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Preliminary Design Concepts September 01, 2016

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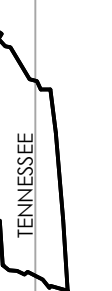
TAPESTRY TURKEY CREEK
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PROJECT
COVER SHEET

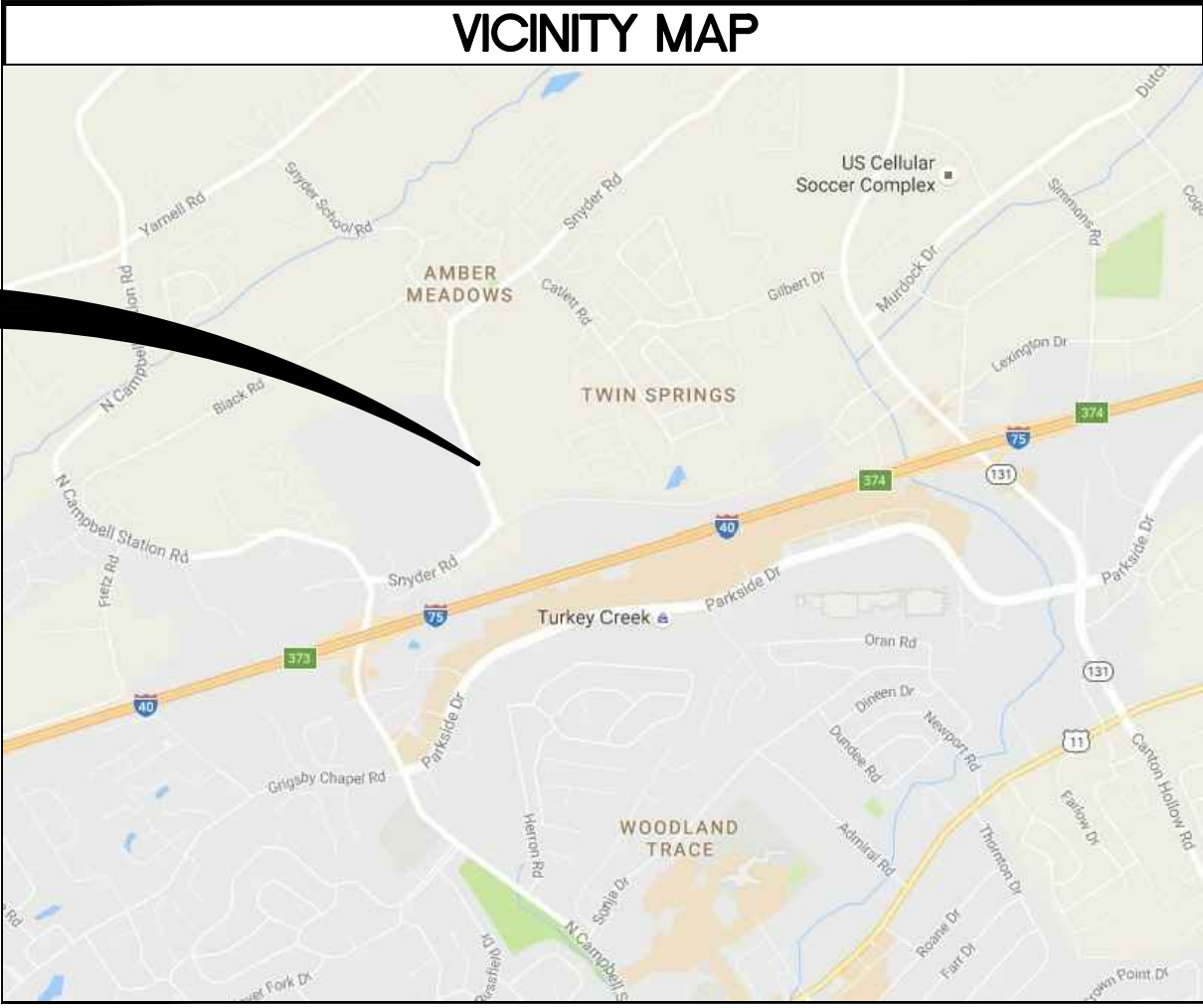
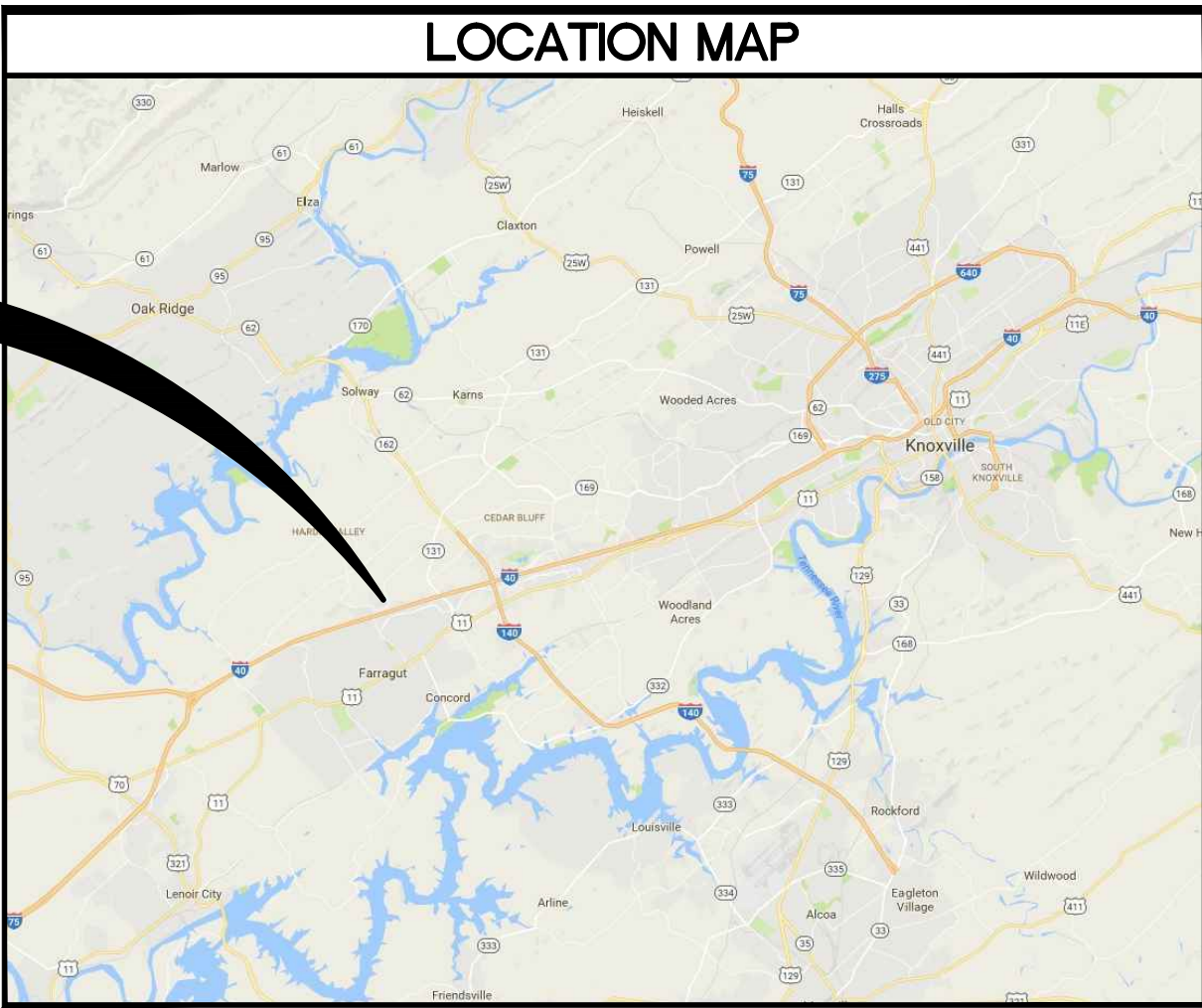
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BUILDING HEIGHT

BUILDING HEIGHT AS MEASURED FROM THE LOWEST GRADE POINT TO THE TOP OF ROOF = 44'-6"
BUILDING HEIGHT AS ALLOWED BY INTERNATIONAL BUILDING CODE = 60'-0"
ALLOWABLE HEIGHT PER TABLE 503 = 40'-0"
ALLOWABLE INCREASE PER 504 = 20'-0"
TOTAL = 60'-0"
** ALLOWABLE INCREASE IS BASED ON NFPA 13R SPRINKLER SYSTEM INSTALLED PER 903.1.2.



PROJECT NARRATIVE

MAINTENANCE NOTE

THESE WOOD FRAME BUILDINGS, AS WITH ALL STRUCTURES, ONCE COMPLETED WILL REQUIRE CONTINUOUS AND ONGOING MAINTENANCE AND REPAIR TO KEEP THEM IN GOOD CONDITION AND PREVENT DETERIORATION OVER TIME. THE DEVELOPER IN CONJUNCTION WITH THE CONTRACTOR NEEDS TO DEVELOP A MAINTENANCE PROGRAM BASED UPON THE MATERIALS AND SYSTEMS INCORPORATED INTO THE BUILDINGS. THE OWNER OR THE LEASING / MANAGEMENT COMPANY WILL NEED TO PROVIDE FOR A QUALIFIED MAINTENANCE STAFF TO PROVIDE CONTINUED MAINTENANCE, RE-PAINTING, RE-APPLICATION OF SEALANTS AND OTHER REPAIR WORK AS REQUIRED BY THE MAINTENANCE PROGRAM FOR THE PROJECT. IF THE PROJECT IS SOLD TO A THIRD PARTY, THE THIRD PARTY MUST CONTINUE TO PROVIDE THE MAINTENANCE PROGRAM ESTABLISHED BY THE OWNER. THE THIRD PARTY, LIKE ALL BUILDING OWNERS, IS REQUIRED TO MAINTAIN AND REPAIR THE BUILDING TO THE MINIMUM LEVEL ESTABLISHED IN THE MAINTENANCE PROGRAM.

MATERIALS LEGEND

PLAN	SECTION/ ELEVATION
METAL STUD WALL	DIMENSIONAL LUMBER
1-HOUR FIRE RATED WALL	CUT LUMBER
2-HOUR FIRE RATED WALL	PLYWOOD
FRAME WALL W/ INSULATION	EARTH FILL
BEARING FRAME WALLS	STRUCTURAL STEEL
BLOCK WALL - PLAN	BATT INSULATION
POURED WALL	RIGID FOAM / INSULATION
	CONCRETE MASONRY UNIT
	FLOOR TRUSS

KEY TO SYMBOLS

UNIT TYPE IDENTIFICATION

UNIT NUMBER
ALTERNATE UNIT TYPE

SPACE REFERENCE

SPACE NAME
SPACE NUMBER

DETAIL SECTION REFERENCE

DETAIL NUMBER
SHEET NUMBER

DETAIL PLAN/ ELEVATION REFERENCE

DETAIL NUMBER
DETAIL AREA
SHEET NUMBER

DETAIL

DETAIL NUMBER
DETAIL NAME
SCALE: 1/8"=1'-0"

SECTION REFERENCE

SECTION ORIENTATION
SECTION NUMBER
SHEET NUMBER WHERE SECTION OCCURS

BUILDING SECTION REFERENCE

SECTION ORIENTATION
SECTION NUMBER
SHEET NUMBER WHERE SECTION OCCURS

INTERIOR ELEVATION REFERENCE

ELEVATION ORIENTATION
ELEVATION NUMBER
SHEET NUMBER WHERE ELEVATION OCCURS

UNIT DOOR IDENTIFICATION

UNIT DOOR IDENTIFICATION

PUBLIC DOOR IDENTIFICATION

PUBLIC DOOR IDENTIFICATION

WINDOW IDENTIFICATION

WINDOW IDENTIFICATION

WALL TYPE IDENTIFICATION

WALL TYPE IDENTIFICATION

NORTH ARROW

STANDARD ABBREVIATIONS

A.B. ANCHOR BOLT	D DRYER	F.G. FIXED GLASS	L.T.G. LIGHTING	P.S.I. POUND PER SQUARE INCH	S.S. STAINLESS STEEL
A/C AIR CONDITIONER	DBL. DOUBLE	F.P. FIREPLACE	MATL. MATERIAL	P.T. PRESSURE TREATED	STD. STANDARD
ACoust. ACOUSTICAL	DET. DETAIL	FT. FEET	MAX. MAXIMUM	P.T. PARTITION	STO. STORAGE
ADJ. ADJACENT	DIAM. DIAMETER	FTG.. FOOTING	M.C. MEDICINE CABINET	P.H. PAPER HOLDER	STR. STRUCTURAL
A.H.U. AIR HANDLER UNIT	DIM. DIMENSION	GALV. GALVANIZED	MECH. MECHANICAL	QUAN. QUANTITY	SUB. SUBSTITUTE
ALUM. ALUMINUM	DISP. DISPOSAL	GL. GLASS	MIN. MINIMUM	R.A.G. RETURN AIR GRILL	SUP. SUPPORT
ALT. ALTERNATE	D.L. DEAD LOAD	GYP. GYPSUM	MISC. MISCELLANEOUS	R.D. ROOF DRAIN	T.C. TRASH COMPACTOR
APPROX. APPROXIMATE	DN.. DOWN	H.B. HOSE BIB	M.O. MASONRY OPENING	RAD. RADIUS	TEMP. TEMPERATURE
BRG. BEARING	DRYW. DRYWALL	H.C. HOLLOW CORE	M.T. METAL THRESHOLD	R.D. ROOF DRAIN	THK. THICK/THICKNESS
BD. BOARD	D.W. DISHWASHER	HDWR. HARDWARE	MTL. METAL	REF. REFRIGERATOR	TYP. TYPICAL
BLDG. BUILDING	DWG. DRAWING	H.M. HOLLOW METAL	O.A. OVERALL	REINF. REINFORCE	U.L. UNDERWRITERS LABORATORY
BLK. BLOCK	E.A. EACH	HORIZ. HORIZONTAL	O.C. ON CENTER	REQD. REQUIRED	VENT. VENTILATION
B.M. BEAM	E.I.F.S. EXTERIOR INSULATION FINISH SYSTEM	HT.. HEIGHT	O.D. OUTSIDE DIAMETER	REV. REVISION / REVERSE	VERT. VERTICAL
BTM. BOTTOM	E.J. EXPANSION JOINT	HTG. HEATING	OPP. OPPOSITE	RM.. ROOM	VOL. VOLUME
COL. COLUMN	ELEV.. ELEVATION	HTR.. HTR.	OPT. OPTIONAL	ROS. ROUGH SAWN	V.T.R. VENT THROUGH ROOF
CER. CERAMIC	E.P.S. EXPANDED POLYSTYRENE SYSTEM	IN. INCHES	P. PANTRY	S.C. SOLID CORE	W. WIDTH / WIDE / WASHER
CER. CERAMIC	EQ.. EQUAL	INSUL. INSULATION	P.C. PULL CHAIN	SCHED.. SCHEDULE	W.C. WATER CLOSET
C.J. CONSTRUCTION JOINT	EST. ESTIMATE	INT. INTERIOR	PED. PEDESTAL	SDNG. SIDING	WD.. WOOD
CLG. CEILING	EXT. EXISTING	JT.. JOINT	PERP. PERPENDICULAR	SEC. SECTION	W.D.W. WINDOW
C.M.U. CONCRETE BLOCK	FN..FL. FINISH FLOOR	LB.. LBS.	PL.. PLATE	SH. SHELF	W.H. WATER HEATER
CONC. CONCRETE	FIN. FINISH	LAM. LAMINATED	PLYWD. PLYWOOD	SHT. SHEET	W.I.C. WALK-IN-CLOSET
CONST. CONSTRUCTION		LAV. LAVATORY	PROP. PROPERTY	SIM. SIMILAR	W.P. WATERPROOF
CONT. CONTINUOUS			P.S.F. POUND PER SQUARE FOOT	S.G.D. SLIDING GLASS DOOR	
CTR. CENTER				SQ. SQUARE	

APPLIED CODES

City of Knoxville Zoning Ordinance (with amendments)

2009 ICC/ANSI A117.1

2012 International Energy Conservation Code as adopted by City Ordinance 0-219-2012

2012 Green Construction Code as adopted by City Ordinance 0-27-2014

2012 International Building Code as adopted by City Ordinance 0-221-2012

2012 International Existing Building Code as adopted by City Ordinance 0-226-2012

2012 International Residential Code as adopted by City Ordinance 0-218-2012

2012 International Performance Code as adopted by City Ordinance 0-220-2012

2011 edition of the National Electrical Code as adopted by City Ordinance 0-132-2014

2012 edition of the International Fuel Gas Code as adopted by City Ordinance 0-223-2012

2012 edition of the International Mechanical Code as adopted by City Ordinance 0-222-2012

2012 edition of the International Plumbing Code as adopted by City Ordinance 0-224-2012

2012 edition of the International Property Maintenance Code as adopted by City Ordinance 0-225-2012

Knoxville Code of Ordinances: Chapter 6 Buildings and Building Regulations, Article I, Section 6-5, Fire District

2012 International Fire Code with Local Amendments as adopted by City Ordinance 0-227-2012

FAIR HOUSING ACT DESIGN MANUAL- 1998 (DWELLING UNITS)

ADA ACCESSIBILITY GUIDELINES- 2010 (LEASING CENTER)

NOTES:

TO THE BEST OF CHARLAN, BROCK & ASSOCIATES KNOWLEDGE THESE PLANS AND SPECIFICATIONS COMPLY WITH ALL APPLICABLE MINIMUM BUILDING CODES, FIRE SAFETY CODES, AND HANDICAP ACCESSIBILITY CODES AS DETERMINED BY THE LOCAL GOVERNING AUTHORITY.

CODE INFORMATION

APARTMENTS

11 BUILDING USE / OCCUPANCY / TYPE

GROUP R-2
CONSTRUCTION TYPE: TYPE V-A
SPRINKLED: NFPA - 13R

12 BUILDING HEIGHT (IBC TABLE 503)

ALLOWED: 3 STORIES / 50'
4 STORIES / 60' (INCREASE PER IBC 504.2)
PROPOSED: 4 STORIES, 48'-5"

13 BUILDING AREA (IBC TABLE 503)

ALLOWED: 12,000 SQ. FT.
21,000 SQ. FT. (INCREASE PER IBC 506)
PROPOSED: 16,771 SQ. FT. max.

14 FIRE RESISTANCE RATINGS (IBC TABLE 601)

STRUCTURAL FRAME: 1 HOUR
INTERIOR BEARING WALL: 1 HOUR
EXTERIOR BEARING WALL: 1 HOUR
INT. NON-BEARING WALL: 0 HOUR (IBC TABLE 602)
EXT. NON-BEARING WALL: 0 HOUR
FLOOR CONSTRUCTION: 1 HOUR
ROOF CONSTRUCTION: 1 HOUR

15 FIRE SEPARATION

TENANT SEPARATION: 1 HOUR (IBC 708.3)
CORRIDOR: 1 HOUR (IBC 1018.1)

16 EXIT ACCESS

IBC 1021.2: TWO EXITS, OR EXIT ACCESS STAIRWAYS OR RAMPS PROVIDING ACCESS TO EXITS, FROM ANY STORY OR OCCUPIED ROOF SHALL BE PROVIDED WHERE ONE OF THE FOLLOWING CONDITIONS EXISTS:

1. THE OCCUPANT LOAD OR NUMBER OF DWELLING UNITS EXCEEDS ONE OF THE VALUES IN TABLE 1021.2(1) OR 1021.2(2)

TABLE 1021.2(1) STORIES WITH ONE EXIT OR ACCESS TO ONE EXIT FOR R-2 OCCUPANCIES:

BASEMENT, 1ST, 2ND, 3RD STORY MAXIMUM NUMBER OF DWELLING UNITS PER EXIT IS 4 DWELLING UNITS.

17 MINIMUM INTERIOR FINISH CLASSIFICATION

NFPA 101 TABLE A.10.2.2

GROUP	VERTICAL EXITS	EXIT ACCESS CORRIDORS	ROOMS AND ENCLOSED SPACES
R-2	A	B	C

CLUBHOUSE

11 BUILDING USE / OCCUPANCY / TYPE

MIXED OCCUPANCY W/ USE GROUPS: A-3 & B (NON-SEPARATED)
CONSTRUCTION TYPE: TYPE V-B
NON-SPRINKLED

12 BUILDING HEIGHT (IBC TABLE 503)

ALLOWED: 2 STORIES / 60'
PROPOSED: 1 STORIES

13 BUILDING AREA (IBC TABLE 503)

ALLOWED: 6,000 SQ. FT.
10,500 SQ. FT. (INCREASE PER IBC 506.3)
PROPOSED: 6,543 SQ. FT.

14 FIRE RESISTANCE RATINGS (IBC TABLE 601)

STRUCTURAL FRAME: 0 HOUR
INTERIOR BEARING WALL: 0 HOUR
EXTERIOR BEARING WALL: 0 HOUR
INT. NON-BEARING WALL: 0 HOUR
EXT. NON-BEARING WALL: 0 HOUR
FLOOR CONSTRUCTION: 0 HOUR
ROOF CONSTRUCTION: 0 HOUR

15 FIRE SEPARATION

CORRIDOR: 0 HOUR

16 EXIT ACCESS

1015.2.1 WHERE TWO EXITS OR EXIT ACCESS DOORWAYS ARE REQUIRED FROM ANY PORTION OF THE AREA SERVED, AT LEAST TWO EXIT ACCESS DOORWAYS SHALL BE PLACED AT A DISTANCE APART OF NO LESS THAN ONE HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED, MEASURED IN A STRAIGHT LINE BETWEEN EXIT ACCESS DOORWAYS.

17 MINIMUM INTERIOR FINISH CLASSIFICATION

IBC TABLE 803.9 & NFPA 101 TABLE A.10.2.2

GROUP	UN-SPRINKLERED	SPRINKLERED
A-3	VERTICAL EXITS: A	EXIT ACCESS CORRIDORS: A
B	VERTICAL EXITS: A	EXIT ACCESS CORRIDORS: B

GARAGES

11 BUILDING USE / OCCUPANCY / TYPE

GROUP U
CONSTRUCTION TYPE: TYPE V-B
NON-SPRINKLED

12 BUILDING HEIGHT (IBC TABLE 503)

ALLOWED: 2 STORIES / 60'
PROPOSED: 1 STORIES

13 BUILDING AREA (IBC TABLE 503)

ALLOWED: 9,000 SQ. FT.
PROPOSED: 1,030 SQ. FT.

14 FIRE RESISTANCE RATINGS (IBC TABLE 601)

STRUCTURAL FRAME: 1 HOUR
INTERIOR BEARING WALL: 1 HOUR
EXTERIOR BEARING WALL: 1 HOUR
INT. NON-BEARING WALL: 0 HOUR
EXT. NON-BEARING WALL: 0 HOUR
FLOOR CONSTRUCTION: 1 HOUR
ROOF CONSTRUCTION: N/A

MAINTENANCE

11 BUILDING USE / OCCUPANCY / TYPE

GROUP U
CONSTRUCTION TYPE: TYPE V-B
NON-SPRINKLED

12 BUILDING HEIGHT (IBC TABLE 503)

ALLOWED: 2 STORIES / 40'
PROPOSED: 1 STORIES

13 BUILDING AREA (IBC TABLE 503)

ALLOWED: 5,500 SQ. FT.
PROPOSED: 1,054 SQ. FT. max.

14 FIRE RESISTANCE RATINGS (IBC TABLE 601)

STRUCTURAL FRAME: 0 HOUR
INTERIOR BEARING WALL: 0 HOUR
EXTERIOR BEARING WALL: 0 HOUR
INT. NON-BEARING WALL: 0 HOUR
EXT. NON-BEARING WALL: 0 HOUR
FLOOR CONSTRUCTION: 0 HOUR
ROOF CONSTRUCTION: 0 HOUR

10-I-16-UR

REVISED
10:37 am, Oct 26, 2016

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ABBREVIATIONS,
SYMBOLS, MAPS
& CODES

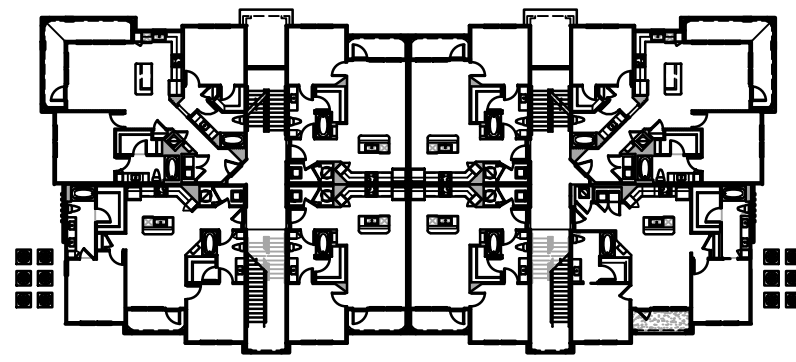
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Tapestry Turkey Creek

BLD. TYPE ONE



BUILDING MIX							
BUILDING TYPE 1	LOWEST LEVEL	1ST LEVEL	2ND LEVEL	3RD LEVEL	PER BLD.	# OF BLD.	TOTAL
UNIT A1	2	4	4	4	14	2	28
UNIT B1	0	1	2	2	5	2	10
UNIT B3	2	2	2	2	8	2	16
UNIT B1A	0	1	-	-	1	2	2
TOTALS UNITS	4	8	8	8	28	2	56

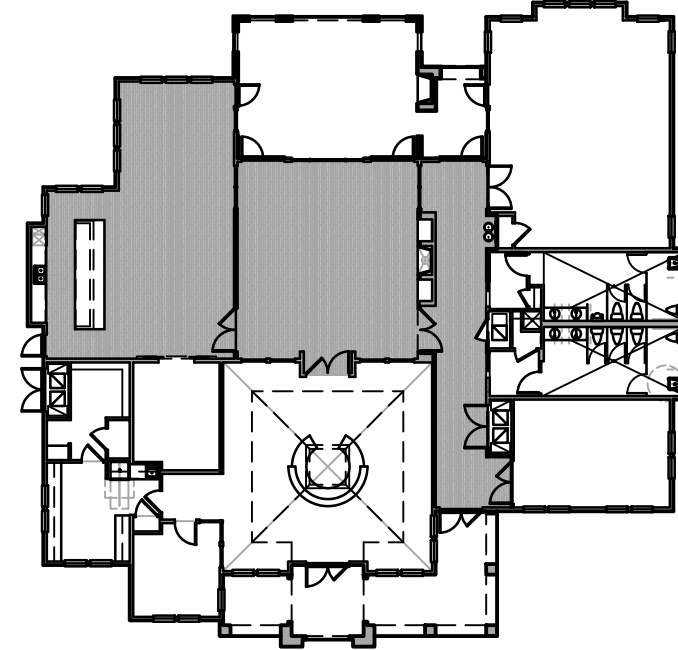
BUILDING DATA - TYPE 1

OCCUPANCY TYPE:	R-2
CONSTRUCTION TYPE:	TYPE V-A (NFPA 13R SYSTEM)
AREA LIMITATION PER FLR:	12,000 SQ. FT.
HEIGHT/FLOORS LIMITATION:	60'-0" / 3 ST.
PROPOSED AREA:	9,596 SQ. FT.
PROPOSED HEIGHT:	44'-6"
PROPOSED NO. FLOORS:	3 STORIES

BUILDING AREA - TYPE 1

A/C AREA PER FLOOR:	
BASEMENT FLR:	3,928 SQ. FT.
1ST FLR:	7,640 SQ. FT.
2ND FLR:	7,640 SQ. FT.
3RD FLR:	7,640 SQ. FT.
TOTAL:	26,848 SQ. FT.
TOTAL AREA PER FLOOR:	
BASEMENT FLR:	5,102 SQ. FT.
1ST FLR:	9,596 SQ. FT.
2ND FLR:	9,316 SQ. FT.
3RD FLR:	9,316 SQ. FT.
TOTAL:	33,330 SQ. FT.
TOTAL AREA PER BUILDING:	
BALCONY:	2,612 SQ. FT.

LEASING / CLUB

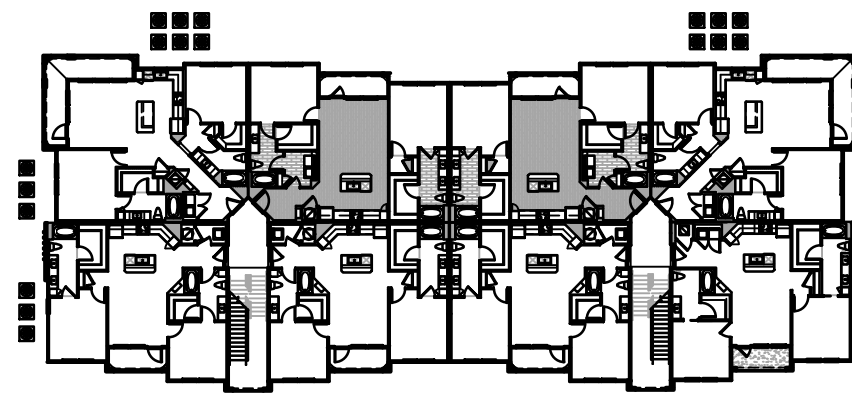


OCCUPANCY TYPE:	A-3
CONSTRUCTION TYPE:	TYPE V-B
AREA LIMITATION PER FLR:	6,000 SQ. FT.
-FRONTAGE INCRS. FBC 506:	9,300 SQ. FT.
1(F)=[F/P-.25]W/30	15,300 SQ. FT. TOTAL
.55=[376/376-.25]22/30	
A(C)=[A(I)+A(I)]x(I(I))+A(I)x(I(I))	
9300 SQ. FT.=6000+(6000x.55)+(6000x0)	
PROPOSED AREA:	#####
PROPOSED HEIGHT:	22'-6"
PROPOSED NO. FLOORS:	1 STORIES

BUILDING AREA - CLUB

A/C AREA PER FLOOR:	
1ST FLR:	5,609 SQ. FT.
TOTAL AREA PER FLOOR:	
1ST FLR:	6,453 SQ. FT.

BLD. TYPE TWO



BUILDING MIX						
BUILDING TYPE 2	1ST LEVEL	2nd LEVEL	3rd LEVEL	PER BLD.	# OF BLD.	TOTAL
UNIT B1	2	4	4	10	1	10
UNIT B3	2	2	2	6	1	6
UNIT B4	2	2	2	6	1	6
UNIT B1A	2	-	-	2	1	2
TOTALS UNITS	8	8	8	24	1	24

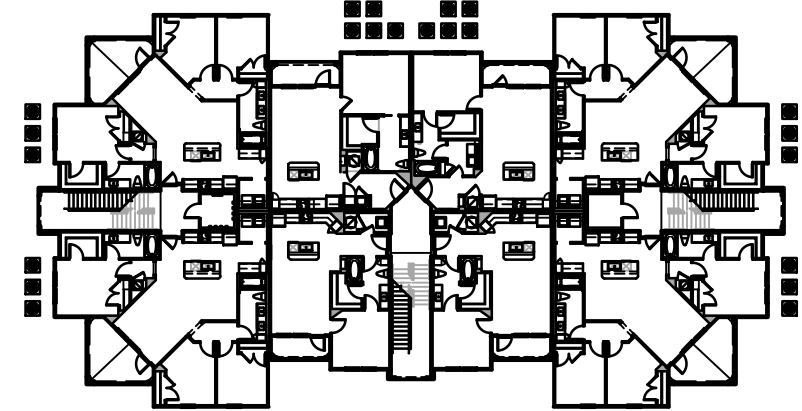
BUILDING DATA - TYPE 2

OCCUPANCY TYPE:	R-2
CONSTRUCTION TYPE:	TYPE V-A (NFPA 13R SYSTEM)
AREA LIMITATION PER FLR:	12,000 SQ. FT.
HEIGHT/FLOORS LIMITATION:	60'-0" / 3 ST.
PROPOSED AREA:	10,696 SQ. FT.
PROPOSED HEIGHT:	44'-6"
PROPOSED NO. FLOORS:	3 STORIES

BUILDING AREA - TYPE 2

A/C AREA PER FLOOR:	
1ST FLR:	9,306 SQ. FT.
2ND FLR:	9,306 SQ. FT.
3RD FLR:	9,306 SQ. FT.
TOTAL:	27,918 SQ. FT.
TOTAL AREA PER FLOOR:	
1ST FLR:	10,696 SQ. FT.
2ND FLR:	10,510 SQ. FT.
3RD FLR:	10,510 SQ. FT.
TOTAL:	31,716 SQ. FT.
TOTAL AREA PER BUILDING:	
BALCONY:	2,190 SQ. FT.

BLD. TYPE THREE



BUILDING MIX						
BUILDING TYPE 3	1 ST LEVEL	2 ND LEVEL	3 RD LEVEL	PER BLD.	# OF BLD.	TOTAL
UNIT A1	2	2	2	6	2	12
UNIT A3	1	2	2	5	2	10
UNIT C1	3	4	4	11	2	22
UNIT A3A	1	-	-	1	2	2
UNIT C1A	1	-	-	1	2	2
TOTALS UNITS	8	8	8	24	2	48

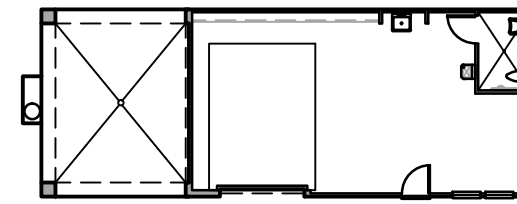
BUILDING DATA - TYPE 3

OCCUPANCY TYPE:	R-2
CONSTRUCTION TYPE:	TYPE V-A (NFPA 13R SYSTEM)
AREA LIMITATION PER FLR:	12,000 SQ. FT.
HEIGHT/FLOORS LIMITATION:	60'-0" / 3 ST.
PROPOSED AREA:	10,416 SQ. FT.
PROPOSED HEIGHT:	44'-6"
PROPOSED NO. FLOORS:	3 STORIES

BUILDING AREA - TYPE 3

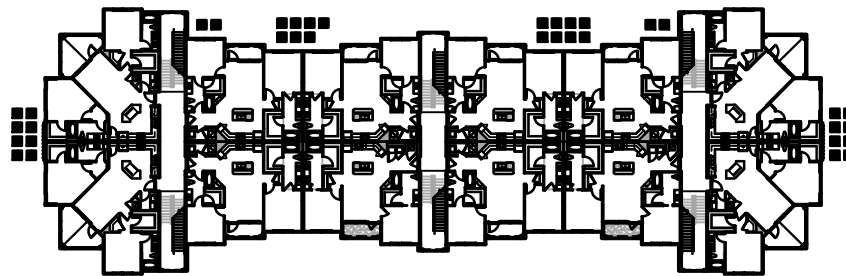
A/C AREA PER FLOOR:	
1ST FLR:	8,516 SQ. FT.
2ND FLR:	8,516 SQ. FT.
3RD FLR:	8,516 SQ. FT.
TOTAL:	25,548 SQ. FT.
TOTAL AREA PER FLOOR:	
1ST FLR:	10,416 SQ. FT.
2ND FLR:	10,914 SQ. FT.
3RD FLR:	10,914 SQ. FT.
TOTAL:	33,014 SQ. FT.
TOTAL AREA PER BUILDING:	
BALCONY:	2,540 SQ. FT.

MAINTENANCE



OCCUPANCY TYPE:	U
CONSTRUCTION TYPE:	TYPE V-B
AREA LIMITATION PER FLR:	5,500 SQ. FT.
HEIGHT/FLOORS LIMITATION:	40'-0" / 1 ST.
PROPOSED AREA:	1054 SQ. FT.
PROPOSED HEIGHT:	16'-6"
PROPOSED NO. FLOORS:	1 STORY

BLD. TYPE FOUR



BUILDING MIX						
BUILDING TYPE 4	1st LEVEL	2nd LEVEL	3rd LEVEL	PER BLD.	# OF BLDS.	TOTAL
UNIT B1	6	8	8	22	1	22
UNIT B2	4	4	4	12	1	12
UNIT B1A	2	-	-	2	1	2
TOTALS UNITS	12	12	12	36	1	36

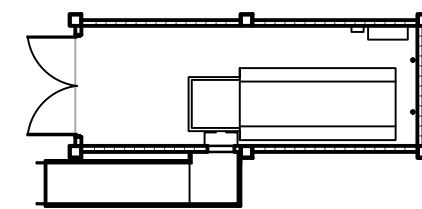
BUILDING DATA - TYPE 4

OCCUPANCY TYPE:	R-2
CONSTRUCTION TYPE:	TYPE V-A (NFPA 13R SYSTEM)
AREA LIMITATION PER FLR:	12,000 SQ. FT.
FRONTAGE INCRS. FBC 506:	21,000 SQ. FT.
HEIGHT/FLOORS LIMITATION:	60'-0" / 3 ST.
PROPOSED AREA:	16,771 SQ. FT.
PROPOSED HEIGHT:	44'-6"
PROPOSED NO. FLOORS:	3 STORIES

BUILDING AREA - TYPE 4

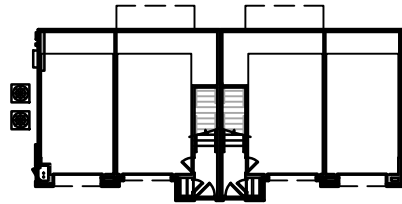
A/C AREA PER FLOOR:	
1ST FLR:	13,620 SQ. FT.
2ND FLR:	13,620 SQ. FT.
3RD FLR:	13,620 SQ. FT.
TOTAL:	40,860 SQ. FT.
TOTAL AREA PER FLOOR:	
1ST FLR:	16,771 SQ. FT.
2ND FLR:	16,187 SQ. FT.
3RD FLR:	16,187 SQ. FT.
TOTAL:	49,145 SQ. FT.
TOTAL AREA PER BUILDING:	
BALCONY:	3,020 SQ. FT.

TRASH COMPACTOR



OCCUPANCY TYPE:	U
CONSTRUCTION TYPE:	TYPE V-B
AREA LIMITATION PER FLR:	5,500 SQ. FT.
HEIGHT/FLOORS LIMITATION:	40'-0" / 1 ST.
PROPOSED AREA:	608 SQ. FT.
PROPOSED HEIGHT:	10'-1"
PROPOSED NO. FLOORS:	1 STORY

BLD. TYPE FIVE



BUILDING MIX						
BUILDING TYPE 5	1st LEVEL	2nd LEVEL		PER BLD.	# OF BLDS.	TOTAL
UNIT A2	-	2		2	1	2
TOTALS UNITS	-	2		2	1	2

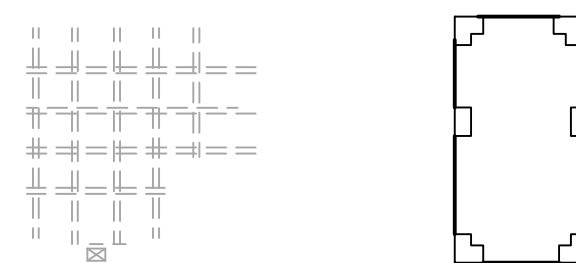
BUILDING DATA - TYPE 5

OCCUPANCY TYPE:	R-2
CONSTRUCTION TYPE:	TYPE V-A (NFPA 13R SYSTEM)
AREA LIMITATION PER FLR:	12,000 SQ. FT.
PROPOSED AREA:	1,540 SQ. FT.
PROPOSED HEIGHT:	24'-6"
PROPOSED NO. FLOORS:	2 STORIES

BUILDING AREA - TYPE 5

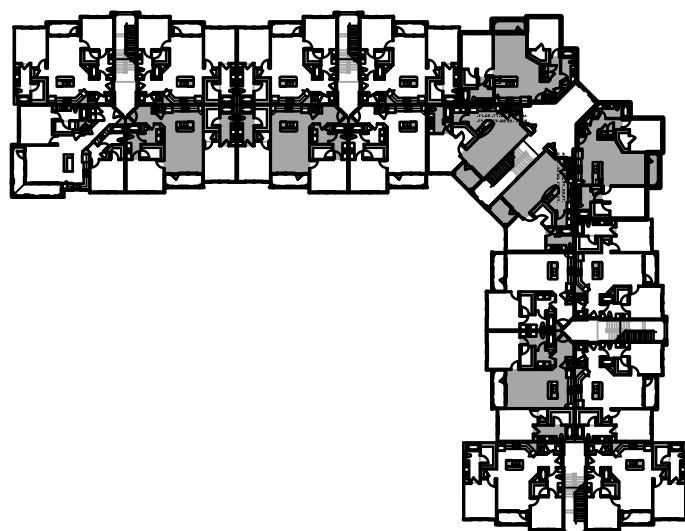
A/C AREA PER FLOOR:	
1ST FL:	212 SQ. FT.
2ND FL:	1,418 SQ. FT.
TOTAL:	1,630 SQ. FT.
TOTAL AREA PER FLOOR:	
1ST FL:	1,540 SQ. FT.
2ND FL:	1,548 SQ. FT.
TOTAL:	3,088 SQ. FT.
TOTAL AREA PER BUILDING:	
BALCONY:	130 SQ. FT.

PAVILLION



OCCUPANCY TYPE:	A-3
CONSTRUCTION TYPE:	TYPE V-B
AREA LIMITATION PER FLR:	6,000 SQ. FT.
PROPOSED AREA:	588 SQ. FT.
PROPOSED HEIGHT:	11'-6"
PROPOSED NO. FLOORS:	1 STORIES

BLD. TYPE SIX



BUILDING MIX						
BUILDING TYPE 6	1 ST LEVEL	2 ND LEVEL	3 RD LEVEL	PER BLD.	# OF BLD.	TOTAL
UNIT A3	1	2	2	5	1	5
UNIT A4	2	2	2	6	1	6
UNIT B1	8	8	8	24	1	24
UNIT B3	1	1	1	3	1	3
UNIT B4	3	3	3	9	1	9
UNIT B5	2	1	1	4	1	4
UNIT C2	0	1	1	2	1	2
UNIT A3A	1	-	-	1	1	1
TOTALS UNITS	18	18	18	54	1	54

BUILDING DATA - TYPE 6

OCCUPANCY TYPE:	R-2
CONSTRUCTION TYPE:	TYPE V-A (NFPA 13R SYSTEM)
AREA LIMITATION PER FLR:	12,000 SQ. FT.
PROPOSED AREA:	1,540 SQ. FT.
PROPOSED HEIGHT:	24'-6"
PROPOSED NO. FLOORS:	2 STORIES

BUILDING AREA - TYPE 6

A/C AREA PER FLOOR:	
1ST FLR:	19,525 SQ. FT.
2ND FLR:	19,713 SQ. FT.
3RD FLR:	19,713 SQ. FT.
TOTAL:	58,951 SQ. FT.
TOTAL AREA PER FLOOR:	
1ST FLR:	25,364 SQ. FT.
2ND FLR:	24,798 SQ. FT.
3RD FLR:	24,798 SQ. FT.
TOTAL:	74,960 SQ. FT.
TOTAL AREA PER BUILDING:	
BALCONY:	3,843 SQ. FT.

SQUARE FOOTAGE TOTALS

BUILDING TYPE 1 - AREA CALC'S

A/C AREA TOTAL:	26,848 SQ. FT.	x 2 =	26,848 SQ. FT.
TOTAL AREA:	33,330 SQ. FT.	x 2 =	33,330 SQ. FT.

BUILDING TYPE 2 - AREA CALC'S

A/C AREA TOTAL:	27,918 SQ. FT.	x 1 =	27,918 SQ. FT.
TOTAL AREA:	31,716 SQ. FT.	x 1 =	31,716 SQ. FT.

BUILDING TYPE 3 - AREA CALC'S

A/C AREA TOTAL:	25,548 SQ. FT.	x 2 =	51,096 SQ. FT.
TOTAL AREA:	33,014 SQ. FT.	x 2 =	66,028 SQ. FT.

BUILDING TYPE 4 - AREA CALC'S

A/C AREA TOTAL:	40,860 SQ. FT.	x 1 =	40,860 SQ. FT.
TOTAL AREA:	49,145 SQ. FT.	x 1 =	49,145 SQ. FT.

BUILDING TYPE 5 - AREA CALC'S

A/C AREA TOTAL:	1,630 SQ. FT.	x 1 =	1,630 SQ. FT.
TOTAL AREA:	3,088 SQ. FT.	x 1 =	3,088 SQ. FT.

BUILDING TYPE 6 - AREA CALC'S

A/C AREA TOTAL:	58,951 SQ. FT.	x 1 =	58,951 SQ. FT.
TOTAL AREA:	74,960 SQ. FT.	x 1 =	74,960 SQ. FT.

CLUBHOUSE - AREA CALC'S

A/C AREA TOTAL:	5,609 SQ. FT.	x 1 =	5,609 SQ. FT.
TOTAL AREA:	6,453 SQ. FT.	x 1 =	6,453 SQ. FT.

MAINTENANCE - AREA CALC'S

A/C AREA TOTAL:	0 SQ. FT.	x 1 =	0 SQ. FT.
TOTAL AREA:	1054 SQ. FT.	x 1 =	1,054 SQ. FT.

TRASH COMPACTOR - AREA CALC'S

A/C AREA TOTAL:	0 SQ. FT.	x 1 =	0 SQ. FT.
TOTAL AREA:	608 SQ. FT.	x 1 =	608 SQ. FT.

PAVILLION - AREA CALC'S

A/C AREA TOTAL:	0 SQ. FT.	x 1 =	0 SQ. FT.
TOTAL AREA:	588 SQ. FT.	x 1 =	588 SQ. FT.

PROJECT TOTALS

A/C AREA TOTAL:	239,364 SQ. FT.
TOTAL AREA:	291,798 SQ. FT.

PROJECT EFFICIENCY	82%
AVERAGE UNIT SIZE:	1,088 SQ. FT.

BUILDING TOTALS

BUILDING TYPE	TOTAL BLDGS.
BUILDING TYPE ONE	2
BUILDING TYPE TWO	1
BUILDING TYPE THREE	2
BUILDING TYPE FOUR	1
BUILDING TYPE FIVE	1
BUILDING TYPE SIX	1
CLUBHOUSE	1
MAINTENANCE	1
TRASH COMPACTOR ENCLOSURE	1
PAVILLION	1
TOTAL NUMBER OF BUILDINGS	12

KNOX COUNTY, TENNESSEE



TAPESTRY TURKEY CREEK
KNOX COUNTY, TN.

ARLINGTON PROPERTIES

217 2ND AVENUE NORTH

BIRMINGHAM, ALABAMA 35203

PH. 205-328-9600



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PROJECT
DATA SHEET

date: 09-01-2016
job no: 3887.16
drawn by: DC / DPA
reviewed by: CBA
file: 3887A0.04
issue history:

10-I-16-UR

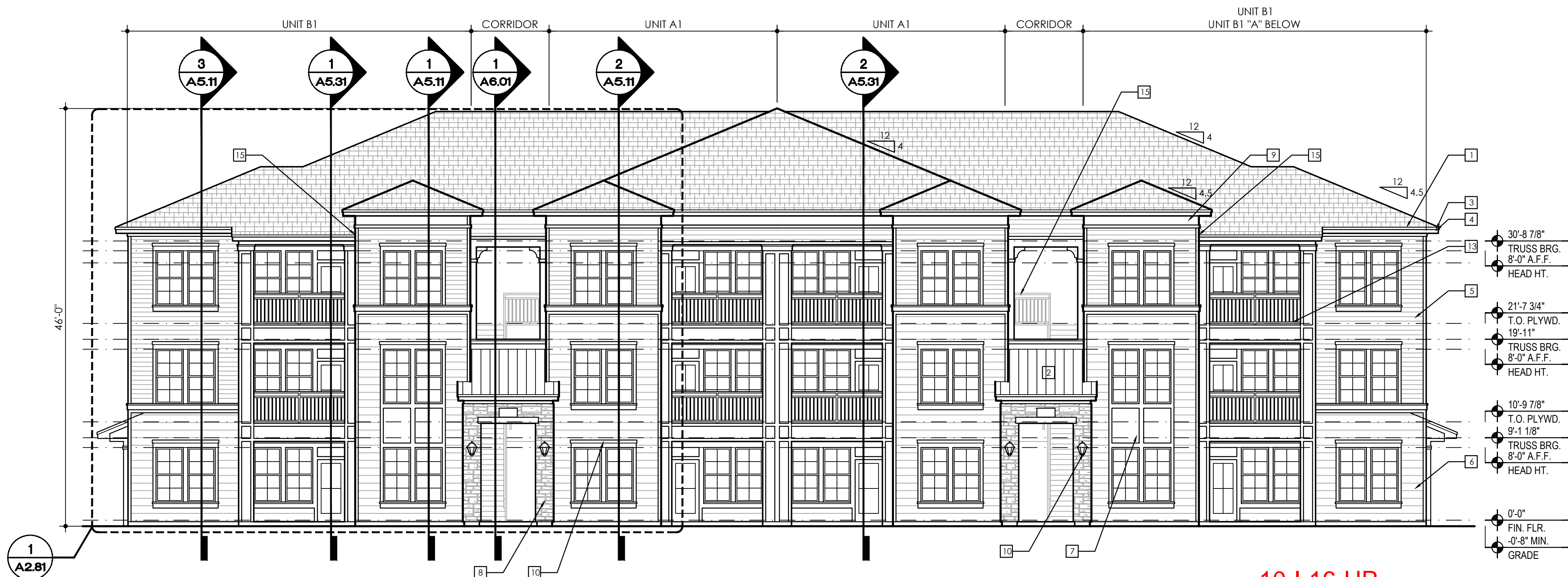
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10:38 am, Oct 26, 2016

A0.04



2 BUILDING TYPE ONE - LEFT ELEVATION

SCALE: 1/8"=1'-0"



1 BUILDING TYPE ONE - FRONT ELEVATION

SCALE: 1/8"=1'-0"

ELEVATION KEY NOTES

- 1 ARCHITECTURAL STYLE SHINGLES, OVER #30 FELT, OVER ROOF SHEATHING, OVER PRE-ENGINEERED ROOF TRUSSES. PROVIDE 36" WIDE 30 MIL SELF-ADHERING MEMBRANE, CENTERED IN VALLEYS, OVER ROOF SHEATHING.
- 2 STANDING SEAM METAL ROOF OVER 40 MIL HIGH TEMPERATURE MEMBRANE, INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 3 ALUMINUM DRIP EDGE ON ALUMINUM WRAPPED TREATED 1X3 ON TREATED 2X10 FASCIA BOARD WITH ALUMINUM GUTTER PER ROOF PLAN
- 4 ANODIZED ALUMINUM GUTTER & DOWNSPOUT SYSTEM
- 5 4" REVEAL FIBER CEMENT LAP SIDING OVER BLD. WRAP OVER EXTERIOR WALL PER MANUFACTURER'S RECOMMENDATIONS.
- 6 8" REVEAL FIBER CEMENT LAP SIDING OVER BLD. WRAP OVER EXTERIOR WALL PER MANUFACTURER'S RECOMMENDATIONS
- 7 FIBER CEMENT PANEL VERTICAL SIDING OVER RAINSCREEN OVER BLD. WRAP, OVER EXTERIOR WALL PER MANUFACTURER'S RECOMMENDATIONS
- 8 STONE VENEER OVER 2 COATS OF STUCCO ON PAPER BACK METAL LATH OVER BUILDING WRAP. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 9 DECORATIVE BRACKET
- 10 LIGHT FIXTURE
- 11 BUILDING SIGNAGE
- 12 ALUMINUM RAILING
- 13 ALUMINUM RAILING AT 42" A.F.F.
- 14 METER LOCATION
- 15 WALL TO ROOF "KICK OUT" FLASHING REQUIRED. SEE NOTE 14 OF TYPICAL ELEVATION NOTES.
- 16 VERTICAL HARDIE BOARD TO BE SPACED 12" ON CENTER.

TYPICAL ELEVATION NOTES

1. TYPICAL EXTERIOR CLADDING - COMBINATION OF CEMENTITIOUS LAPPED SIDING, CEMENTITIOUS PANEL SIDING AND CULTURED STONE VENEER. ENTIRE BUILDING TO BE WRAPPED WITH BUILDING WRAP. INSIDE AND OUTSIDE CORNERS TO BE PRE-WRAPPED WITH SELF-ADHERED MEMBRANE FOR 6" EACH SIDE OF CORNER. STONE VENEER TO BE INSTALLED OVER STUCCO BASE WITH METAL LATH ON DRAIN MAT ON AND #15 FELT OVER BUILDING WRAP.
2. ALL EXTERIOR WOOD TRIM TO BE 5/4" HARDI TRIM.
3. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT. REFER TO SHEETS A7.41 & A7.42 FOR PENETRATION DETAILS.
4. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL. PLINTH BLOCKING REQUIRED AT ALL PENETRATIONS AND SURFACE MOUNTED FIXTURES INCLUDING CULTURED STONE.
5. ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE AT 1/4" PER FOOT.
6. ALL EXTERIOR BALCONY RAILS TO BE POWDER COATED ALUMINUM.
7. ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
8. PROVIDE URETHANE SEALANT AT ALL SIDING, PANEL AND TRIM CONDITIONS.
9. PROVIDE URETHANE SEALANT W/ BOND BREAKER OR BACKER ROD (TO PREVENT 3-SIDED ADHESION) AT PERIMETER OF WINDOWS / DOORS.
10. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS ECT.
11. PROVIDE POSITIVE SLOPE 1:2 AT TOP OF METAL FLASHINGS AT TRIM BANDS, TYPICAL.
12. ALL ATTACHMENT AND PENETRATION THRU THE EXTERIOR CLADDING SYSTEM MUST BE SEALED AGAINST POTENTIAL WATER INTRUSION.
13. EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"XS" BAKED ENAMEL ALUMINUM.
14. ALL ROOF TO WALL INTERSECTIONS TO HAVE VERTICAL TERMINATION OF UNDERLAYMENT- MIN. 8" AND "L" FLASHING WITH VERTICAL LEG EXTENDING MINIMUM 6" UP THE WALL. ALL ROOF TO WALL LEAVE TERMINATIONS MUST HAVE KICK-OUT FLASHING.
15. REFER TO DETAIL3/A7.32 FOR TYPICAL PAINT DETAIL.

TAPESTRY TURKEY CREEK
KNOX COUNTY, TN.



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BUILDING TYPE
ONE
BUILDING
ELEVATIONS

date: 09-01-2016
job no: 3887.16
drawn by: DC / DPA
reviewed by: CBA
file: 3887A2.11
issue history:

A2.11



2 BUILDING TYPE ONE - RIGHT ELEVATION

SCALE: 1/8"=1'-0"



1 BUILDING TYPE ONE - REAR ELEVATION

SCALE: 1/8"=1'-0"

10-16-UR

REVISED
10:39 am, Oct 26, 2016

ELEVATION KEY NOTES

- | | | |
|--|---|--|
| 1. ARCHITECTURAL STYLE SHINGLES, OVER #30 FELT, OVER ROOF SHEATHING, OVER PRE-ENGINEERED ROOF TRUSSES, PROVIDE 36" WIDE 30 MIL SELF-ADHERING MEMBRANE, CENTERED IN VALLEYS, OVER ROOF SHEATHING. | 3. 4" REVEAL FIBER CEMENT LAP SIDING OVER BLD. WRAP OVER EXTERIOR WALL PER MANUFACTURER'S RECOMMENDATIONS. | 10. LIGHT FIXTURE |
| 2. STANDING SEAM METAL ROOF OVER 40 MIL HIGH TEMPERATURE MEMBRANE, INSTALL PER MANUFACTURER'S RECOMMENDATIONS. | 4. 8" REVEAL FIBER CEMENT LAP SIDING OVER BLD. WRAP OVER EXTERIOR WALL PER MANUFACTURER'S RECOMMENDATIONS | 11. BUILDING SIGNAGE |
| 3. ALUMINUM DRIP EDGE ON ALUMINUM WRAPPED TREATED 1X3 ON TREATED 2X10 FASCIA BOARD WITH ALUMINUM GUTTER PER ROOF PLAN | 7. FIBER CEMENT PANEL VERTICAL SIDING OVER RAINSCREEN OVER BLD. WRAP, OVER EXTERIOR WALL PER MANUFACTURER'S RECOMMENDATIONS | 12. ALUMINUM RAILING |
| 4. ANODIZED ALUMINUM GUTTER & DOWNSPOUT SYSTEM | 8. STONE VENEER OVER 2 COATS OF STUCCO ON PAPER BACK METAL LATH OVER BUILDING WRAP, INSTALL PER MANUFACTURER'S RECOMMENDATIONS. | 13. ALUMINUM RAILING AT 42" A.F.F. |
| | 9. DECORATIVE BRACKET | 14. METER LOCATION |
| | | 15. WALL TO ROOF "KICK OUT" FLASHING REQUIRED. SEE NOTE 14 OF TYPICAL ELEVATION NOTES. |
| | | 16. VERTICAL HARDIE BOARD TO BE SPACED 12" ON CENTER. |

TYPICAL ELEVATION NOTES

- | | | |
|---|--|--|
| 1. TYPICAL EXTERIOR CLADDING - COMBINATION OF CEMENTITIOUS LAPPED SIDING, CEMENTITIOUS PANEL SIDING AND CULTURED STONE VENEER. ENTIRE BUILDING TO BE WRAPPED WITH BUILDING WRAP. INSIDE AND OUTSIDE CORNERS TO BE PRE-WRAPPED WITH SELF-ADHERED MEMBRANE FOR 6" EACH SIDE OF CORNER. STONE VENEER TO BE INSTALLED OVER STUCCO BASE WITH METAL LATH ON DRAIN MAT ON AND #15 FELT OVER BUILDING WRAP. | 5. ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE AT 1/4" PER FOOT. | 11. PROVIDE POSITIVE SLOPE 1:2 AT TOP OF METAL FLASHINGS AT TRIM BANDS, TYPICAL. |
| 2. ALL EXTERIOR WOOD TRIM TO BE 5/4" HARDI TRIM. | 6. ALL EXTERIOR BALCONY RAILS TO BE POWDER COATED ALUMINUM. | 12. ALL ATTACHMENT AND PENETRATION THRU THE EXTERIOR CLADDING SYSTEM MUST BE SEALED AGAINST POTENTIAL WATER INTRUSION. |
| 3. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT. REFER TO SHEETS A7.41 & A7.42 FOR PENETRATION DETAILS. | 7. ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING. | 13. EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"x5" BAKED ENAMEL ALUMINUM. |
| 4. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL. PLINTH BLOCKING REQUIRED AT ALL PENETRATIONS AND SURFACE MOUNTED FIXTURES INCLUDING CULTURED STONE. | 8. PROVIDE URETHANE SEALANT AT ALL SIDING, PANEL AND TRIM CONDITIONS. | 14. ALL ROOF TO WALL INTERSECTIONS TO HAVE VERTICAL TERMINATION OF UNDERLAYMENT- MIN. 8" AND 1" FLASHING WITH VERTICAL LEG EXTENDING MINIMUM 6" UP THE WALL. ALL ROOF TO WALL EAVE TERMINATIONS MUST HAVE KICK-OUT FLASHING. |
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TAPESTRY TURKEY CREEK
KNOX COUNTY, TN.

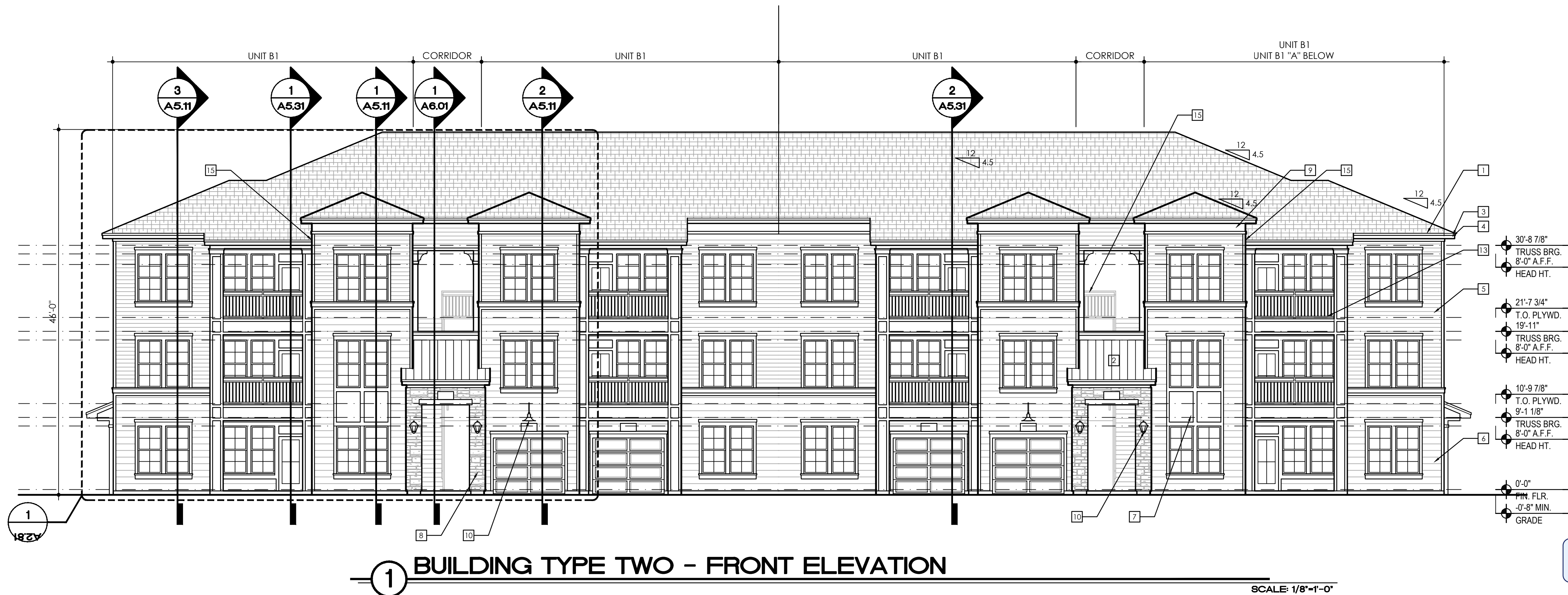


BUILDING TYPE
ONE
BUILDING
ELEVATIONS

date: **09-01-2016**
job no: **3887.16**
drawn by: **DC / DPA**
reviewed by: **CBA**
file: **3887A2.12**
issue history:

A2.12





ELEVATION KEY NOTES		
1 ARCHITECTURAL STYLE SHINGLES, OVER #30 FELT, OVER ROOF SHEATHING, OVER PRE-ENGINEERED ROOF TRUSSES, PROVIDE 36" WIDE 30 MIL SELF-ADHERING MEMBRANE, CENTERED IN VALLEYS, OVER ROOF SHEATHING.	3 4" REVEAL FIBER CEMENT LAP SIDING OVER BLD. WRAP OVER EXTERIOR WALL PER MANUFACTURER'S RECOMMENDATIONS.	10 LIGHT FIXTURE
2 STANDING SEAM METAL ROOF OVER 40 MIL. HIGH TEMPERATURE MEMBRANE, INSTALL PER MANUFACTURER'S RECOMMENDATIONS.	4 8" REVEAL FIBER CEMENT LAP SIDING OVER BLD. WRAP OVER EXTERIOR WALL PER MANUFACTURER'S RECOMMENDATIONS	11 BUILDING SIGNAGE
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	9 DECORATIVE BRACKET	14 METER LOCATION
		15 WALL TO ROOF "KICK OUT" FLASHING REQUIRED. SEE NOTE 14 OF TYPICAL ELEVATION NOTES.
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TYPICAL ELEVATION NOTES		
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2. ALL EXTERIOR WOOD TRIM TO BE 5/4" HARDI TRIM.	6. ALL EXTERIOR BALCONY RAILS TO BE POWDER COATED ALUMINUM.	12. ALL ATTACHMENT AND PENETRATION THRU THE EXTERIOR CLADDING SYSTEM MUST BE SEALED AGAINST POTENTIAL WATER INTRUSION.
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TAPESTRY TURKEY CREEK
KNOX COUNTY, TN.

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charlan • brock
associates

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407 660 8900 f: 407 875 9948
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BUILDING TYPE
TWO
BUILDING
ELEVATIONS

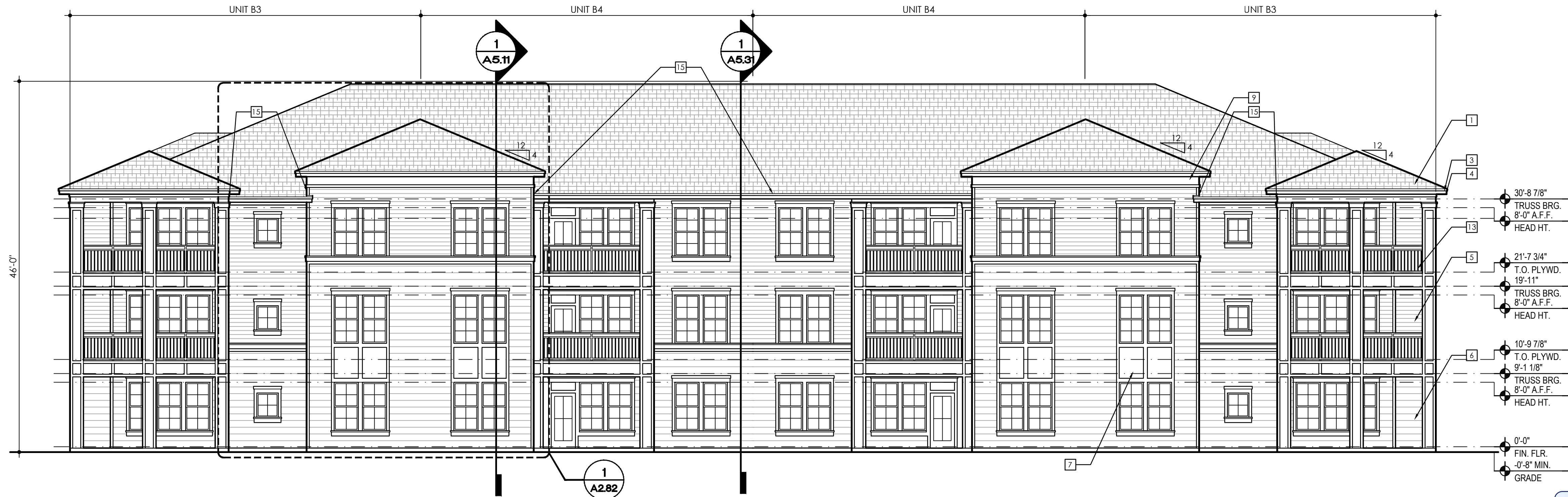
10-1-16-UR
REVISED
10:40 am, Oct 26, 2016

date: 09-01-2016
job no: 3887.16
drawn by: DC / DPA
reviewed by: CBA
file: 3887A2.21
issue history:



2 BUILDING TYPE TWO - RIGHT ELEVATION

SCALE: 1/8"=1'-0"



1 BUILDING TYPE TWO - REAR ELEVATION

SCALE: 1/8"=1'-0"

ELEVATION KEY NOTES

- | | | |
|--|---|--|
| 1 ARCHITECTURAL STYLE SHINGLES, OVER #30 FELT, OVER ROOF SHEATHING, OVER PRE-ENGINEERED ROOF TRUSSES, PROVIDE 36" WIDE 30 MIL SELF-ADHERING MEMBRANE, CENTERED IN VALLEYS, OVER ROOF SHEATHING. | 3 4" REVEAL FIBER CEMENT LAP SIDING OVER BLD. WRAP OVER EXTERIOR WALL PER MANUFACTURER'S RECOMMENDATIONS. | 10 LIGHT FIXTURE |
| 2 STANDING SEAM METAL ROOF OVER 40 MIL HIGH TEMPERATURE MEMBRANE, INSTALL PER MANUFACTURER'S RECOMMENDATIONS. | 4 8" REVEAL FIBER CEMENT LAP SIDING OVER BLD. WRAP OVER EXTERIOR WALL PER MANUFACTURER'S RECOMMENDATIONS | 11 BUILDING SIGNAGE |
| 3 ALUMINUM DRIP EDGE ON ALUMINUM WRAPPED TREATED 1X3 ON TREATED 2X10 FASCIA BOARD WITH ALUMINUM GUTTER PER ROOF PLAN | 7 FIBER CEMENT PANEL VERTICAL SIDING OVER RAINSCREEN OVER BLD. WRAP, OVER EXTERIOR WALL PER MANUFACTURER'S RECOMMENDATIONS | 12 ALUMINUM RAILING |
| 4 ANODIZED ALUMINUM GUTTER & DOWNSPOUT SYSTEM | 8 STONE VENEER OVER 2 COATS OF STUCCO ON PAPER BACK METAL LATH OVER BUILDING WRAP, INSTALL PER MANUFACTURER'S RECOMMENDATIONS. | 13 ALUMINUM RAILING AT 42" A.F.F. |
| | 9 DECORATIVE BRACKET | 14 METER LOCATION |
| | | 15 WALL TO ROOF "KICK OUT" FLASHING REQUIRED. SEE NOTE 14 OF TYPICAL ELEVATION NOTES. |
| | | 16 VERTICAL HARDIE BOARD TO BE SPACED 12" ON CENTER. |

TYPICAL ELEVATION NOTES

- | | | |
|--|---|--|
| 1. TYPICAL EXTERIOR CLADDING - COMBINATION OF CEMENTITIOUS LAPPED SIDING, CEMENTITIOUS PANEL SIDING AND CULTURED STONE VENEER. ENTIRE BUILDING TO BE WRAPPED WITH BUILDING WRAP. INSIDE AND OUTSIDE CORNERS TO BE PRE-WRAPPED WITH SELF-ADHERED MEMBRANE FOR 6" EACH SIDE OF CORNER. STONE VENEER TO BE INSTALLED OVER STUCCO BASE WITH METAL LATH ON DRAIN MAT ON AND #15 FELT OVER BUILDING WRAP. | 5. ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE AT 1/4" PER FOOT. | 11. PROVIDE POSITIVE SLOPE 1:2 AT TOP OF METAL FLASHINGS AT TRIM BANDS, TYPICAL. |
| 2. ALL EXTERIOR WOOD TRIM TO BE 5/4" HARDI TRIM. | 6. ALL EXTERIOR BALCONY RAILS TO BE POWDER COATED ALUMINUM. | 12. ALL ATTACHMENT AND PENETRATION THRU THE EXTERIOR CLADDING SYSTEM MUST BE SEALED AGAINST POTENTIAL WATER INTRUSION. |
| 3. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT. REFER TO SHEETS A7.41 & A7.42 FOR PENETRATION DETAILS. | 7. ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING. | 13. EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"x5" BAKED ENAMEL ALUMINUM. |
| 4. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL. PLINTH BLOCKING REQUIRED AT ALL PENETRATIONS AND SURFACE MOUNTED FIXTURES INCLUDING CULTURED STONE. | 8. PROVIDE URETHANE SEALANT AT ALL SIDING, PANEL AND TRIM CONDITIONS. | 14. ALL ROOF TO WALL INTERSECTIONS TO HAVE VERTICAL TERMINATION OF UNDERLAYMENT-MIN. 8" AND 1" FLASHING WITH VERTICAL LEG EXTENDING MINIMUM 6" UP THE WALL. ALL ROOF TO WALL EAVE TERMINATIONS MUST HAVE KICK-OUT FLASHING. |
| | 9. PROVIDE URETHANE SEALANT W/ BOND BREAKER OR BACKER ROD (TO PREVENT 3-SIDED ADHESION) AT PERIMETER OF WINDOWS / DOORS. | 15. REFER TO DETAIL3/A7.32 FOR TYPICAL PAINT DETAIL. |
| | 10. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS ECT. | |

KNOX COUNTY, TENNESSEE



Charlan Brock & Assoc., AC0549
Charles L. Charlan, Architect, AR0993
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TAPESTRY TURKEY CREEK
KNOX COUNTY, TN.

ARLINGTON PROPERTIES
217 2ND AVENUE NORTH
BIRMINGHAM, ALABAMA 35203
PH. 205-328-9600

c b a
charlan • brock
associates

architects planners

1770 fennell street
maitland florida 32751-7208
407 660 8900 f: 407 875 9948
www . cbaarchitects . com

BUILDING TYPE

TWO

BUILDING

ELEVATIONS

10-I-16-UR

REVISED
10:40 am, Oct 26, 2016

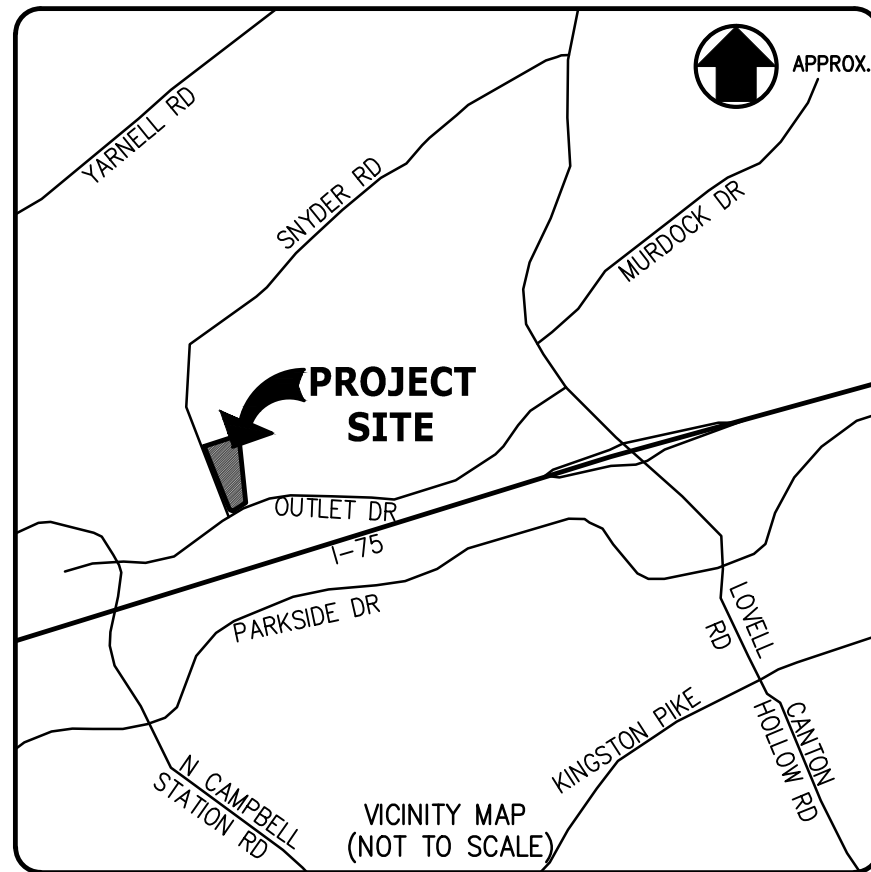
date: **09-01-2016**
job no: **3887.16**
drawn by: **DC / DPA**
reviewed by: **CBA**
file: **3887A2.22**
issue history:

A2.22

GRID NORTH
NAD 83 (1995)
NAVD 88

SCALE: 1" = 50'

COORDINATES HAVE BEEN DATUM
ADJUSTED BY A SCALE FACTOR 1.0001



NOTES:

1. SEE SHEET UOR1.01 FOR GENERAL NOTES

LEGEND	
	NUMBER OF PARKING SPACES
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	STORM SEWER LINE
	SANITARY SEWER LINE
	WATER LINE
	UNDERGROUND GAS LINE
	CATCH BASIN
	STORM MANHOLE
	REINFORCED CONCRETE PIPE
	LIGHT POLE
	POWER EQUIPMENT
	TELEPHONE LINE RISER
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	GAS VALVE
	SANITARY MANHOLE
	SANITARY CLEAN OUT
	SIGN
	EXISTING SHRUB
	EXISTING TREE

REVISED PER MPC COMMENTS	10-25-16
REVISED PER MPC COMMENTS	09-28-16
REVISIONS	DATE

CANNON & CANNON INC.
CONSULTING ENGINEERS · FIELD SURVEYORS

TEL 865.670.8555 8550 Kingston Pike
WWW.CANNON-CANNON.COM KNOXVILLE, TN 37919

CLIENT: **ARLINGTON PROPERTIES**
2117 SECOND AVENUE NORTH
BIRMINGHAM, AL 35203
PH. (205) 397-6884

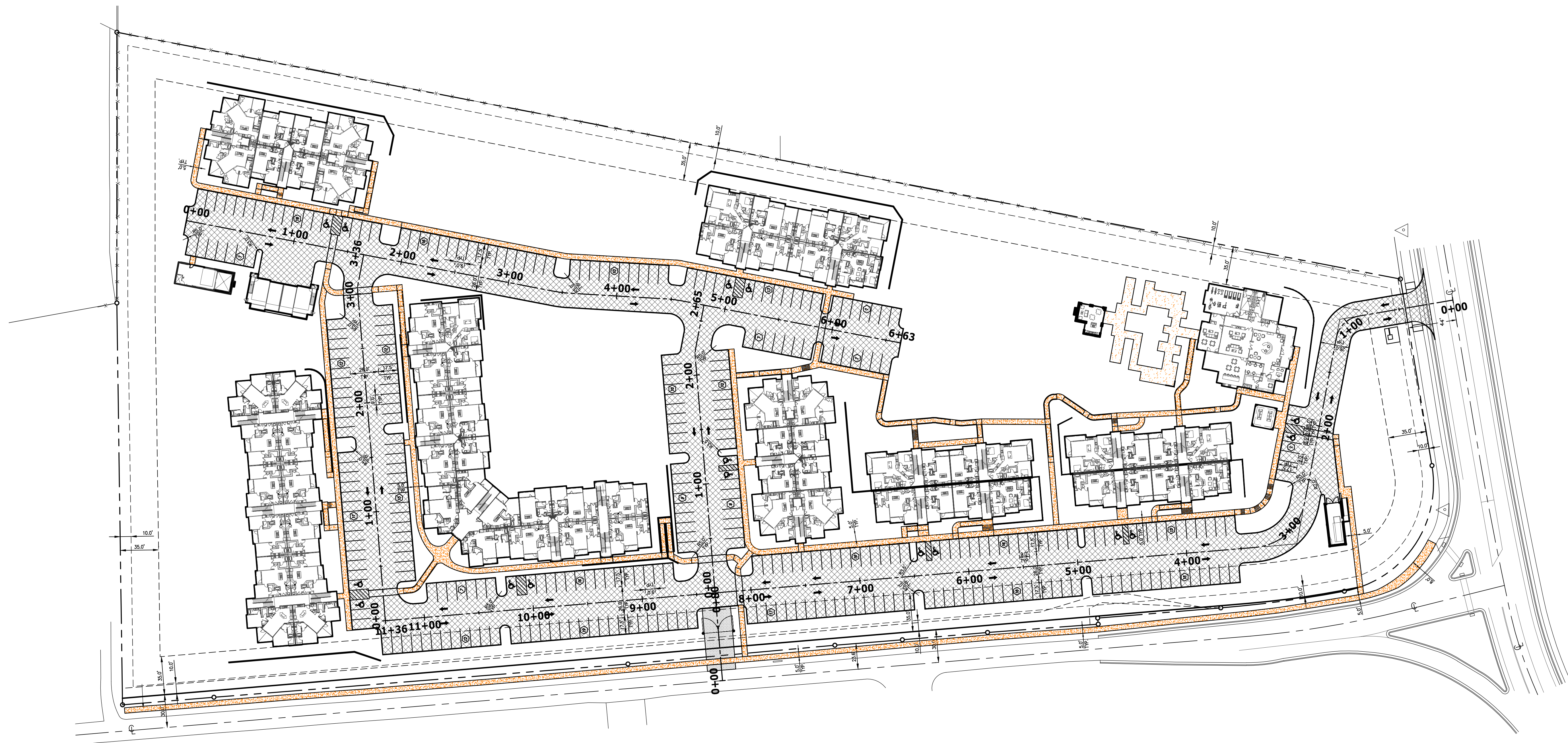
PROJECT: **TAPESTRY TURKEY CREEK**
11616 SNYDER ROAD
KNOXVILLE, TN 37932

**USE ON REVIEW
OVERALL SITE LAYOUT PLAN**

CCI PROJECT NO. 01271-0000	
DRAWING DATE	AUGUST 31, 2016
PM	AWG
DRAWN	SHG
PIC	CHECKED

**USE ON REVIEW
NOT FOR
CONSTRUCTION**

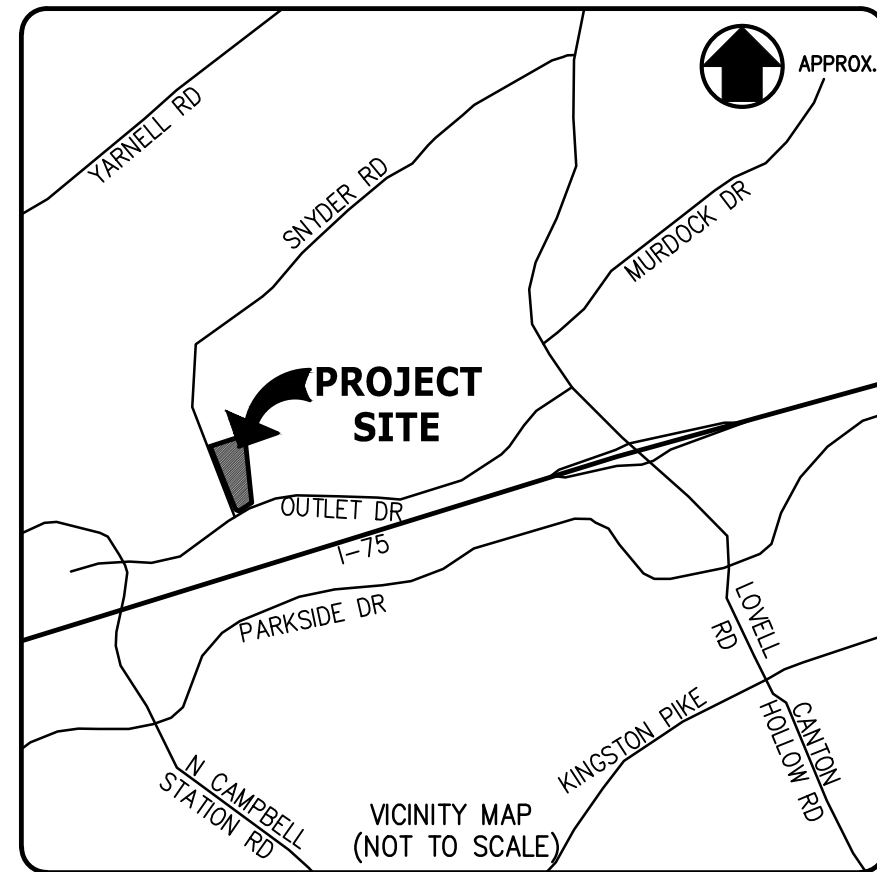
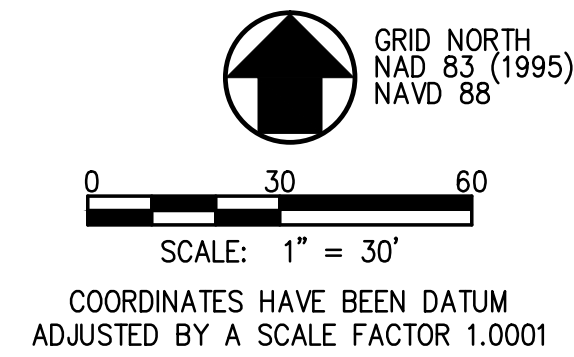
UOR1.00



10-I-16-UR

REVISED
10:40 am, Oct 26, 2016

811
Know what's below
Call before you dig



- NOTES:**
1. STORM WATER DETENTION AND WATER QUALITY TO BE EVALUATED AS PART OF FINAL DRAINAGE DESIGN.
 2. DETAILED LANDSCAPING PLAN SHALL BE SUBMITTED FOR MPC STAFF APPROVAL PRIOR TO OBTAINING BUILDING PERMIT.

SPECIAL NOTE
EVALUATION OF EITHER RETENTION PONDS OR DRAINAGE EASEMENTS TO OFF-SITE SINKHOLES TO BE DETERMINED IN DESIGN.

10-I-16-UR

REVISED
10:40 am, Oct 26, 2016

REVISIONS	DATE
REVISOR	DATE
REVISOR	DATE

CANNON & CANNON INC.
CONSULTING ENGINEERS · FIELD SURVEYORS
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WWW.CANNON-CANNON.COM Knoxville, TN 37919

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2117 SECOND AVENUE NORTH
BIRMINGHAM, AL 35203
PH. (205) 397-6884

PROJECT: **TAPESTRY TURKEY CREEK**
11616 SNYDER ROAD
KNOXVILLE, TN 37932

**USE ON REVIEW
SITE GRADING PLAN**

USE ON REVIEW NOT FOR CONSTRUCTION	CCI PROJECT NO.		01271-0000
	DRAWING DATE		AUGUST 31, 2016
	PM	AWG	PIC
	DRAWN	SMG	CHECKED

UOR2.01

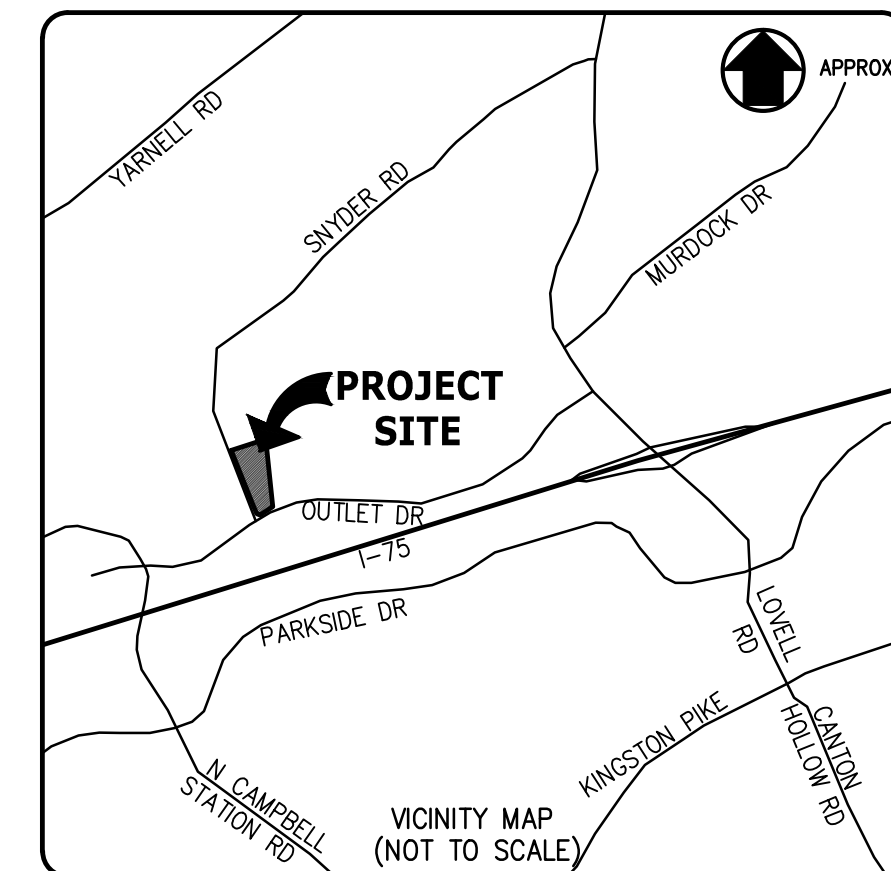
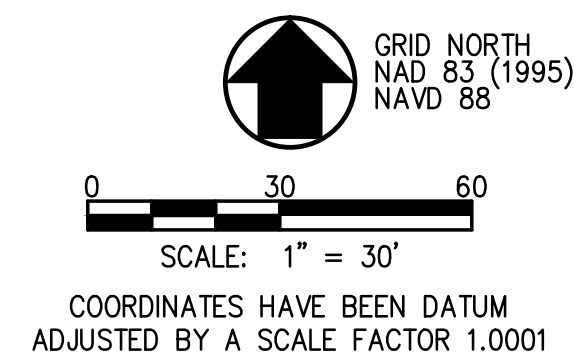
LEGEND	
1040	PROPOSED CONTOUR LINE
-----1040-----	EXISTING CONTOUR LINE
==ST==	STORM SEWER LINE
---SA---	SANITARY SEWER LINE
---W---	WATER LINE
---G---	UNDERGROUND GAS LINE
■	CATCH BASIN
⊙	STORM MANHOLE
RCP	REINFORCED CONCRETE PIPE
⊗	LIGHT POLE
⊕	POWER EQUIPMENT
⊗	TELEPHONE LINE RISER
⊕	WATER VALVE
⊕	FIRE HYDRANT
⊕	WATER METER
⊕	GAS VALVE
⊕	SANITARY MANHOLE
⊕	SANITARY CLEAN OUT
⊕	SIGN
⊕	EXISTING SHRUB
⊕	EXISTING TREE

811
Know what's below
Call before you dig

MATCHLINE SEE SHEET UOR2.02

LASTER
DEED 20140127-004626
PR ZONE

MATCHLINE SEE SHEET UOR2.01



NOTES

1. SEE SHEET UOR2.01 FOR NOTES.

10-I-16-UR

REVISED
10:40 am, Oct 26, 2016

2	REVISED PER MPC COMMENTS
1	REVISED PER MPC COMMENTS
REVISIONS	DATE



CLIENT: **ARLINGTON PROPERTIES**
2117 SECOND AVENUE NORTH
BIRMINGHAM, AL 35203
PH. (205) 397-6884

PROJECT: **TAPESTRY TURKEY CREEK**
11616 SNYDER ROAD
KNOXVILLE, TN 37932

**USE ON REVIEW
SITE GRADING PLAN**

**USE ON REVIEW
NOT FOR
CONSTRUCTION**

CCI PROJECT NO.		01271-0000	
DRAWING DATE		AUGUST 31, 2016	
PM	AWG	PIC	-
DRAWN	SMG	CHECKED	-

UOR2.02

LEGEND

1040	PROPOSED CONTOUR LINE
-----1040-----	EXISTING CONTOUR LINE
== ST ==	STORM SEWER LINE
- - - SA - - -	SANITARY SEWER LINE
— W —	WATER LINE
—— C ——	UNDERGROUND GAS LINE
■	CATCH BASIN
⊙	STORM MANHOLE
RCP	REINFORCED CONCRETE PIPE
✕	LIGHT POLE
◇	POWER EQUIPMENT
◆	TELEPHONE LINE RISER
WV	WATER VALVE
⊠	FIRE HYDRANT
⊡	WATER METER
GV	GAS VALVE
⊙	SANITARY MANHOLE
⊙ C.G.	SANITARY CLEAN OUT
—	SIGN
⊙	EXISTING SHRUB
⊙	EXISTING TREE



Date:	09/28/2016
Drawn by:	MP
Reviewed by:	RCC / MO
Job Number:	21532.5
Revision:	Date:
1	10/27/2016

TAPESTRY TURKEY CREEK
Knoxville, TN

Arlington Properties
2117 Second Avenue North, Suite 300
Birmingham, AL

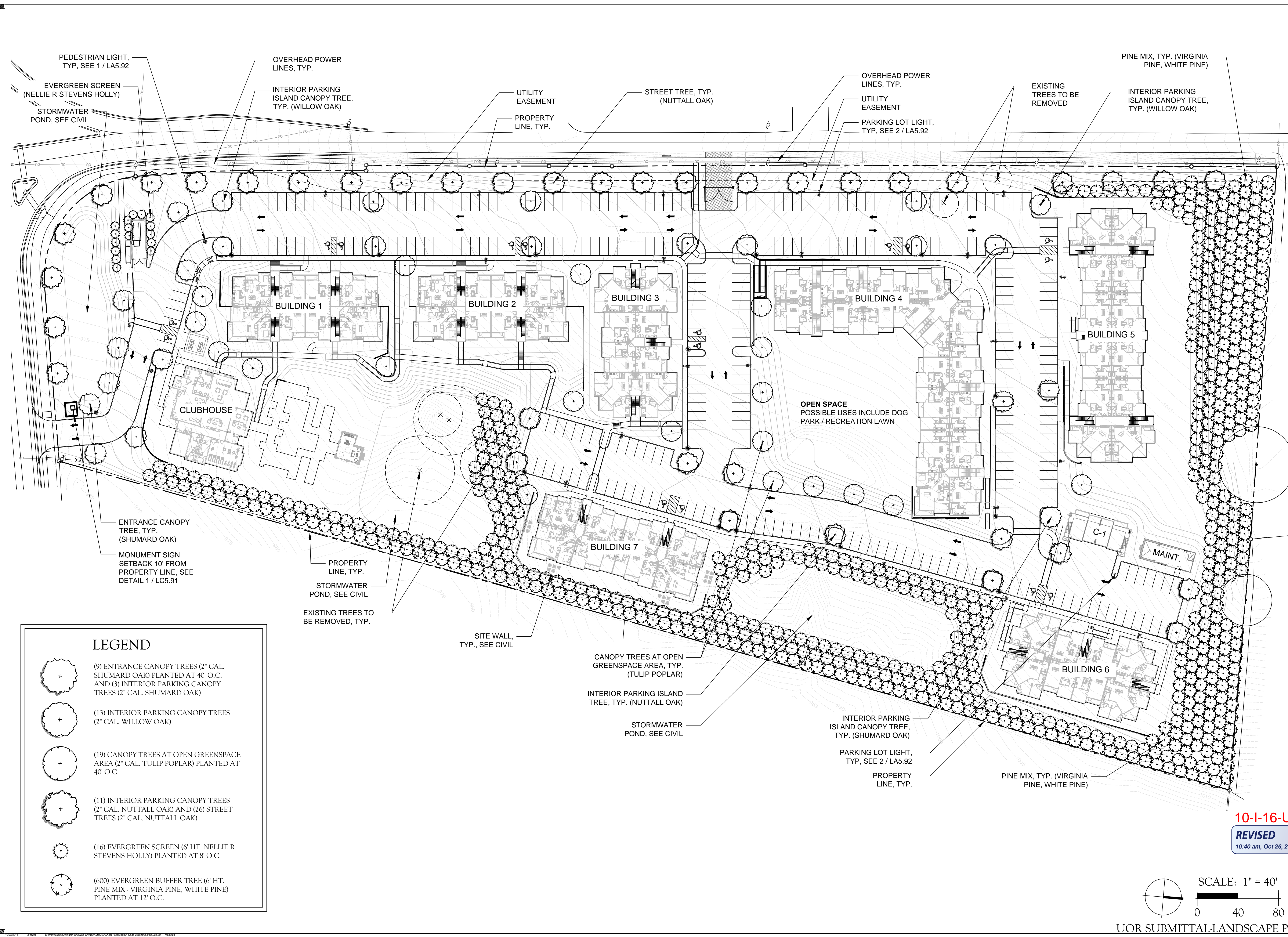
DIX.HITE

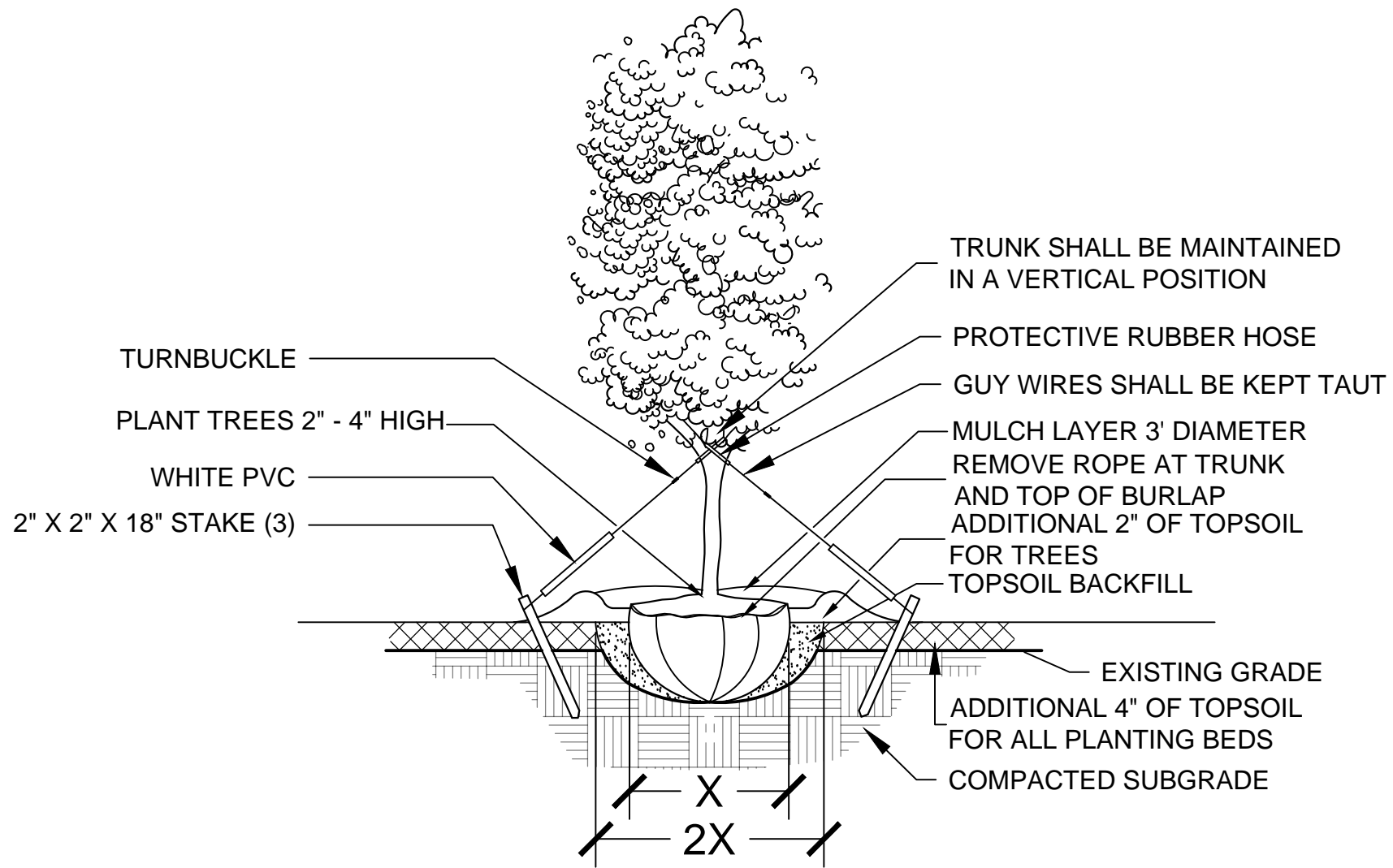
+ PARTNERS
150 W. JESSUP AVENUE
LONG WOOD, FL 32073
FAX 407.667.1779

UOR SUBMITTAL-LANDSCAPE PLAN

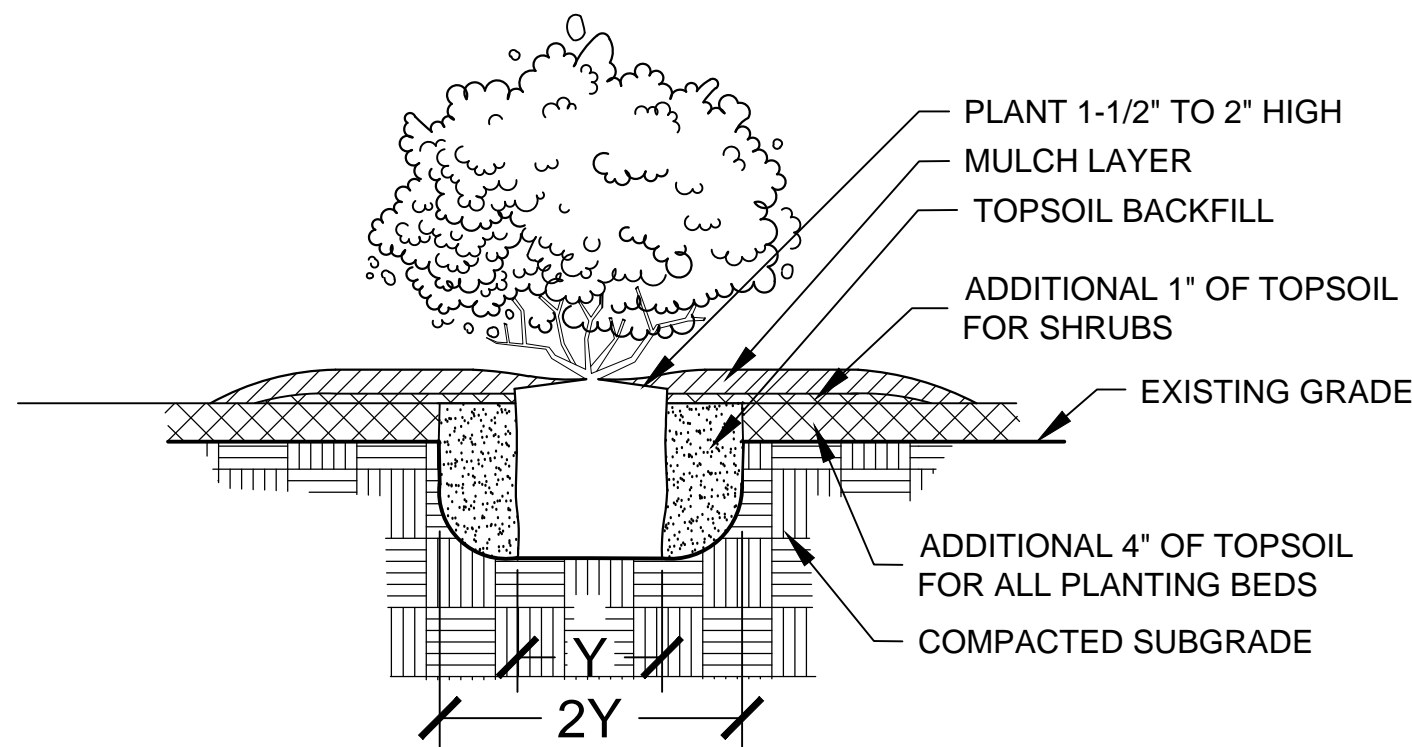
OVERALL PLAN

Sheet Number:
LC5.00

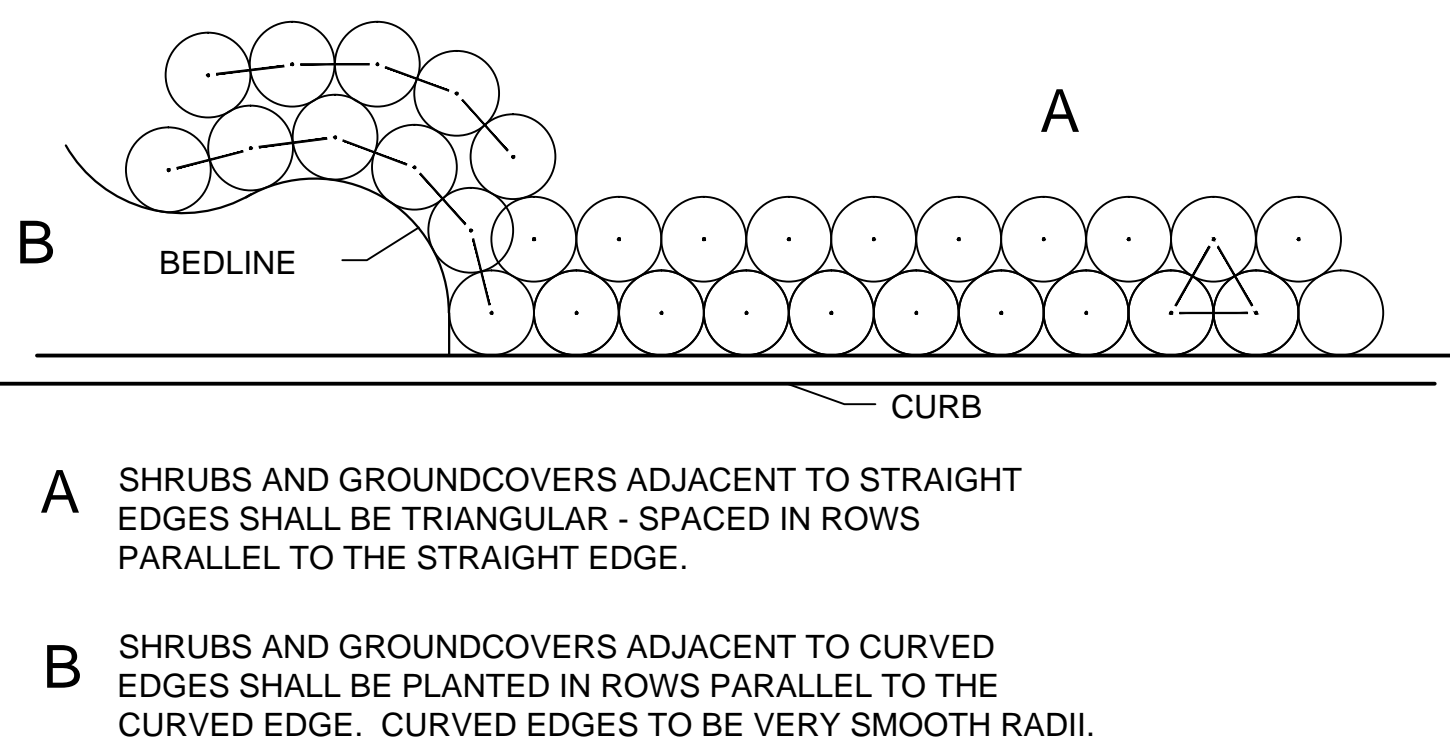




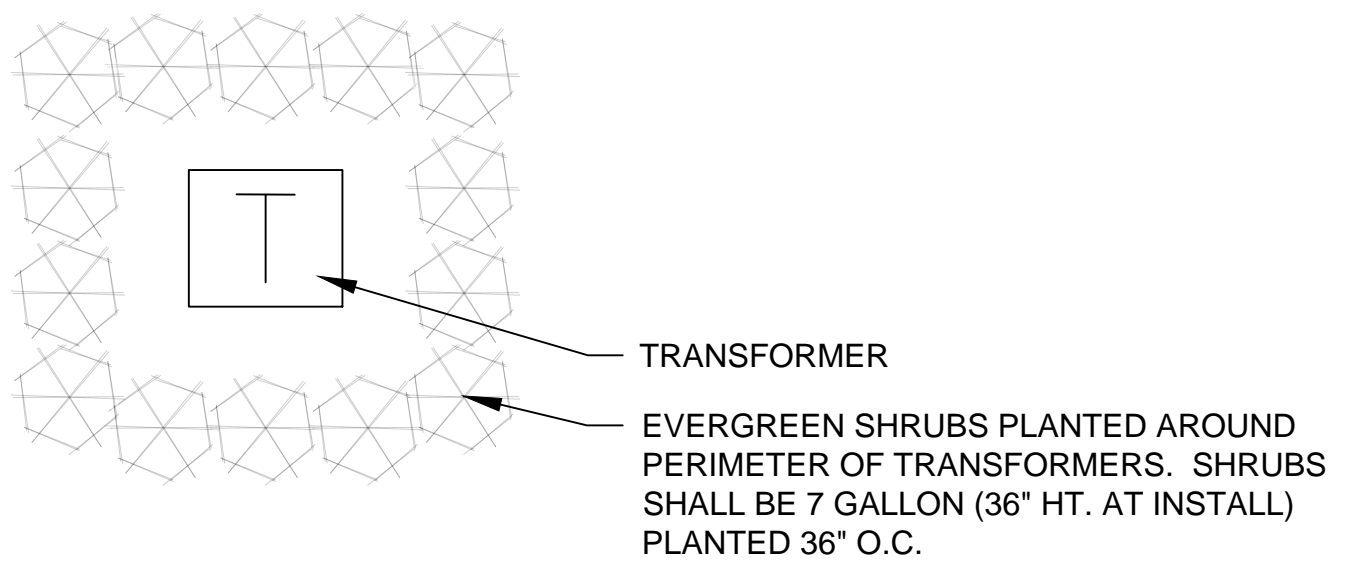
TYPICAL TREE PLANTING - CROSS SECTION
SCALE: NTS



TYPICAL SHRUB PLANTING - CROSS SECTION
SCALE: NTS

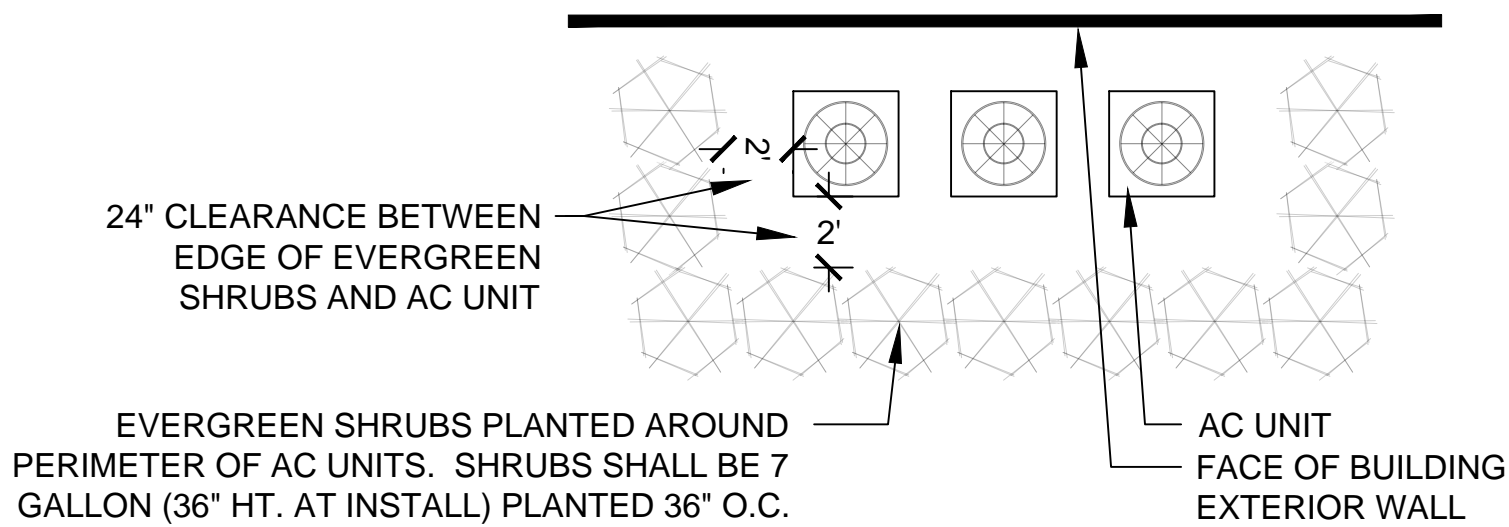


TYPICAL SHRUB LAYOUT - PLAN
SCALE: NTS



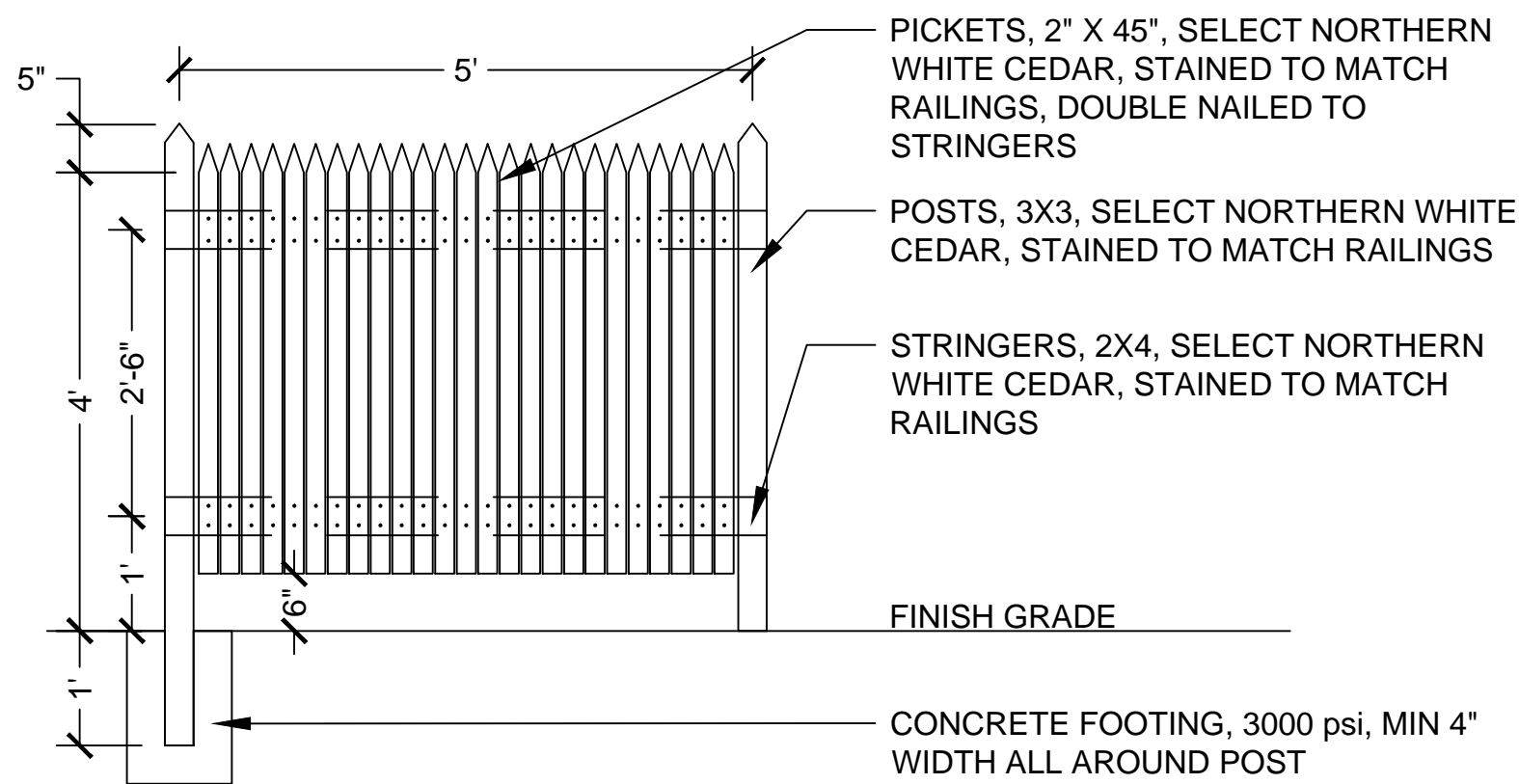
NOTE:
REFER TO LOCAL CODE FOR CLEARANCE REQUIREMENTS. PLANTINGS SHOULD COMPLETELY SURROUND TRANSFORMER TO SCREEN VIEWS FROM UNITS, SIDEWALKS AND ROADS. NOTIFY LANDSCAPE ARCHITECT OF DISCREPANCY BETWEEN PLAN AND SITE CONDITIONS.

EVERGREEN SCREEN FOR TRANSFORMERS
SCALE: NTS



NOTE:
IF PLANTING AREA IS LIMITED, NOTIFY LANDSCAPE ARCHITECT AND/OR OWNER TO CONFIRM USE OF WOODEN SCREEN

EVERGREEN SCREEN FOR AIR CONDITIONER UNITS
SCALE: NTS



SCREEN PANEL FOR AIR CONDITIONER UNITS
SCALE: NTS

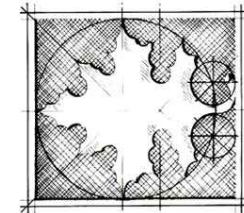
LANDSCAPE NOTES

1. CONTRACTOR IS EXPECTED TO CARRY OUT ALL RESPONSIBILITIES SET FORTH IN THESE LANDSCAPE NOTES AND IN THE LANDSCAPE SPECIFICATIONS. THEY WILL BE STRICTLY ENFORCED BY THE OWNER/L.A.
2. ALL PLANT MATERIAL SHALL BE ANSI Z60.1-2004 OR BETTER ACCORDING TO THE CURRENT NURSERY GRADES AND STANDARDS.
3. ALL PLANT BEDS SHALL BE DRESSED WITH 3" LAYER OF MULCH. ALL OTHER AREAS SHALL RECEIVE SOD.
4. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO INSTALLATION.
5. ALL PLANTS SHALL MEET SIZE, CONTAINER, AND SPACING SPECIFICATIONS. ANY MATERIAL NOT MEETING SPECIFICATIONS SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
6. CONTRACTOR SHALL BE RESPONSIBLE TO RECEIVE THE LANDSCAPE ARCHITECT'S APPROVAL OF ALL PLANT BED LAYOUTS AND TREE LOCATIONS PRIOR TO INSTALLATION. IF PLANT MATERIAL IS INSTALLED PRIOR TO LANDSCAPE ARCHITECT'S APPROVAL, CONTRACTOR WILL BE SUBJECT TO RELOCATING THE MATERIAL AT THE LANDSCAPE ARCHITECT'S REQUEST AND THE CONTRACTOR'S OWN EXPENSE.
7. ALL SHRUBS SHALL BE PLANTED 1-1/2" AND TREES 2-1/2" ABOVE GRADE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PLANT HEALTH IN ON-SITE SOILS.
8. CONTRACTOR SHALL PERFORM SOIL TESTING PRIOR TO CONSTRUCTION 1) TO DETERMINE NUTRIENT STATUS AND PH OF SOIL AND 2) TO DETERMINE THE SOIL TEXTURE IN THE TOP 6" - 12" OF SOIL, AND THEN AMEND THE SOIL BASED ON THE RESULTS OF THE TESTS. SEE THE LANDSCAPE SPECIFICATIONS FOR MORE INFORMATION.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING. GRADING SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
10. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
11. CONTRACTOR SHALL SUBMIT UNIT PRICES FOR ALL BID ITEMS.
12. SOIL SHALL BE FREE FROM LIME ROCK AND CONSTRUCTION DEBRIS.
13. IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES REPRESENTED ON THE FINAL LANDSCAPE PLAN VS. QUANTITIES SHOWN ON THE PLANT LIST, THE PLAN SHALL CONTROL.
14. CONTRACTOR SHALL MAINTAIN TREES IN A STRAIGHT AND PLUMB POSITION FOR ONE YEAR. CONTRACTOR SHALL STAKE ALL TREES IF REQUIRED BY THE JURISDICTION.
15. PRIOR TO REMOVAL OF ANY TREES, THE TREES TO BE RETAINED SHALL HAVE PROTECTIVE TREE BARRIERS.
16. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR OWN TAKE OFFS AND QUANTITIES. THE QUANTITIES ON THE PLANT LIST SERVE ONLY AS A GUIDE TO THE OWNER AND L.A. THIS INCLUDES SOD AND MULCH QUANTITIES OF WHICH THE CONTRACTOR SHALL BE HELD TO BID QUANTITIES.
17. SUCCESSFUL BIDDER SHALL LOCK UP ALL MATERIALS IMMEDIATELY AFTER CONTRACT ASSIGNMENT. PLANTS SHALL BE HELD DURING THE PERIOD FROM CONTRACT TO INSTALLATION TO ALLOW ADDITIONAL GROWTH. ALL PLANTS WILL BE REQUIRED TO BE FULL AND HEALTHY. CONTRACTOR SHALL ARRANGE FOR PLANT APPROVAL PRIOR TO DELIVERY, EITHER BY SAMPLES, PHOTOS, OR NURSERY VISITS.
18. CONTRACTOR SHALL BE RESPONSIBLE FOR WARRANTY OF HEALTH OF PLANTS IN ON-SITE SOILS. IF, DURING DIGGING, CONTRACTOR DISCOVERS WATER-LOGGED, CLAYEY, COMPACTED OR SIMILARLY POORLY DRAINED SOILS, IT SHOULD BE BROUGHT TO THE ATTENTION OF OWNER/LANDSCAPE ARCHITECT FOR REMEDIAL ACTION.
19. CONTRACTOR SHALL ANTICIPATE THE FIRST FIVE FEET AROUND BUILDING PERIMETER WILL BE COMPACTED AND FOUNDATION BEDS SHOULD BE TILLED AND IMPROVED TO SUSTAIN VIGOROUS, HEALTHY PLANT GROWTH.

Date:	09/28/2016
Drawn by:	MP
Reviewed by:	RCC / MO
Job Number:	21532.5
Revision:	Date:
1	10/27/2016

TAPESTRY TURKEY CREEK
Knoxville, TN

Arlington Properties
2117 Second Avenue North, Suite 300
Birmingham, AL



DIX.HITE
+ PARTNERS
130 W. JESSUP AVENUE
LONGWOOD, FL 32750
FAX 407.667.1779

UOR SUBMITTAL-LANDSCAPE PLAN

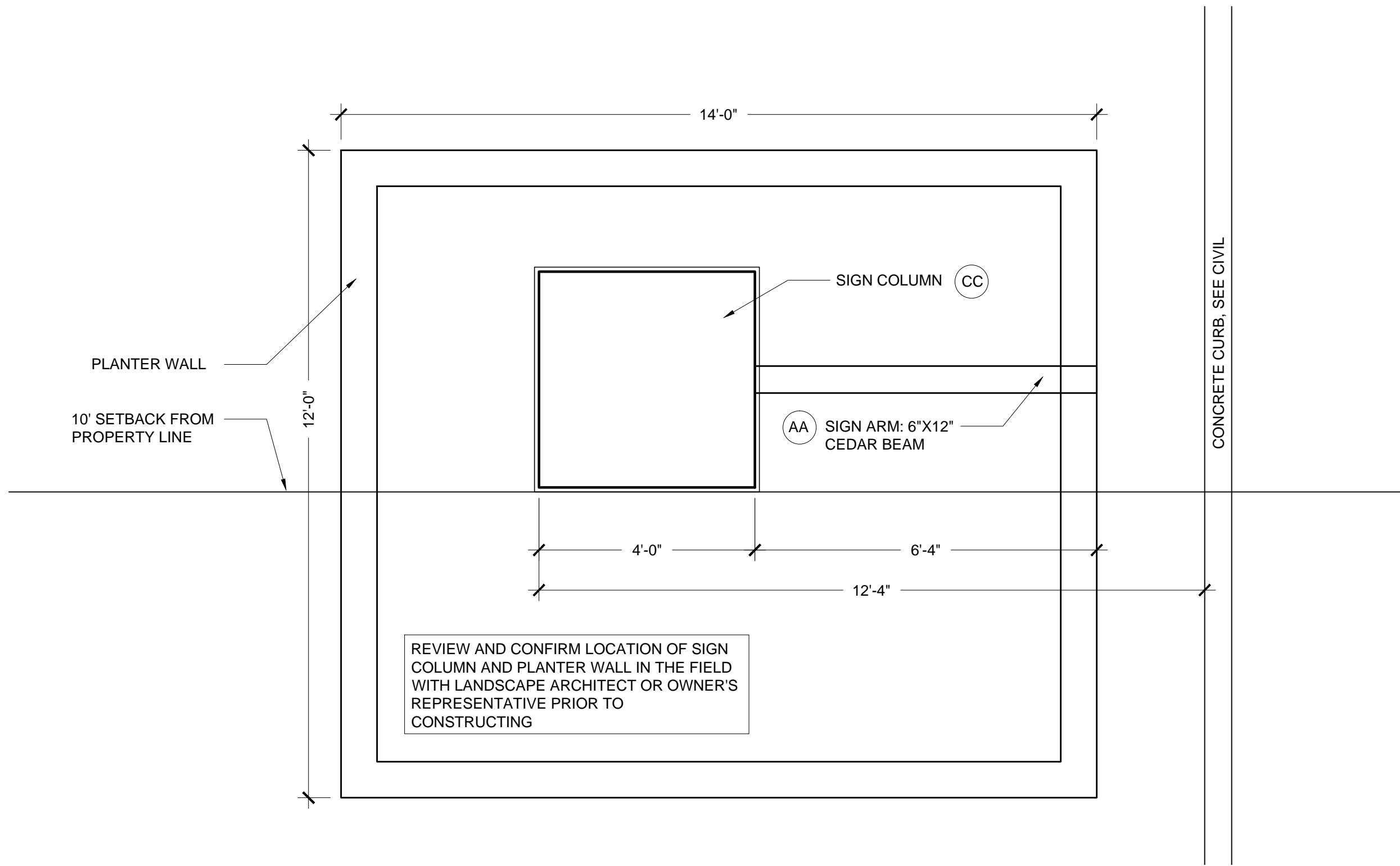
LANDSCAPE DETAILS

10-I-16-UR

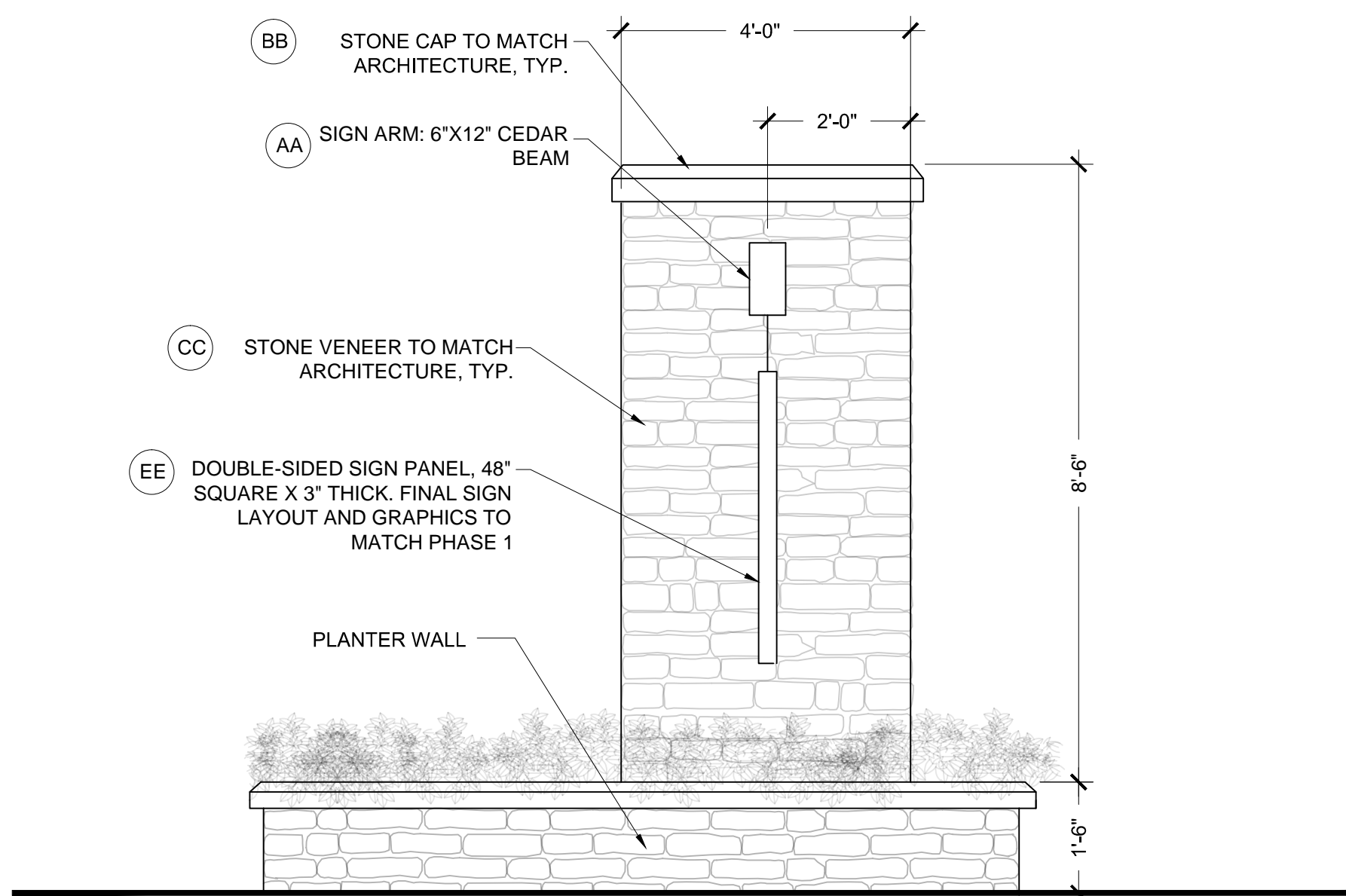
REVISED
10:40 am, Oct 26, 2016

Sheet Number:
LA5.90

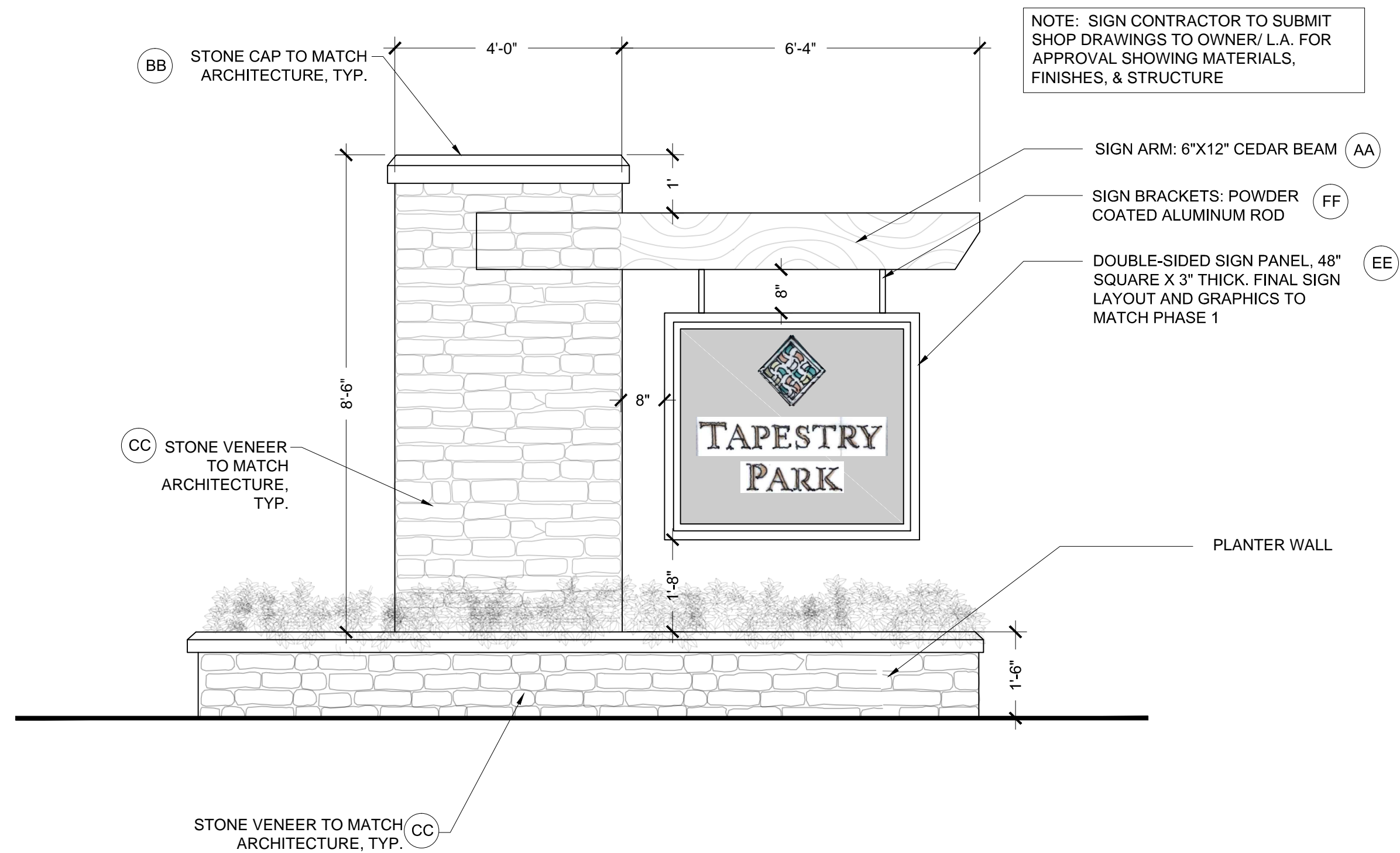
UOR SUBMITTAL-LANDSCAPE PLAN



1 MONUMENT SIGN - PLAN
LA5.91 SCALE: 1/2"=1'-0"



3 MONUMENT SIGN - ELEVATION
LA5.91 SCALE: 1/2"=1'-0"



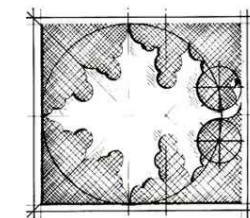
2 MONUMENT SIGN - ELEVATION
LA5.91 SCALE: 1/2"=1'-0"

10-I-16-UR

REVISED
10:41 am, Oct 26, 2016

Date:	09/28/2016
Drawn by:	MP
Reviewed by:	RCC / MO
Job Number:	21532.5
Revision:	Date:
1	10/27/2016

TAPESTRY TURKEY CREEK
Knoxville, TN
Arlington Properties
2117 Second Avenue North, Suite 300
Birmingham, AL



DIXIE HITE
+ PARTNERS
150 W. JESSUP AVENUE
LOUISVILLE, KY 40202
PHONE: 502.667.1779
FAX: 402.667.1779

UOR SUBMITTAL-LANDSCAPE PLAN
SIGN DETAILS

Sheet Number:
LA5.91

UOR SUBMITTAL-LANDSCAPE PLAN

PRODUCT: MNC MANCHESTER
MANUFACTURER: COOPER LIGHTING, www.cooperlighting.com
MODEL: MNC-150-MP-MT-xx-C-V-M-BK-L

MNC	MANCHESTER
150	150W LAMP WATTAGE
MP	PULSE START METAL HALIDE LAMP
MT	MULTI-TAP VOLTAGE
xx	REFRACTOR TYPE (TBD BY MEP)
C	CLASSICAL CAGE
V	VICTORIAN TOP
M	MODERN FINIAL
BK	BLACK FINISH
L	LAMP INCLUDED

MOUNTED @ 16' AFG ON A DIRECT BURY ALUMINUM POLE
STANDARD DUTY POLE WITH BLACK FINISH BY
ALLIANCE COMPOSITES, INC., www.alliancecompositesinc.com

1	PEDESTRIAN LIGHT
LA5.92	SCALE: 1/2"=1'-0"

PRODUCT: TRIBUTE
MANUFACTURER: COOPER LIGHTING, www.cooperlighting.com
MODEL: MP-TR-3F-250-MT-LL-BK/MA1017BK

MP	PULSE START METAL HALIDE
TR	TRIBUTE (ARM INCLUDED)
3F	TYPE III FORMED DISTRIBUTION
250	250W LAMP WATTAGE
MT	MULTI-TAP WIRED 277V
LL	LAMP INCLUDED
BK	BLACK FINISH
MA1017	SINGLE TENON ADAPTER FOR 2 $\frac{3}{8}$ " O.D. TENON

MOUNTED @ 18' AFG ON A DIRECT BURY ALUMINUM POLE
STANDARD DUTY POLE WITH BLACK FINISH BY
ALLIANCE COMPOSITES, INC., www.alliancecompositesinc.com

2	PARKING LOT LIGHT
LA5.92	SCALE: 1/2"=1'-0"

MCGRAW-EDISON®

DESCRIPTION

The MNC Manchester displays an old fashion charm of traditional area lighting, enhancing every lighting application with a distinctive styling day or night. U.L. listed for wet locations. CSA certified.

Evolving the classic charm of yesterday, the Manchester offers a strong combination of aesthetic beauty and photometric performance in a fixture that reflects the architectural heritage of America's main streets and neighborhoods.

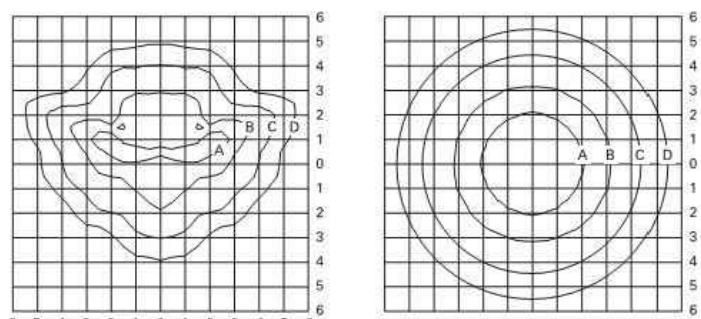
SPECIFICATION FEATURES

Construction
FINIAL: Cast finial optional. Finial painted to match cast housing.
GLOBE: Borealis-style two-piece prismatic glass refractor, available in either a Type III or Type V distribution. CAQE OR BAND: Optional decorative cage or band is available. Cage uprights are manufactured of cast aluminum. Bands are extruded aluminum. Finish colors match housing color choices. Optional gold anodized band available. Other finish colors available. Consult your Cooper Lighting Representative.

HOUSING: Heavy-duty cast aluminum housing for up to 150W MH or HPS systems. Optional NEMA PCR is accessible through door assembly. Available in seven standard colors. Other finish colors available. Consult the McGraw-Edison Architectural Colors brochure.

MOUNTING
 Post too mount fits 3" O.D. tenons and secures in place with four (4) allen-head set screws.

Catalog #	Type
Project	Date
Comments	
Prepared by	




PHOTOMETRICS

Footcandle Table
 Select mounting height and read across for footcandle values of each isofootcandle line. Distances in units of mounting heights.

Mounting Height	Footcandle Values for Isofootcandle Lines			
	A	B	C	D
10'	2.25	1.12	0.45	0.22
15'	1.05	0.50	0.20	0.10
20'	0.56	0.28	0.11	0.05

MNC-150-HPS-XX-X
 15' Mounting Height
 150-Watt HPS, Type III Glass Refractor
 16,000 Lumen Lamp

MNC-150-HPS-XX-XS
 15' Mounting Height
 150-Watt HPS, Type V Glass Refractor
 16,000 Lumen Lamp

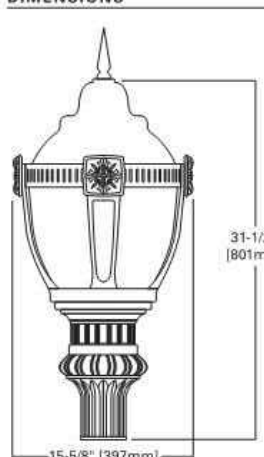


MNC MANCHESTER

Pulse Start Metal Halide
High Pressure Sodium
Metal Halide





DECORATIVE POST TOP LUMINAIRE

DIMENSIONS



35 1/2" [897mm]
15 5/8" [159mm]

FINIALS

Victorian Modern Architectural Old World

ENERGY DATA
Refractor Ballast Input Watts
 100W HPS HPF (115 Watts)
 100W MP HPF (120 Watts)
 100W HPS HPF (170 Watts)
 100W MP HPF (180 Watts)

EPA Effective Projected Area (Sq. Ft.)
 1.6

SHIPPING DATA
Approximate Net Weight:
 60 lbs. (27 kg.)

ACH002570 pc
2010-06-14 16:51:54

COOPER Lighting
www.cooperlighting.com

ORDERING INFORMATION

Sample Number: MNC-150-HPS-MT-S-C-V-M-B-K

Product Family	Lamp Type	Refractor Type	Top Type	Color *	Options *
MNC-Manchester	MH-Pulse Start Metal Halide	SA-Type III	V-Victorian	AB-Grey	P-Single Pole (120, 277 or 347V)
Lamp Wastage *	HPS-High Pressure Sodium	SB-Type IV	V-Victorian	BZ-Black	PF-Duals Pole (208, 240 or 480V)
MP	MH-Metal Halide	SC-Type V	V-Victorian	BN-Black	L-Lamp Included
100'-1000'	120'-120V	CA-Cage/Band Types	F-Finial Type *	GN-Harford Green	R-NEMA Tealock Photocoupler Receivables
100'-1500'	240'-240V	C-Classical Cage	A-Architectural	WH-White	
70'-100'	240'-240V	G-Gold Anodized Band	O-Old World	DP-Dark Platinum	Accessories *
100'-1000'	277'-277V	P-Painted Band	V-Victorian	GM-Graphic Metallic	DALAI-150W Infrared Thermal Phenomenon - Multi Tap
150'-1500'	347'-347V	X-None	X-None		DALAI-270W Infrared Thermal Phenomenon - 480V
REI	480'-480V				AASB00-Inverse Side Shield - Metal Base
175'-175W	NH-Multi-Tap				AASB01-Inverse Side Shield - Medium Base
	TT-Table-Tap*				

* Standard with most base types for HPS. Standard with medium based socket for Metal Halide.
 * 120W available for non-EU marking only.
 * Product also available in non-US voltage and 150W for international markets. Contact factory for availability and ordering information.
 * Main tap below is 120/240/277V and 277V. Side Tap below is 120/277/347V and 480V.
 * When grid anodized band is chosen, final finished in gold.
 * Other finish colors available, including a full range of RAL color matches. Consult your Cooper Lighting Representative.
 * Add as suffix in the order sheet.
 * Order separately, replace 3X with color suffix.

COOPER Lighting
www.cooperlighting.com

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COOPER Lighting
www.cooperlighting.com

NOTE: Specifications and dimensions subject to change without notice.
 Visit our web site at www.cooperlighting.com
 Customer Center 17100 West 26th Southwest Circle, Aurora, CO 80017 770.486.4801 FAX 770.486.4801

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DESCRIPTION

The Lumark Tribute luminaire is the most versatile, functionally designed, universally adaptable outdoor luminaire available. The Tribute luminaire brings outstanding performance to walkways, parking lots, roadways, loading docks, building areas and any security lighting application. U.L. listed and CSA certified for wet locations.

TRIBUTE

Category # **Type**

Project

Comments **Date**

Prepared by

SPECIFICATION FEATURES

Construction

Rugged, one-piece, die-cast aluminum housing and door frame. One-piece silicone gasket protects the optical chamber from performance degrading contaminants. One stainless spring latch and two stainless hinges allow tool-less opening and removal of door frame.

Electrical

Ballast and related electrical components are hard mounted to die-cast housing for optimal heat transfer and operating efficiency. Optional swing-down galvanized steel power tray with integral handle and quick disconnects allows tray to be completely removed from housing providing ample room for fixture installation and maintenance.

Reflector

Choice of nine high efficiency optical distributions, including five segmented optical systems constructed of premium 95% reflective anodized aluminum sheet. Optical segments are rigidly mounted inside a thick gauge aluminum housing for superior protection. All segment faces are clean of rivet heads, tabs or other means of attachment which may cause streaking in the light distribution. Optical modules are field rotatable in 90° increments and offered standard with mogul-base lampholders for High Pressure Sodium and 200-400W Metal Halide assemblies or medium-base lampholders for Metal Halide 150W and below.

Mounting

Extruded 8" aluminum arm features internal bolt guides for easy positioning of fixture during installation to pole or wall surface. Standard single carton packaging of housing, square pole arm and round pole adapter allow for consolidated product arrival at site. Optional internal mast arm mount accepts a 1-1/4" to 2-3/8" O.D. horizontal tenon, while a four-bolt clamping mechanism secures fixture. Cast-in leveling guides provide +/-5° vertical leveling adjustment.

Finish

Housing and arm finished in a five-stage premium TGIC based polyester powder coat paint. Optional colors include black, grey, white, dark platinum and graphite metallic. RGB, and custom color matches available.

PHOTOMETRICS

MPTF-LS 320
320-Watt MP
30-200°-Lumen Clear Lamp
Type II Segmented

MPTF-LS 400
400-Watt MP
40-200°-Lumen Clear Lamp
Type II Segmented

MPTF-LS 400
400-Watt MP
40-200°-Lumen Clear Lamp
Spill Light Eliminator

MPTF-LS 320
320-Watt MP
30-200°-Lumen Clear Lamp
Type II Segmented

MPTF-LS 400
400-Watt MP
40-200°-Lumen Clear Lamp
Type II Segmented

MPTF-LS 400
400-Watt MP
40-200°-Lumen Clear Lamp
Spill Light Eliminator

TRIBUTE

70-400W
High Pressure Sodium
Metal Halide
Pulse Start Metal Halide

AREA-SITE LUMINAIRE

DIMENSIONS

DRILLING PATTERNS

TYPE 'M'

WALL MOUNT (MOUNT-XX)

TRUNNION MOUNT

TECHNICAL DATA

UL Listed Luminaire Listed
CSA Certified
EISA Compliant @

ENERGY DATA

Hg Reactance Ballast Input Watts
100W HPS HPS (150 Watts)
100W HPS HPS (130 Watts)
100W HPS HPS (110 Watts)
100W MP HPS (115 Watts)

CWI Ballast Input Watts
250W HPS HPS (300 Watts)

CWA Ballast Input Watts
170W MH HPS (210 Watts)
200W MP HPS (227 Watts) @
200W MH HPS (250 Watts)
250W MH HPS (285 Watts)
250W MP HPS (283 Watts) @
320W MP HPS (385 Watts) @
320W MH HPS (387 Watts) @
400W MP HPS (462 Watts) @
400W MH HPS (465 Watts)
400W HPS HPS (465 Watts)

EPA DATA
Effective Projected Area (Sq. Ft.)
Single w/ arm: 1.59
Single w/o arm: 1.09

SHIPPING DATA
Approximate Net Weight:
39 lbs. (17.7 kgs.)

Power Quality Solutions

Power Quality Solutions

Eaton
12511 Highway 76 South
Piquette, CA, 95358
P 707-480-4600
www.eaton.com/lighting

Specifications and dimensions subject to change without notice.

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TAPESTRY TURKEY CREEK
Knoxville, TN

Arlington Properties
22117 Second Avenue North, Suite 300
Birmingham, AL

UOR SUBMITTAL-LANDSCAPE PLAN

LIGHTING SPECIFICATIONS

Sheet Number:

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