

PROPERTY DATA:

LOT 1 AREA: 1.58 AC
LOT 2 AREA: 0.58 AC
LOT 3 AREA: 0.35 AC

ZONING: CN

BUILDING SETBACKS:
FRONT: 35'
REAR: 25'

PARKING DATA:

PARKING REQUIRED PER LOCAL CODE:

BUILDING #1 - RESTAURANT:
1 PER 100 SF USABLE FLOOR SPACE INCLUDING PATIO (2,823 SF)
1 PER 3 EMPLOYEES (6)

BUILDING #1 - RETAIL:
5 PER 1000 SF GROSS SF (1,852 SF)

BUILDING #2 - RESTAURANT:
1 PER 100 SF USABLE FLOOR SPACE INCLUDING PATIO (2,751 SF)
1 PER 3 EMPLOYEES (12)

BUILDING #2 - RETAIL:
5 PER 1000 SF GROSS SF (1,852 SF)

BUILDING #3 - RESTAURANT:
1 PER 100 SF USABLE FLOOR SPACE INCLUDING PATIO (1,702 SF)
1 PER 3 EMPLOYEES (6)

TOTAL PARKING REQUIRED: 99

PARKING PROVIDED:
STANDARD SPACES: 109
ACCESSIBLE SPACES: 6
TOTAL PARKING PROVIDED: 115

LEGEND:

A LANDSCAPE AREA/ISLAND
B CONCRETE SIDEWALK WITH INTEGRAL CURB (SEE DETAIL SHEET)
C CONCRETE SIDEWALK FLUSH WITH ASPHALT PAVEMENT (SEE DETAIL SHEET)
D CONCRETE SIDEWALK (SEE DETAIL SHEET)
E EXTRUDED CONCRETE CURB (SEE DETAIL SHEET)
F ACCESSIBLE RAMP (SEE DETAIL SHEET)
G HEAVY DUTY CONCRETE (SEE DETAIL SHEET)
H STOP SIGN (SEE DETAIL SHEET)
I ACCESSIBLE PARKING SIGN (SEE DETAIL SHEET)
J ACCESSIBLE PARKING SIGN WITH VAN ACCESSIBLE PLAQUE (SEE DETAIL SHEET)
K HANDICAP SPACE WITH PAINTED ACCESSIBLE SYMBOL (SEE DETAIL SHEET)
L 4" WIDE WHITE DIAGONAL PAINT STRIPES AT 2'-0" O.C.
M 4" WIDE WHITE PAINTED PARKING STRIPES
N DOUBLE SOLID YELLOW LINE - PAINTED
O PAINTED STOP BAR (SEE DETAIL SHEET)
P 6" WIDE WHITE CROSSWALK STRIPING (SEE DETAIL SHEET)
Q DUMPSTER ENCLOSURE (SEE ARCHITECTURAL PLANS)
R ACCESSIBLE RAMP WITH HANDRAILS (SEE DETAIL SHEET)
S STAIRS WITH HANDRAILS (SEE DETAIL SHEET)

SITE PLAN NOTES:

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.

2. ALL DISTURBED AREAS NOT BUILT NOR PAVED UPON ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.

3. ALL CURBED AND STRIPED RADII ARE TO BE 4' UNLESS OTHERWISE NOTED.

4. ALL DIMENSIONS AND RADII ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED.

5. BUILDING DIMENSIONS SHOWN ON SITE LAYOUT PLAN ARE NOMINAL DIMENSION ONLY INTENDED FOR USE IN DETERMINING APPROXIMATE SQUARE FOOTAGES. SEE ARCHITECTURAL PLANS FOR ACTUAL DIMENSIONS OF BUILDING CONSTRUCTION.

6. EXISTING STRUCTURES WITHIN THE CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED, OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.

7. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNS, FENCING, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.

8. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND BOUNDARY INFORMATION WAS TAKEN FROM SURVEY BY MBI COMPANIES, INC. DATED 02/22/2021.

9. THE SITEWORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE PROJECT SITE WORK SPECIFICATIONS". ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.

10. IN ORDER TO PREVENT PONDING THE CONTRACTOR SHALL INSTALL REVERSE-PITCH GUTTER AT ALL LOCATIONS WHERE ASPHALT SLOPES AWAY FROM GUTTER.

11. REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.

SITE PAVING NOTES:

PAVING ELEVATION TOLERANCE
FINAL SUBGRADE SHALL BE INSPECTED BY PAVING CONTRACTOR FOR REQUIRED ELEVATION AND ADEQUATE COMPACTION BEFORE COMMENCING ANY PAVING ACTIVITY. PAVING ELEVATION SHALL NOT HAVE MORE THAN 2" DEVIATION IN ANY 10' INCREMENT.

PAVING THICKNESS TOLERANCE
PAVING THICKNESS AT ANY ONE CORE SHALL NOT BE LESS THAN 90% OF SPECIFIED THICKNESS. THE AVERAGE OF ALL APPROVED TESTS MUST BE AT LEAST EQUAL TO THE SPECIFIED THICKNESS FOR EACH MATERIAL. NOT MORE THAN 20% OF ALL APPROVED TEST MAY FALL BELOW SPECIFIED MINIMUMS. ANY AREA FOUND TO BE LESS THAN 90% SPECIFIED THICKNESS SHALL BE OVERLAIN WITH ASPHALT AS DIRECTED BY SITE, INC.

TESTING DURING PLACEMENT
GENERAL CONTRACTOR SHALL PERFORM SEVERAL SPOT CHECKS OF PAVING BASE THICKNESS PRIOR TO INSTALLATION OF CONCRETE PAVING. COMPACTION AND DENSITY TESTS SHALL BE PERFORMED ON EACH LIFT AT THE RATE OF ONE TEST PER 10,000 SQUARE FEET.

CONTRACTOR SHALL PROVIDE FOR TESTING OF COMPLETED PAVING INSTALLATION FOR COMPLIANCE WITH DESIGN CRITERIA AND REQUIRED THICKNESS. CONTRACTOR SHALL REPLACE ALL NON-COMFORMING MATERIAL AT HIS OWN EXPENSE.

TESTING SHALL BE PERFORMED ONLY BY AN INDEPENDENT TESTING AGENT APPROVED BY SITE, INC. TEST HOLES NOT SPOTTED BY SITE, INC. MAY NOT BE CONSIDERED ACCEPTABLE.

ALLOW A MINIMUM OF SIXTEEN CORE TESTS TO BE LOCATED ONLY BY WRITTEN INSTRUCTION BY SITE, INC.

THE PAVING CONTRACTOR SHALL REPAIR ALL CORING HOLES BY FILLING HOLES WITH CONCRETE FLUSH TO TOP OF PAVEMENT.

ASPHALTIC PAVING MATERIALS
MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SPECIFICATION OF THE HIGHWAY DEPARTMENT OF THE STATE IN WHICH THE PROJECT IS LOCATED. REFER TO PAVING MATERIALS LEGEND.

CONCRETE
CONCRETE CURBING SHALL BE 4000 PSI 28 DAY STRENGTH 2" - 3" SLUMP, (NO CURB DEFORMATION) 3% - 5% AIR ENTRAINED. INSTALL WITH RC-70 TACK COAT EMULSION OVER ASPHALT.

PROVIDE CYLINDER BREAK TEST - 3/500 L.F. OF CURBING OR 1-DAY POUR WITH BREAKS - 1 @ 7-DAYS, 2 @ 28-DAYS. COMPLY WITH ASTM C-31 AND ASTM C-39. ALSO PROVIDE ONE SLUMP TEST PER 500 L.F. OF CURBING OR 1-DAY POUR.

PROVIDE EXPANSION JOINT @ 50' O.C. (MAX) AND CONTROL JOINTS @ 20' O.C. (MAX) AT ALL CONCRETE PAVING AREAS. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.

PAVEMENT MARKING
PROVIDE PAVEMENT MARKING AS SHOWN ON THE DRAWINGS. STRIPING SHALL BE 4" WIDE OR AS NOTED OTHERWISE ON THE PLANS. ALL MARKINGS SHALL BE THERMOPLASTIC AND SHALL MEET THE TENNESSEE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, MARCH 1, 2006 (SECTION 918.23).

CONTRACTOR SHALL REMOVE ALL EXISTING PAVEMENT MARKINGS THAT DO NOT CONFORM TO TDOT STANDARDS FOR MODIFIED INTERSECTION.

TEMPORARY PAVEMENT LINE MARKINGS ON INTERMEDIATE LAYERS OF PAVEMENT SHALL BE REFLECTIVE TAPE OR REFLECTORIZED PAINT INSTALLED TO PERMANENT STANDARDS BEFORE DARK HOURS. SHORT, UNMARKED SECTIONS SHALL NOT BE ALLOWED.

ALL MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD AND TDOT STANDARD DRAWINGS T-M-1 THROUGH T-M-4.

PAVING MATERIALS SCHEDULE

LIGHT DUTY ASPHALT PAVING			
AGGREGATE BASE COURSE - LIFT 1"	3"	TDOT TYPE A, CLASS A & GRADING D	
AGGREGATE BASE COURSE - LIFT 2"	3"	TDOT TYPE A, CLASS A & GRADING D	
BITUMINOUS ASPHALT BASE MIX**	2"	TDOT GRADING BM	
BITUMINOUS ASPHALT SURFACE MIX***	1-1/2"	TDOT GRADING E	

HEAVY DUTY ASPHALT PAVING			
AGGREGATE BASE COURSE - LIFT 1"	4"	TDOT TYPE A, CLASS A & GRADING D	
AGGREGATE BASE COURSE - LIFT 2"	4"	TDOT TYPE A, CLASS A & GRADING D	
BITUMINOUS ASPHALT BASE MIX**	3"	TDOT GRADING BM	
BITUMINOUS ASPHALT SURFACE MIX***	1-1/2"	TDOT GRADING E	

HEAVY DUTY CONCRETE PAVING			
AGGREGATE BASE COURSE	6"	TDOT TYPE A, CLASS A & GRADING D	
PORTLAND CEMENT CONCRETE	8"	PCC 4000 PSI TYPE I WITH 2 LAYERS 4x4-W4.0xW4.0 WWF CONTINUOUS SAWED OR FORMED CONTROL JOINTS AT 15 FOOT BY 15 FOOT SPACING MAX.	

REFERENCES:
**REFER TO TDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTION 903.05
***REFER TO TDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTION 307
***REFER TO TDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTION 411
REPORT OF GEOTECHNICAL EXPLORATION BY GEOSERVICES, LLC DATED MARCH 10, 2020

Planning
KNOXVILLE & KNOX COUNTY

File No.: **10-H-21-UR**

Date submitted: **9/27/2021**

These plans have not been reviewed by Planning Staff and may not be finalized.

GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
1 inch = 30 ft.

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09/11/2021
0010975
STATE OF TENNESSEE

Use on Review - Site Layout Plan

The Shops at Bexhill
1401 Bexhill Drive
Knox County, Tennessee 37922
MCS Enterprises, LLC

REVISIONS

NO.	DATE	COMMENTS
1	09/27/2021	Revised per MFC Comments

ORIGINAL ISSUE: 8/30/2021
SITE PROJECT #: 2034
FILE: Layout

C4.0

MPC FILE 10-H-21-UR



STORM PIPE MATERIAL:

ALL STORM PIPE LOCATED WITHIN RIGHT-OF-WAY SHALL BE RCP. ALL OTHER STORM PIPE SHALL BE HDPE-WT OR RCP, UNLESS OTHERWISE NOTED ON THE PLAN. APPROVED STORM PIPE IS AS FOLLOWS:

A. REINFORCED CONCRETE PIPE (RCP):
ASTM C76, CLASS III UNLESS NOTED OTHERWISE ON DRAWINGS, INSTALLED WITH RUBBER O-RING GASKETS AT JOINTS.
1. GASKETS: AASHTO M198, TYPE B OR ASTM C443, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
2. FLARED END SECTIONS: ASTM C76 OR, FOR SECTIONS WITH TOE WALL, AASHTO H170.

B. HIGH DENSITY POLYETHYLENE PIPE - WATER TIGHT (HDPE-WT):
AASHTO M 262 TYPE S, M 294 TYPE S, OR ASTM F 2306 SMOOTH INTERIOR/ANNULAR EXTERIOR.
1. RUBBER GASKET: ASTM F477
2. RUBBER GASKET JOINTS: ASTM 3212

SITE GRADING NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY AND PAY ALL FEES.

2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. THE CONTRACTOR SHALL RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES AND PAY ALL FEES.

3. THE CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY EXISTING STRUCTURES THAT ARE DAMAGED DURING, AND AS A RESULT OF, CONSTRUCTION. REPAIRS AND/OR REPLACEMENTS SHALL BE MADE AS NECESSARY TO RETURN THE DAMAGED STRUCTURE(S) TO ORIGINAL OR BETTER CONDITION. REPAIRS AND/OR REPLACEMENTS SHALL BE AT THE CONTRACTORS EXPENSE.

4. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.

5. EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.

6. ALL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.

7. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL GRASS DISTURBED AREAS PER GRASSING SCHEDULE UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

8. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.

9. CONTRACTOR SHALL ADJUST AND/OR SAW CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.

10. TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PROVIDED BY MBI COMPANIES, INC. DATED 2/22/2021. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.

11. CONTRACTOR SHALL INSPECT, REPAIR, AND CLEAN ALL EXISTING DRAINAGE STRUCTURES AND PIPING. ALL SEDIMENT AND DEBRIS SHALL BE REMOVED.

12. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED.

13. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6 INCHES ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".

14. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.

15. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.

16. MINIMUM COVER FROM TOP OF PIPE TO FINISH GRADE SHALL BE 2 FEET.

17. HEADWALLS SHALL BE CONSTRUCTED AND/OR INSTALLED IMMEDIATELY FOLLOWING INSTALLATION OF PIPE TO MINIMIZE POSSIBLE PIPE DAMAGE AND FACILITATE FINAL GRADING.

18. RIP-RAP STONE FOR EROSION PROTECTION SHALL BE PROVIDED AT ALL STORMWATER DISCHARGE LOCATIONS.

19. WATER, SEWER, AND STORM LINES SHALL BE KEPT 10 FEET APART HORIZONTALLY AND 18 INCHES APART VERTICALLY WHEN CROSSING (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE), UNLESS NOTED OTHERWISE.

20. WHEN CROSSING, WATER LINES SHALL BE CONSTRUCTED ABOVE SEWER LINES AND STORM LINES, UNLESS A LACK OF DEPTH ABOVE THE SEWER OR STORM LINE NECESSITATES CONSTRUCTION OF WATER LINES BENEATH SEWER LINES OR STORM LINES. IN THE EVENT OF A VERTICAL CONFLICT, THE FOLLOWING MODIFICATIONS MUST OCCUR:
-SEWER LINES SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF THE CROSSING.
-STORM LINES SHALL HAVE "O-RING" GASKETS WITH HUGGER BAND COUPLING AT LEAST 10 FEET ON BOTH SIDES OF THE CROSSING.
-WATER LINES SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AND APPROPRIATE THRUST BLOCKING MEETING THE REQUIREMENTS OF ANSI 21.10 OR 21.11 (AWWA C-151) (CLASS 50).

STORM DRAIN GRATE SCHEDULE:

TYPE	MODEL	USE
DI	NEEHAY R-2560-EB BEEHIVE GRATE	GRATE INLET
JB	EAST JORDAN IRON WORKS 1775	JUNCTION BOX
CI	EAST JORDAN IRON WORKS 7030-M6, WITH 7030-T1 HOOD	CURB INLET
CB	EAST JORDAN IRON WORKS V-3622-80	GRATE INLET

ALL ELEVATIONS (RIM, THROAT, GRATE, TOP) AT STORM STRUCTURES ARE INTENDED TO INDICATE FLOW LINE ELEVATIONS

LEGEND:

	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	EXISTING STORM SEWER PIPE
	PROPOSED STORM SEWER PIPE
	EXISTING CATCH BASIN/JUNCTION BOX
	PROPOSED GRATE INLET
	PROPOSED CURB INLET
	PROPOSED JUNCTION BOX
	PROPOSED 8" CLEANOUT
	PROPOSED GRATE INLET
	PROPOSED WATER QUALITY UNIT
	TOP OF CONCRETE
	TOP OF PAVEMENT

File No.: **10-H-21-UR**

Date submitted: **9/27/2021**

These plans have not been reviewed by Planning Staff and may not be finalized.

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Use on Review - Site Grading and Drainage Plan

The Shops at Bexhill

1401 Bexhill Drive
Knox County, Tennessee 37922
MCS Enterprises, LLC

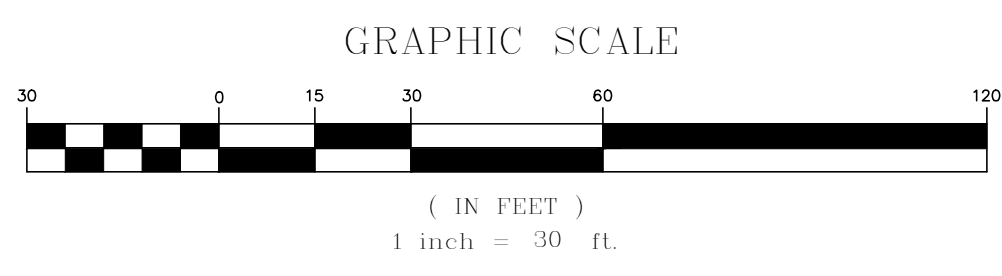
NO.	DATE	COMMENTS
1	09/27/2021	Revised per MFC Comments

ORIGINAL ISSUE: 8/30/2021

SITE PROJECT#: 2034

FILE: Grading

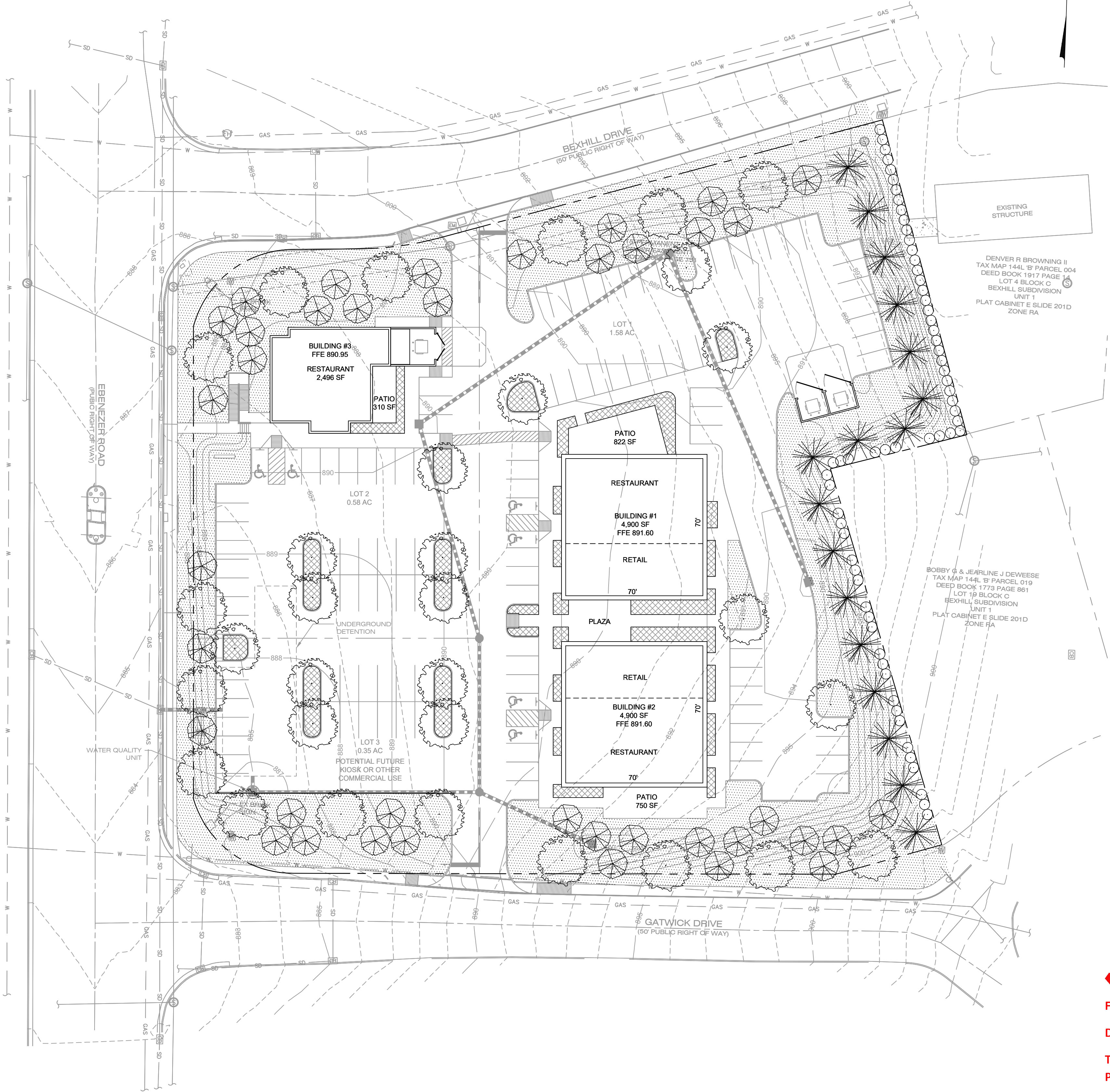
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MPC FILE 10-H-21-UR

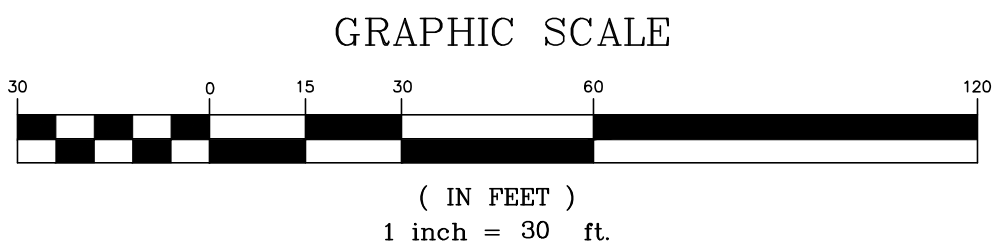
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File No.: 10-H-21-UR
Date submitted: 9/27/2021

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- LANDSCAPE NOTES:
- ALL DISTURBED AREAS NOT TO BE PAVED OR BUILT UPON ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL.
 - ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
 - ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
 - ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED.
 - ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE OWNER BEFORE, DURING, AND AFTER INSTALLATION.
 - ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
 - ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SPECIFIED.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN UNTIL FINAL ACCEPTANCE OF WORK.
 - ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
 - THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF 12 MONTHS AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE OF WORK. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS DURING THE NORMAL PLANTING SEASON.
 - AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
 - STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
 - WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH A HARDWOOD BARK MULCH FROM A LOCAL SOURCE HARVESTED IN A SUSTAINABLE MANNER TO A MINIMUM DEPTH OF THREE INCHES.
 - REFER TO PROJECT SPECIFICATIONS FOR INFORMATION NEEDED FOR IMPLEMENTATION OF PLANTING PLANS.
 - WEED MAT IS REQUIRED IN MULCHED LANDSCAPED BEDS AS SPECIFIED.
 - ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
 - THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.
 - THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SODDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING.
 - THIS PLAN DOES NOT PRESENT ANY TEMPORARY STABILIZATION REQUIRED AS PART OF SWPPP PLAN.
 - THE CONTRACTOR SHALL MEET ALL OF THE REQUIREMENTS OF KNOX COUNTY AND TTCD A REGARDING THIS PROJECT.
 - THIS LANDSCAPE PLAN REFLECTS AND IS CONSISTENT WITH THE REMAINING PLAN SHEETS ASSOCIATED WITH THIS PROJECT.
 - BASED ON AVAILABLE INFORMATION, PROPOSED PLANT MATERIALS WILL NOT INTERFERE WITH ANY EXISTING OR PROPOSED UTILITIES.
 - THE SUBJECT PROPERTY IS ZONED PR 5 DU/AC - TO.
 - THERE ARE NO SLOPES STEEPER THAN 2:1 ON THIS SITE.

PLANT MATERIAL LEGEND			
SYM.	QTY.	TYPE	EXAMPLE
	24	LARGE NATIVE SHADE TREE	RED MAPLE DAWN REDWOOD WILLOW OAK
	17	EVERGREEN TREE	ARBORVITAE EASTERN RED CEDAR
	14	SMALL ORNAMENTAL TREE	CRAPE MYRTLE DOGWOOD REDBUD
	63	SCREENING SHRUBS	OTTO LUYKEN LAUREL DWARF BURFORD HOLLY
		SHRUB AND GROUNDCOVER BEDS	
		TALL FESCUE BLEND	

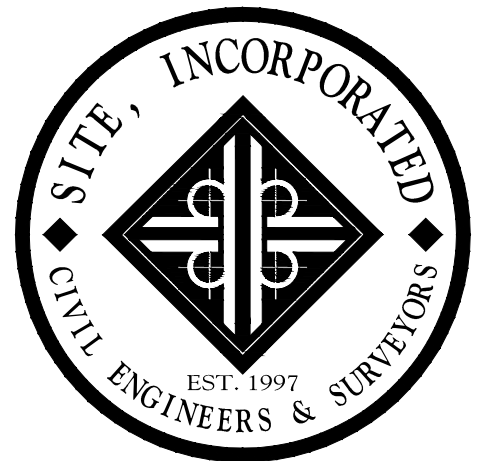
LANDSCAPE DATA:

FRONT YARD:
1 LARGE NATIVE TREE PER 60 LF OF STREET FRONTAGE:
STREET FRONTAGE = 961 LF
TREES REQUIRED = 16
TREES PROVIDED = 16
1 ORNAMENTAL TREE PER 25 LF OF STREET FRONTAGE:
STREET FRONTAGE = 961
TREES REQUIRED = 39
TREES PROVIDED = 39

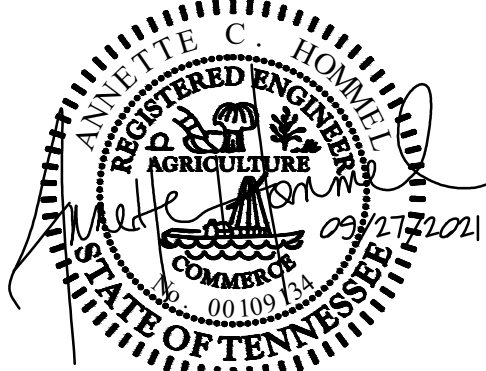
REAR YARD:
1 EVERGREEN TREE PER 25 LF REAR PROPERTY LINE LENGTH
REAR PROPERTY LINE LENGTH = 413 LF
TREES REQUIRED = 17
TREES PROVIDED = 17

SHRUBS AND GROUND COVER TO COVER REMAINDER OF REAR YARD EXCEPT FOR WITHIN 10 FEET FROM BASE OF THE EVERGREEN TREES

PARKING AREAS:
1 LARGE NATIVE TREE FOR EVERY 10 PARKING SPACES PROVIDED:
PARKING SPACES = 115
TREES REQUIRED = 12
TREES PROVIDED = 15



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Use on Review - Landscape Plan

The Shops at Bexhill
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MCS Enterprises, LLC

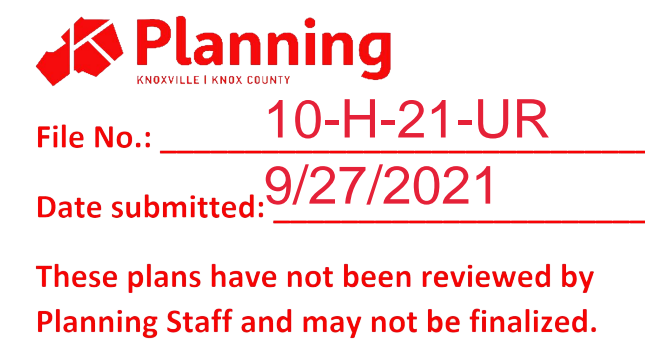
REVISIONS

NO.	DATE	COMMENTS
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L1.0

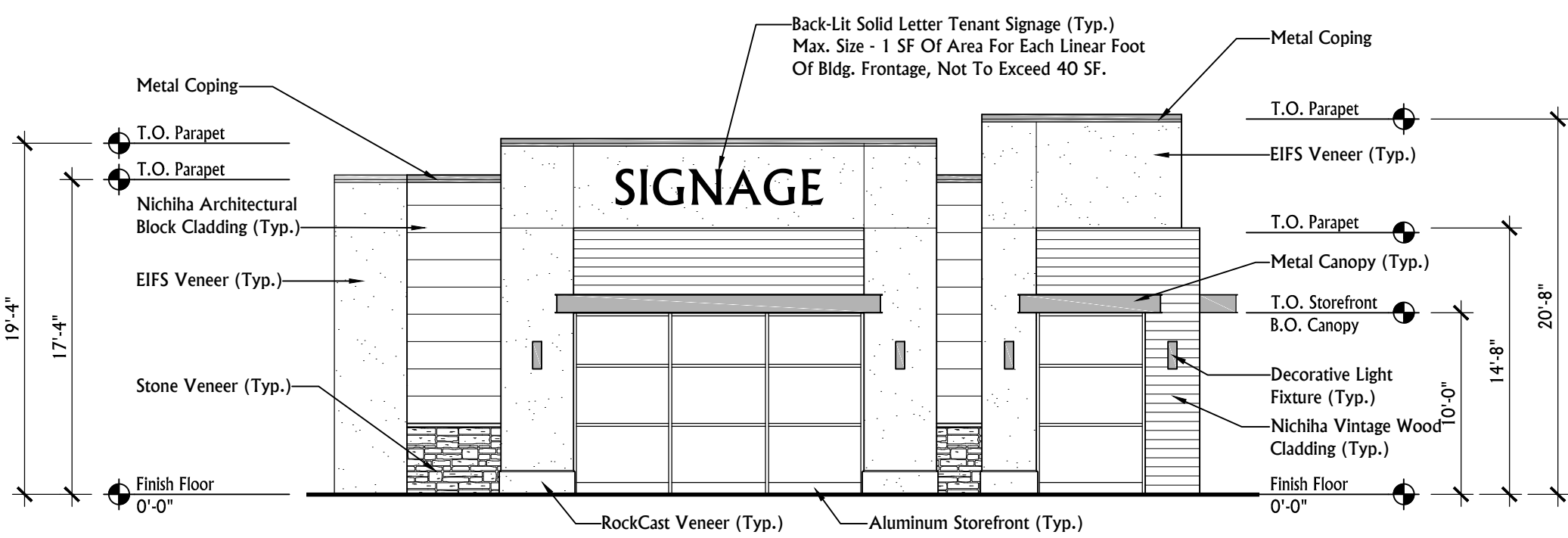




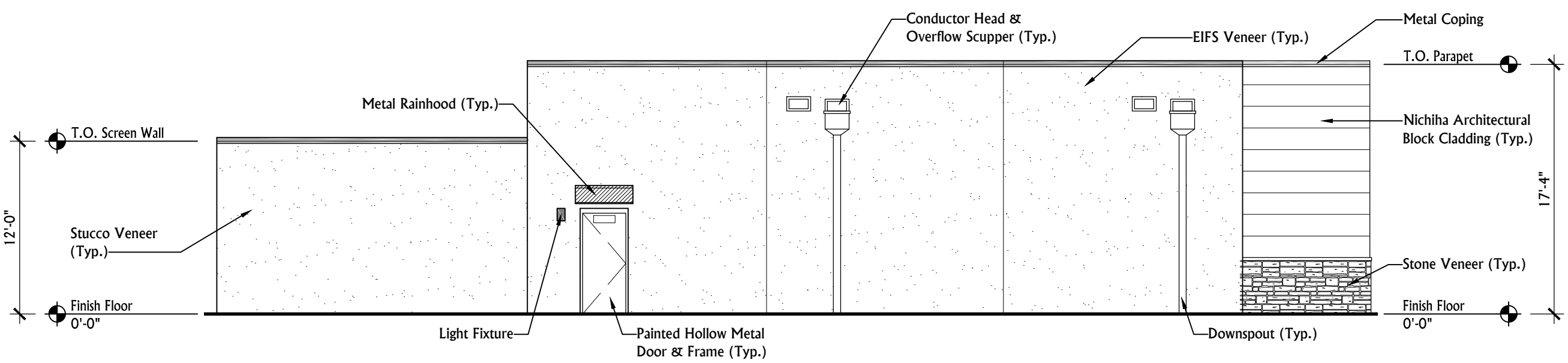
This architectural elevation drawing illustrates a building facade with a variety of materials and textures. The drawing includes the following elements and dimensions:

- Dimensions:**
 - Overall height: 20'-8"
 - Section height 1: 14'-8"
 - Section height 2: 10'-0"
 - Section height 3: 12'-0"
 - Section height 4: 17'-4"
 - Section height 5: 19'-4"
 - Finish Floor: 0'-0"
- Materials and Features:**
 - Metal Coping
 - T.O. Parapet
 - EIFS Veneer (Typ.)
 - Nichiha Architectural Block Cladding (Typ.)
 - EIFS Veneer (Typ.)
 - EIFS Veneer Beyond (Typ.)
 - T.O. Parapet
 - Metal Canopy (Typ.)
 - T.O. Storefront
 - B.O. Canopy
 - Decorative Light Fixture (Typ.)
 - Nichiha Vintage Wood Cladding (Typ.)
 - Finish Floor 0'-0"
 - Aluminum Storefront (Typ.)
 - Stone Veneer (Typ.)
 - RockCast Veneer (Typ.)
 - T.O. Screen Wall (Beyond)
 - Stucco Veneer Beyond (Typ.)
 - Finish Floor 0'-0"

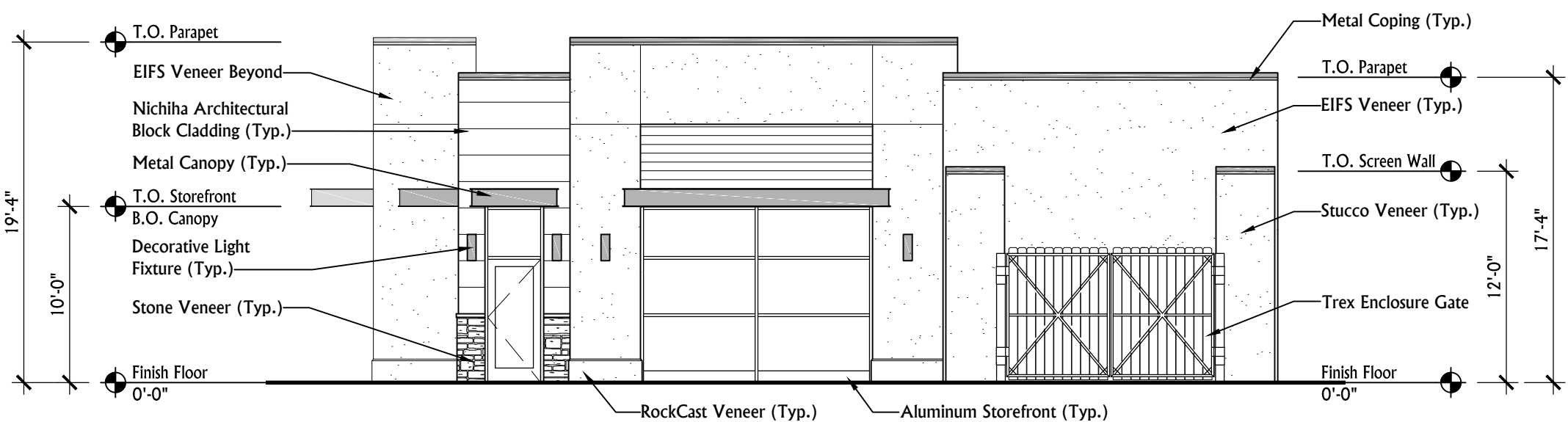
a2.2 SCALE: 1/8" = 1'-0"



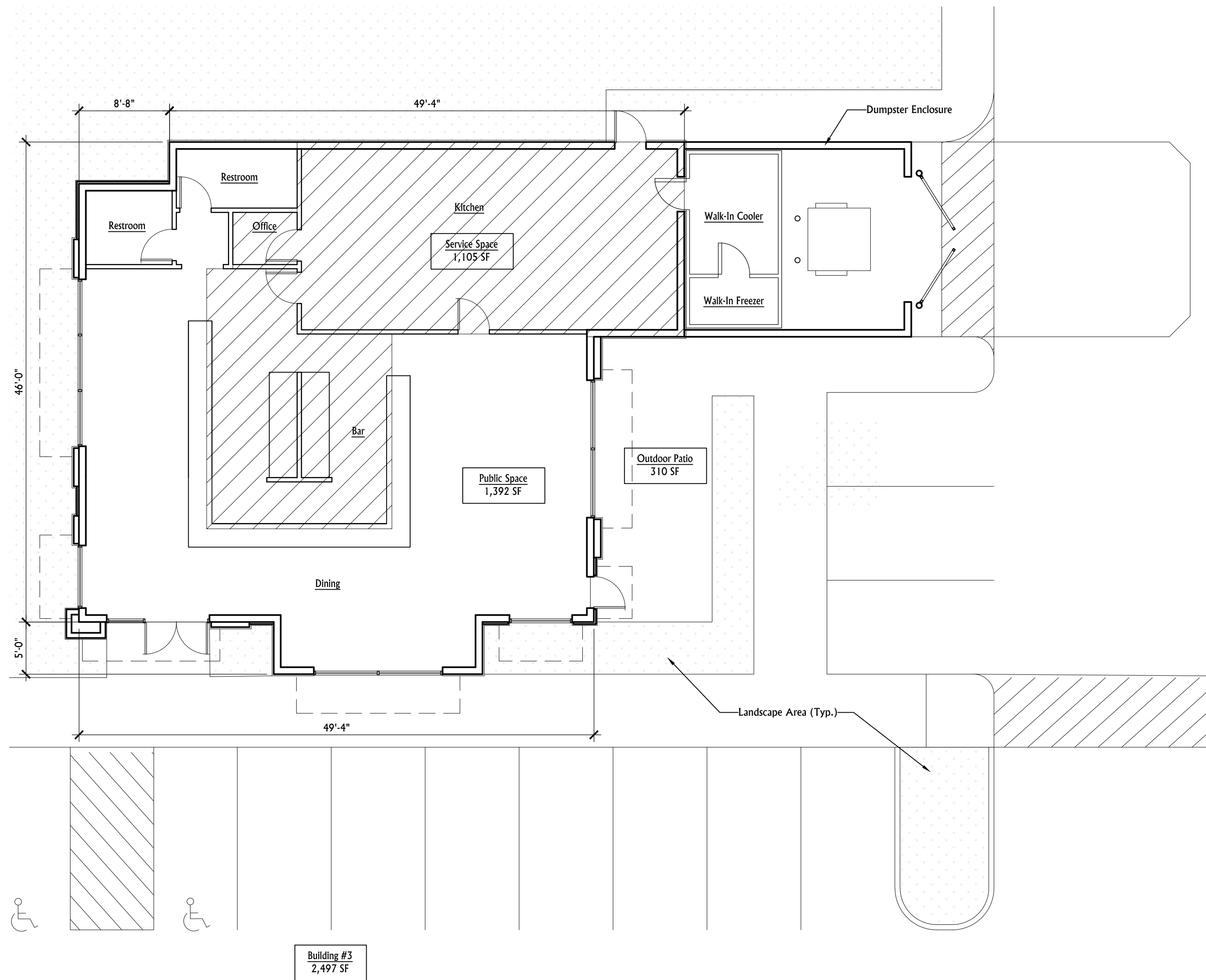
a2.2 SCALE: 1/8" = 1'-0"



a2.2 SCALE: 1/8" = 1'-0"

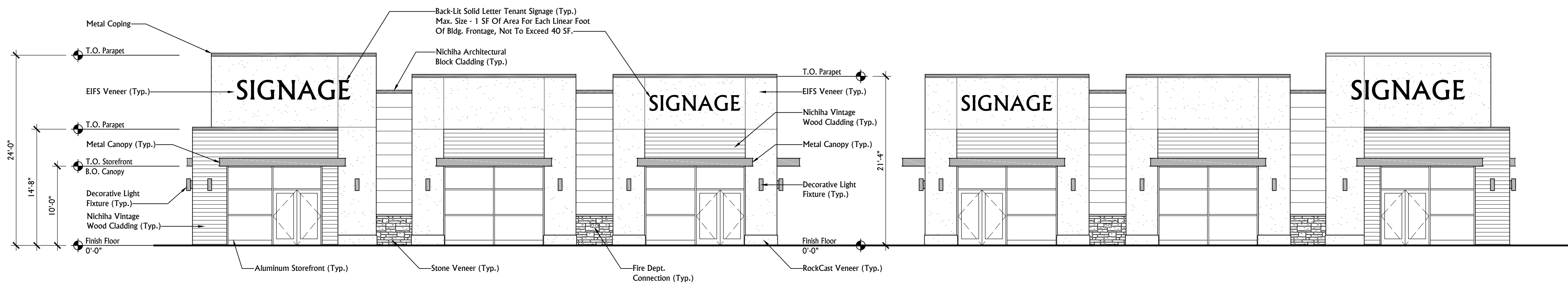


a2.2 SCALE: 1/8" = 1'-0"

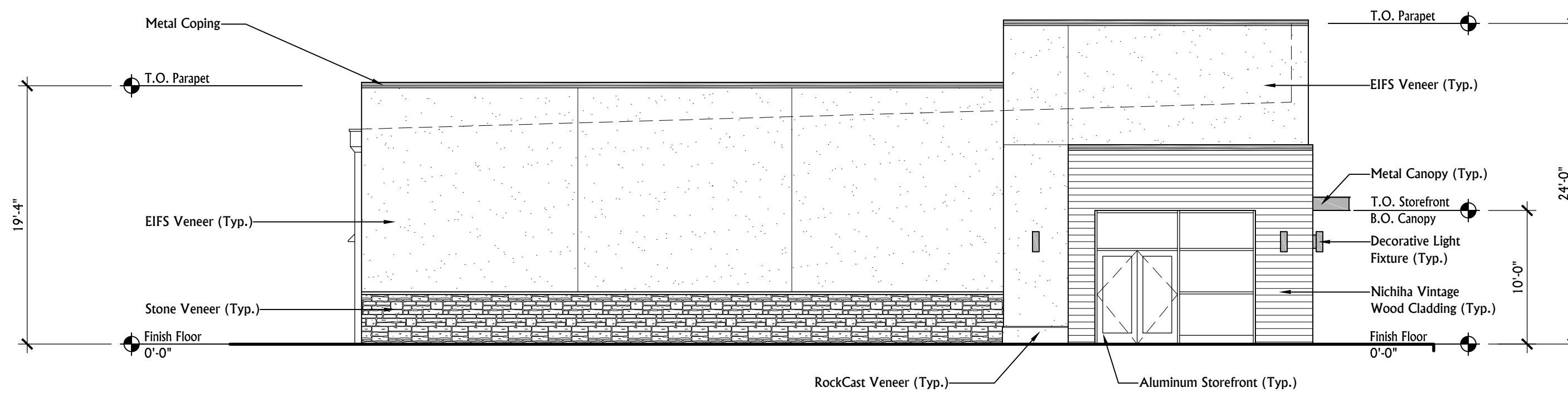


a2.2 SCALE: 1/8" = 1'-0

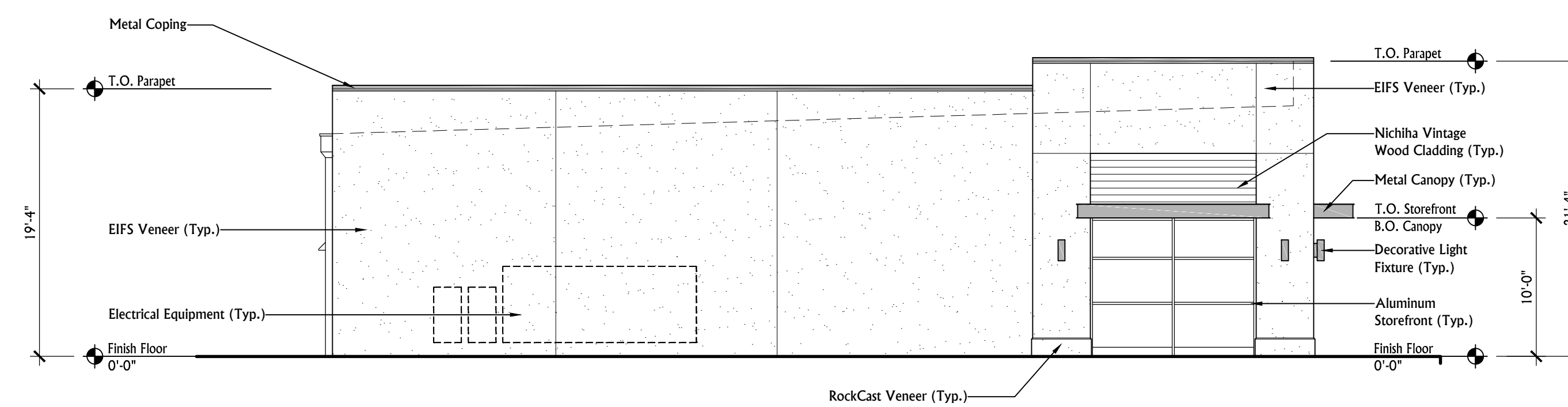
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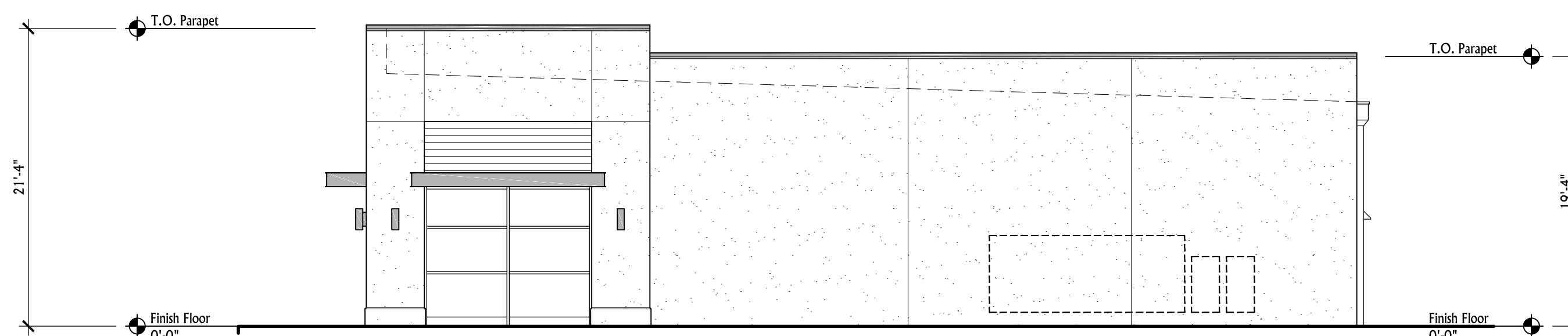
1
a3.1 FRONT ELEVATIONS - BUILDING #1 & #2
SCALE: 1/8" = 1'-0"



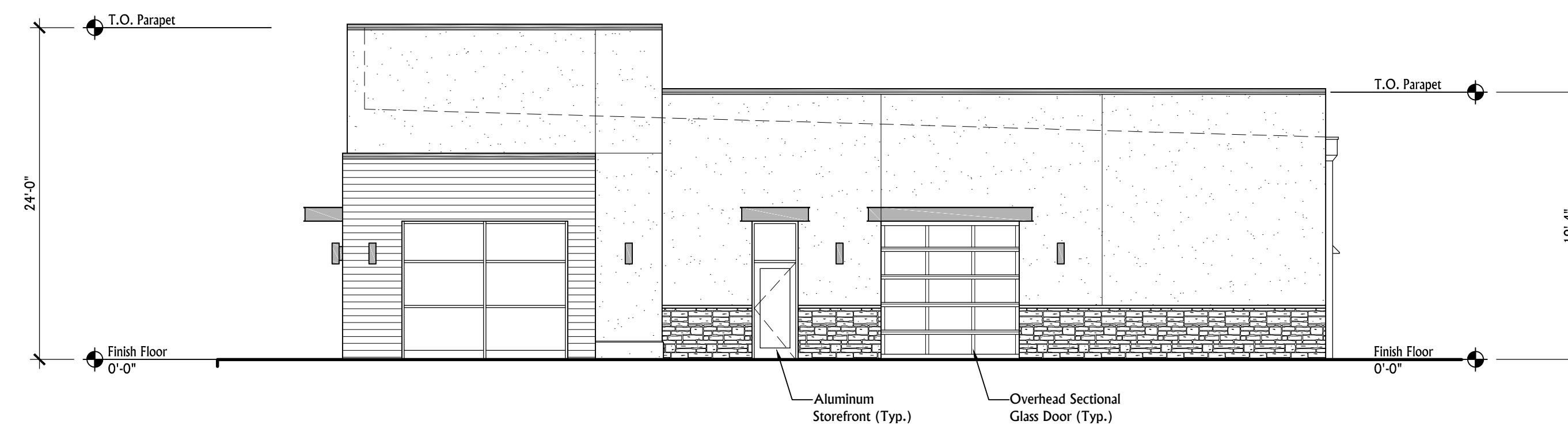
2
a3.1 LEFT SIDE ELEVATION - BUILDING #1
SCALE: 1/8" = 1'-0"



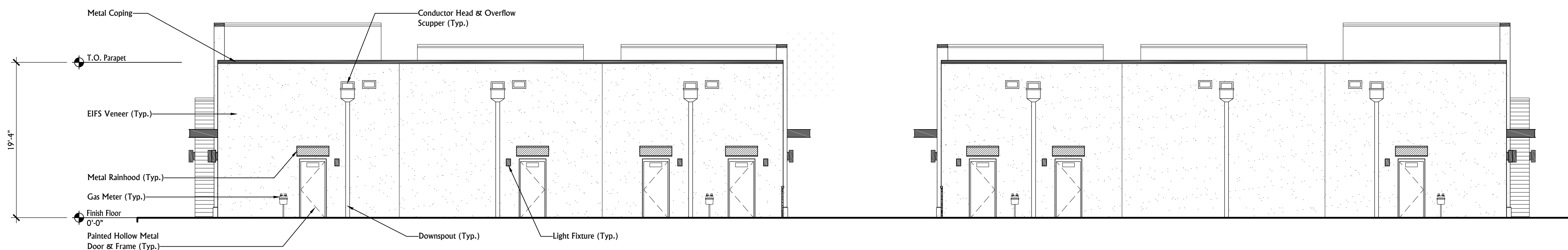
4
a3.1 LEFT SIDE ELEVATION - BUILDING #2
SCALE: 1/8" = 1'-0"



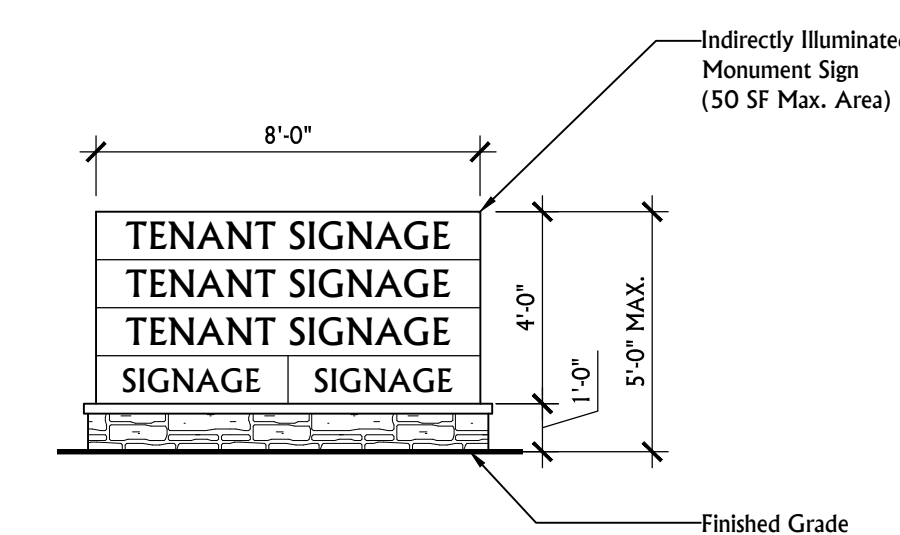
3
a3.1 RIGHT SIDE ELEVATION - BUILDING #1
SCALE: 1/8" = 1'-0"



5
a3.1 RIGHT SIDE ELEVATION - BUILDING #2
SCALE: 1/8" = 1'-0"



6
a3.1 REAR ELEVATIONS - BUILDING #1 & #2
SCALE: 1/8" = 1'-0"



7
a3.1 MONUMENT SIGN
SCALE: 1/4" = 1'-0"

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Revisions: