landscape plan
planting details
plant schedule



File No.: 10-G-21-UR

Date submitted: 9/28/2021

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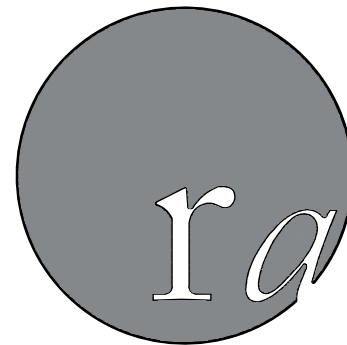
BUILDING S.F. MATRIX

BUILDING B	29,300 S.F.
BUILDING C	31,900 S.F.
BUILDING D - EXISTING	21,300 S.F.
BUILDING E - EXISTING	14,000 S.F.
TOTAL	96,200 S.F.

NOTES:
PREVIOUS MPC APPROVAL APRIL 14TH, 2016: 6 BUILDINGS WITH A TOTAL OF 88,565 S.F.
NEW LAYOUT, 4 BUILDINGS WITH A TOTAL OF 96,200 S.F.

UNIT SIZE MIX - BUILDING B

UNIT SIZE	UNCOND. NO.	COND. NO.	TOTAL
5X5	0	2	2
5X10	1	1	2
10X5	0	28	28
10X10	8	23	31
10X15	0	35	35
10X20	21	25	46
10X30	11	6	17
TOTAL	41	120	161



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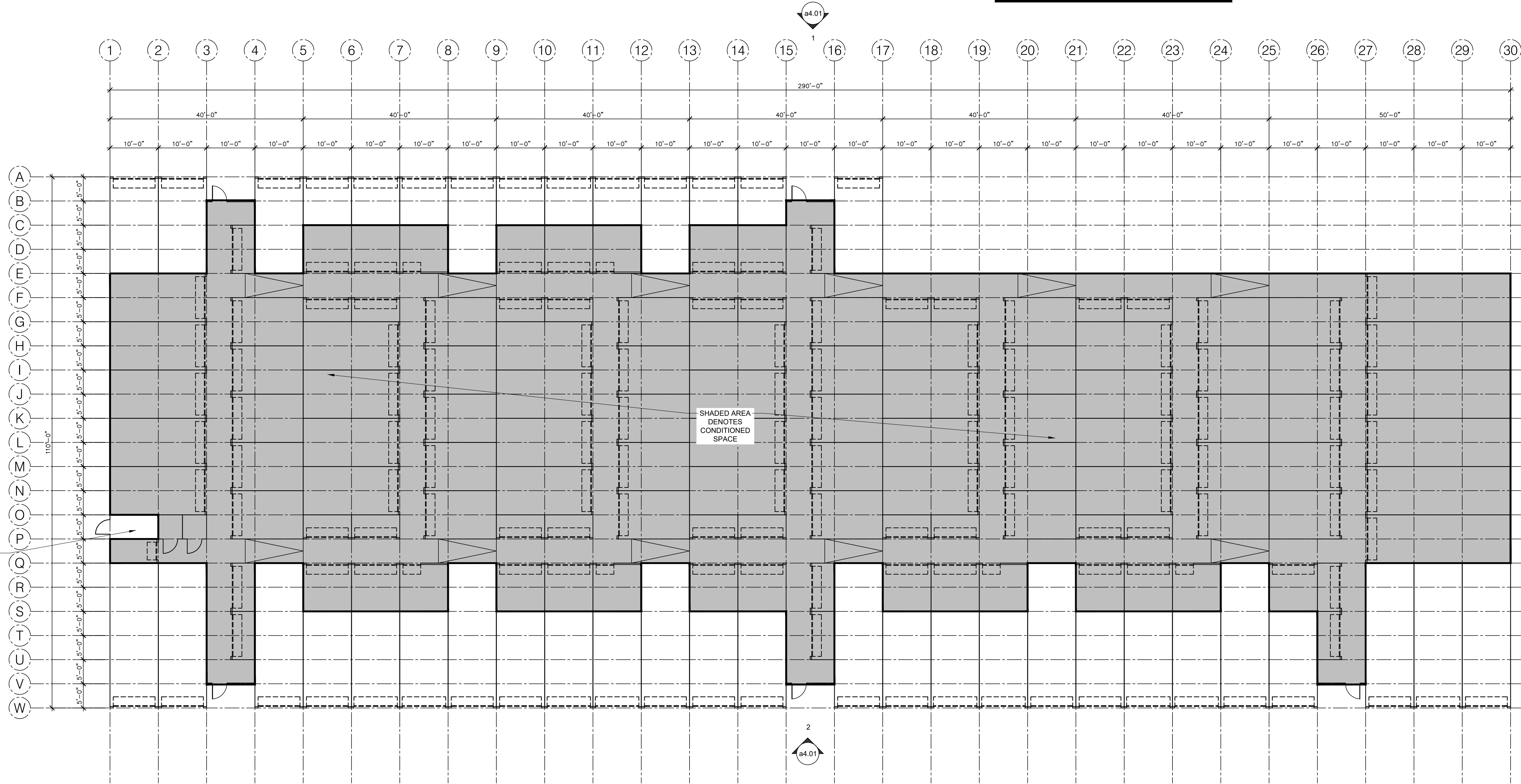
CHAPMAN STORAGE

111 E. HENDERON CHAPEL ROAD
KNOXVILLE, TENNESSEE 37920
10-G-21-UR

Issue Date 09-27-2021

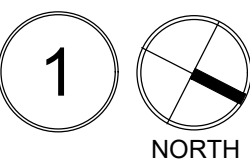
Drawn HGB
Checked RMR

Revisions



FLOOR PLAN - BUILDING B

SCALE: 3/32"=1'-0"



a1.01

floor plan building b



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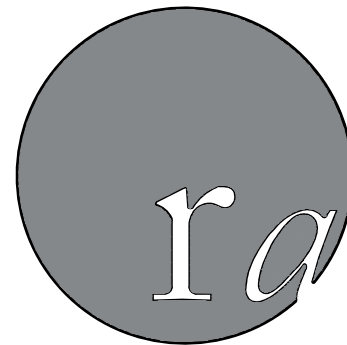
BUILDING S.F. MATRIX

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BUILDING D - EXISTING	21,300 S.F.
BUILDING E - EXISTING	14,000 S.F.
TOTAL	96,200 S.F.

NOTES:
PREVIOUS MPC APPROVAL APRIL 14TH, 2016: 6 BUILDINGS WITH
A TOTAL OF 88,565 S.F.
NEW LAYOUT, 4 BUILDINGS WITH A TOTAL OF 96,200 S.F.

UNIT SIZE MIX - BUILDING C

UNIT SIZE	UNCOND. NO.	COND. NO.	TOTAL
5X5	0	2	2
5X10	1	0	1
10X5	0	24	24
10X10	17	16	33
10X15	2	36	38
10X20	15	35	50
10X30	12	10	22
TOTAL	47	123	170



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CHAPMAN STORAGE

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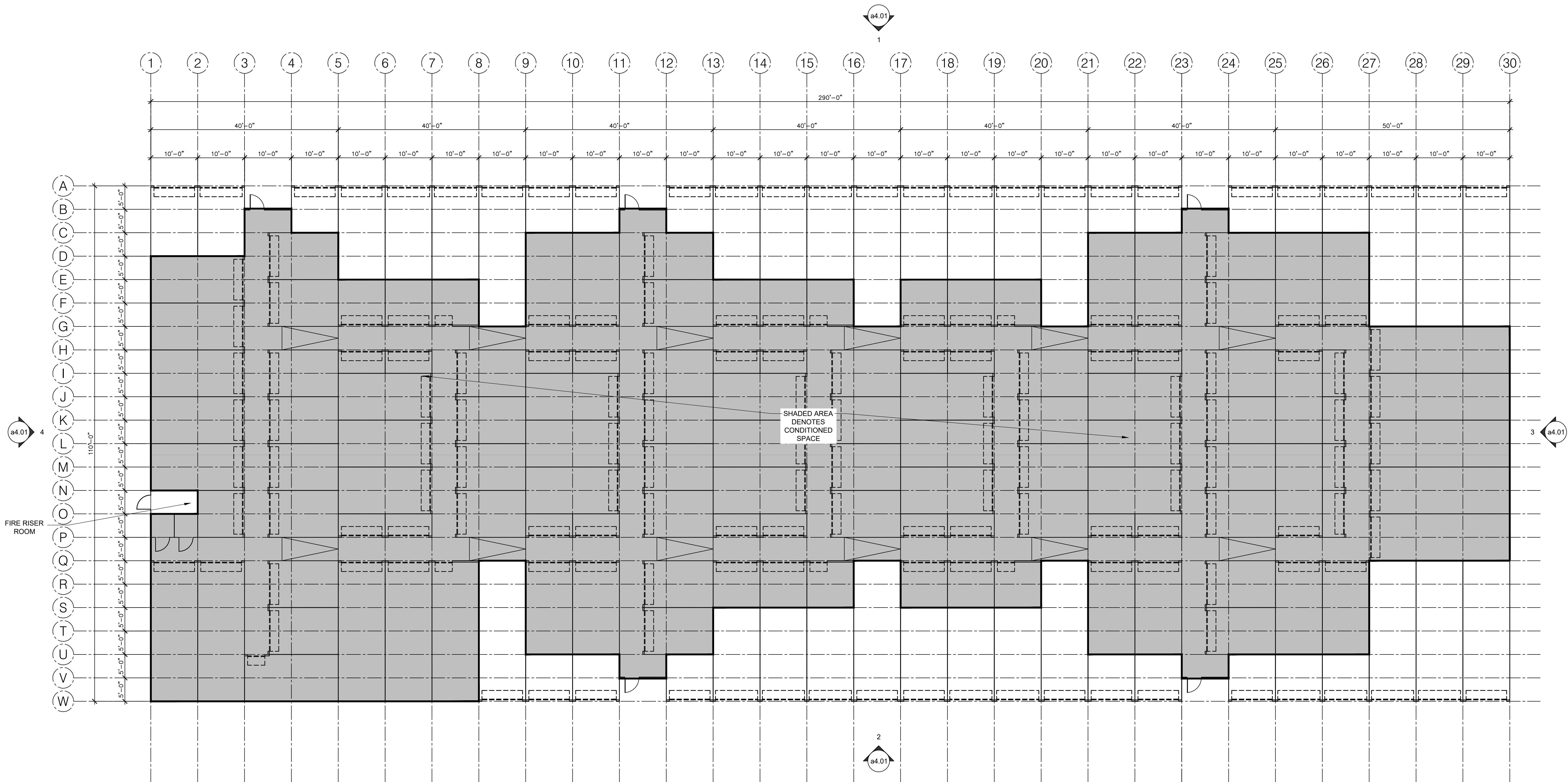
Issue Date 09-27-2021

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Checked RMR

Revisions

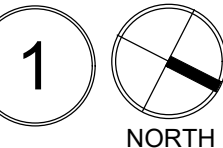
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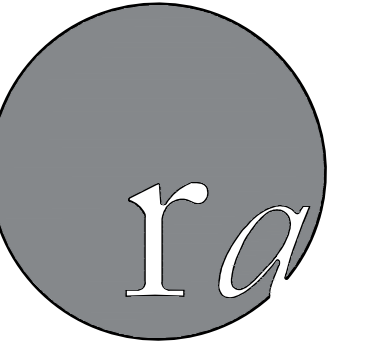
floor plan building c



FLOOR PLAN BUILDING C

SCALE: 3/32"=1'-0"





**r a n d o l p h
a r c h i t e c t u r e**

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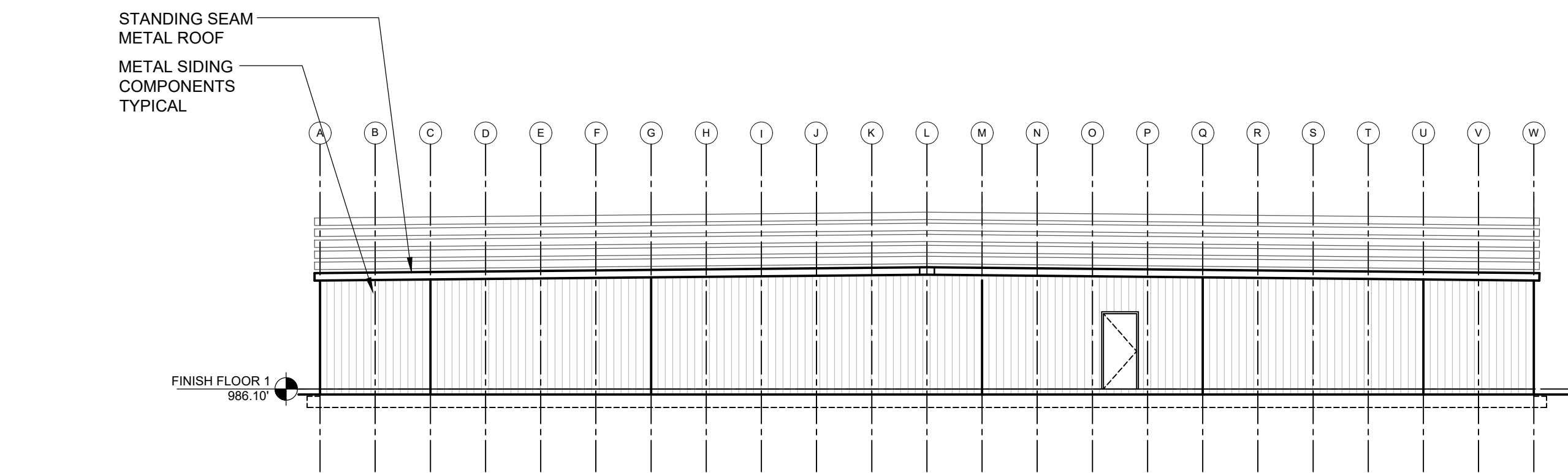
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Issue Date 09-27-2021

Drawn HGB Checked RMR

Revisions

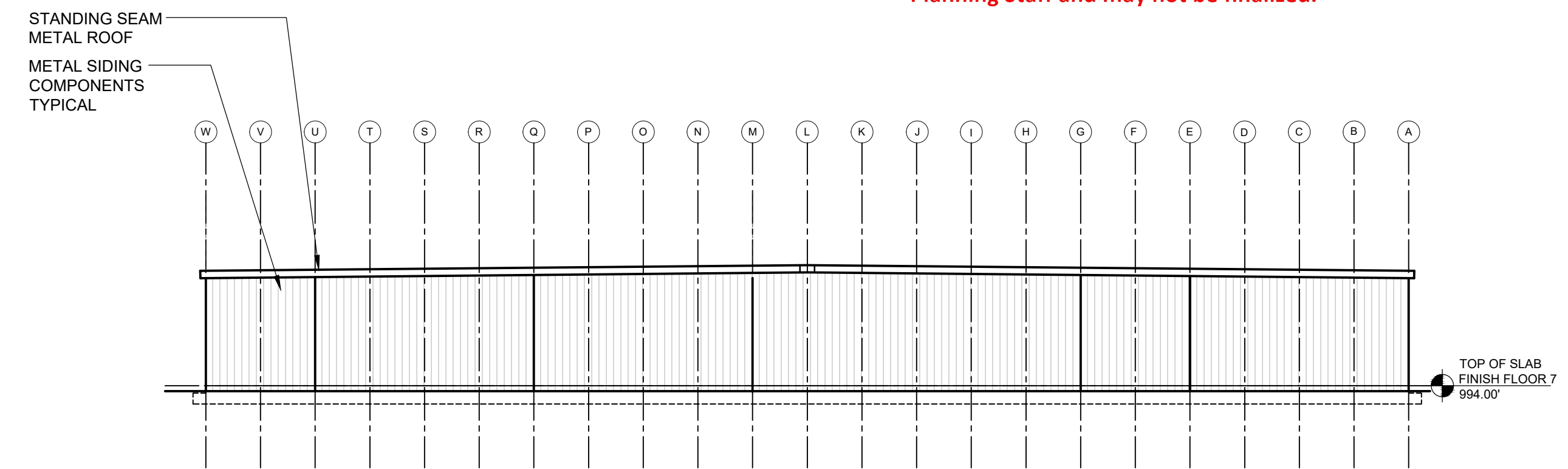
a4.01
exterior elevations -
building b



SOUTH ELEVATION - BUILDING B

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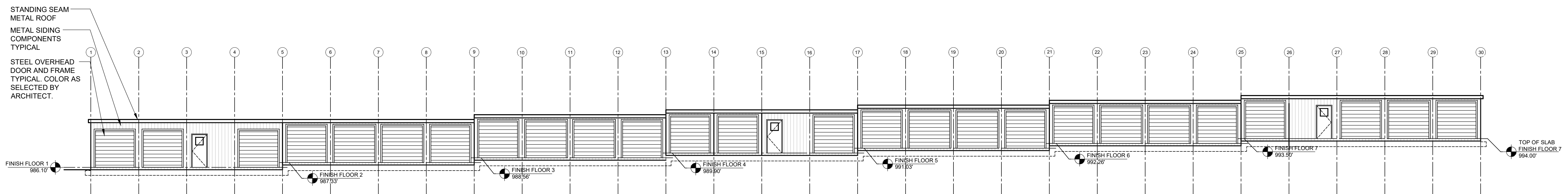
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NORTH ELEVATION - BUILDING B

SCALE: 3/32"=1'-0"

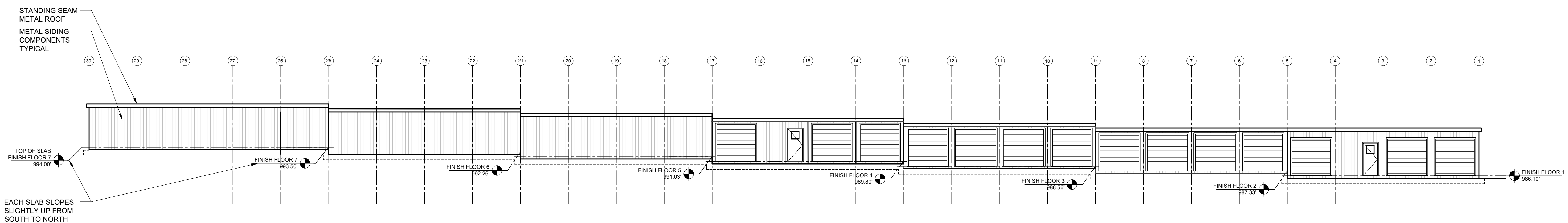
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EAST ELEVATION - BUILDING B

SCALE: 3/32"=1'-0"

2



WEST ELEVATION - BUILDING B

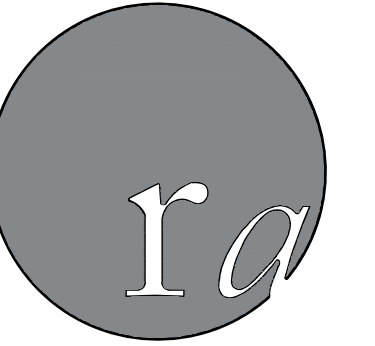
SCALE: 3/32"=1'-0"

1



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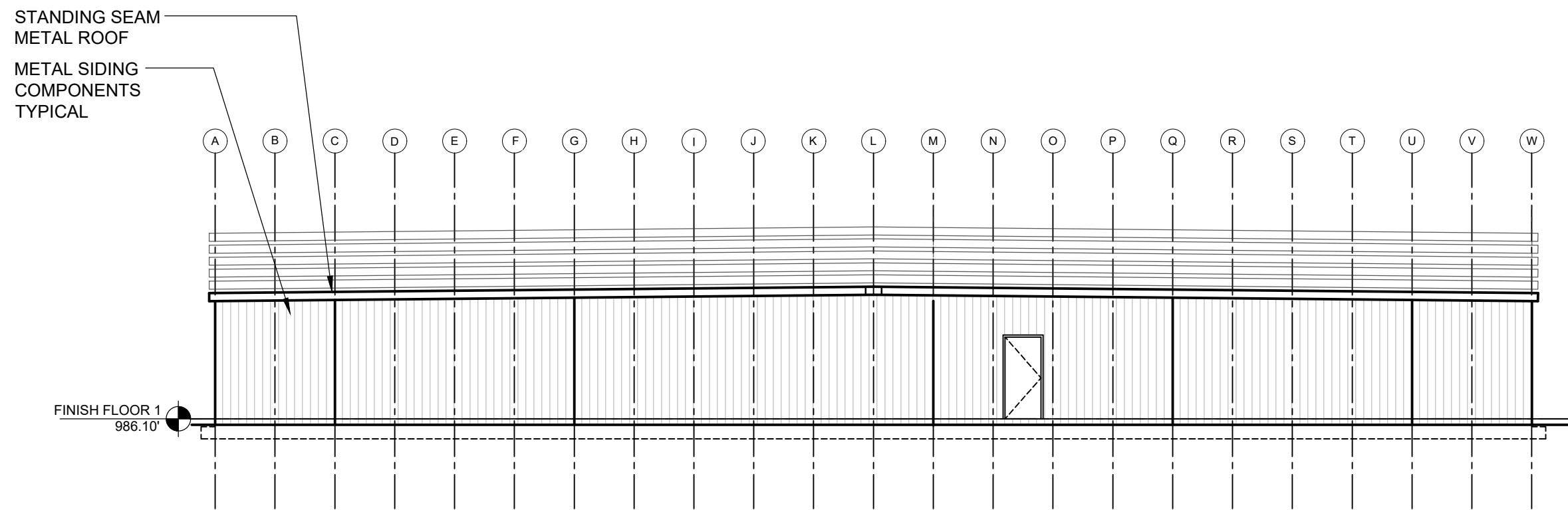
CHAPMAN STORAGE
111 E. HENDERON CHAPEL ROAD
KNOXVILLE, TENNESSEE 37920
10-G-21-UR

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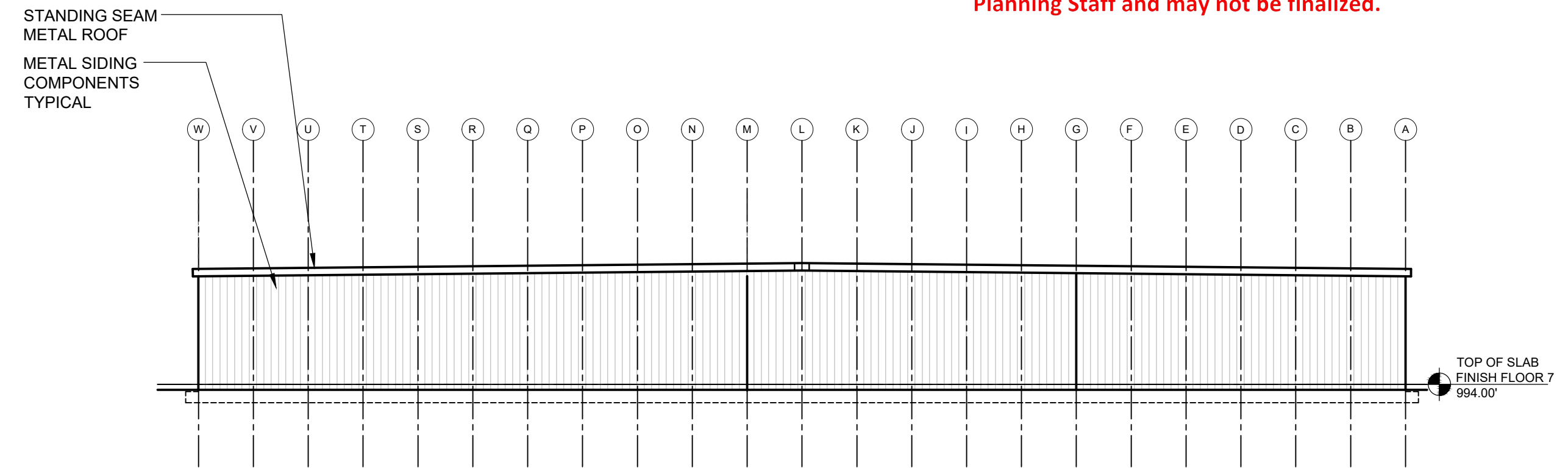
a4.02
exterior elevations -
building c



SOUTH ELEVATION - BUILDING C

SCALE: 3/32"=1'-0"

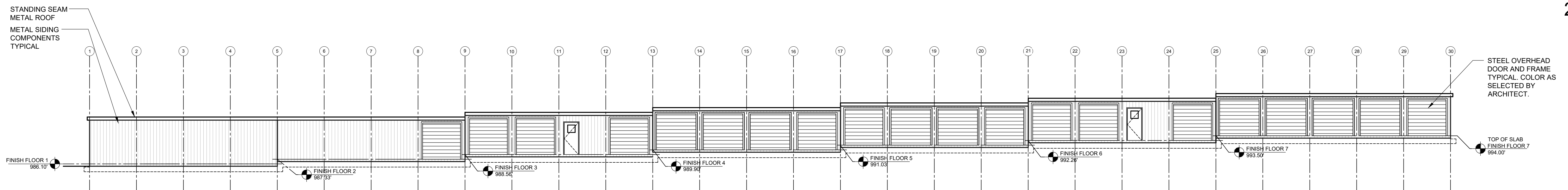
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NORTH ELEVATION - BUILDING C

SCALE: 3/32"=1'-0"

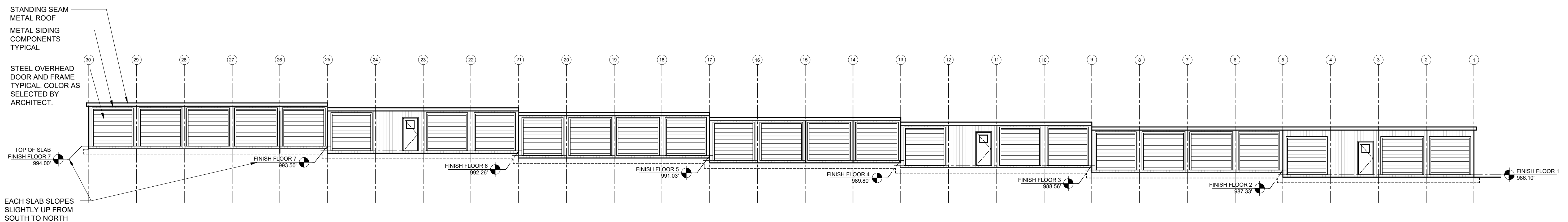
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EAST ELEVATION - BUILDING C

SCALE: 3/32"=1'-0"

2



WEST ELEVATION - BUILDING C

SCALE: 3/32"=1'-0"

1