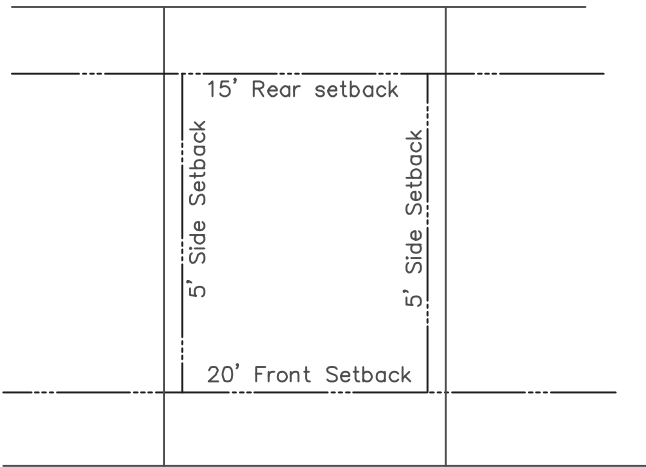
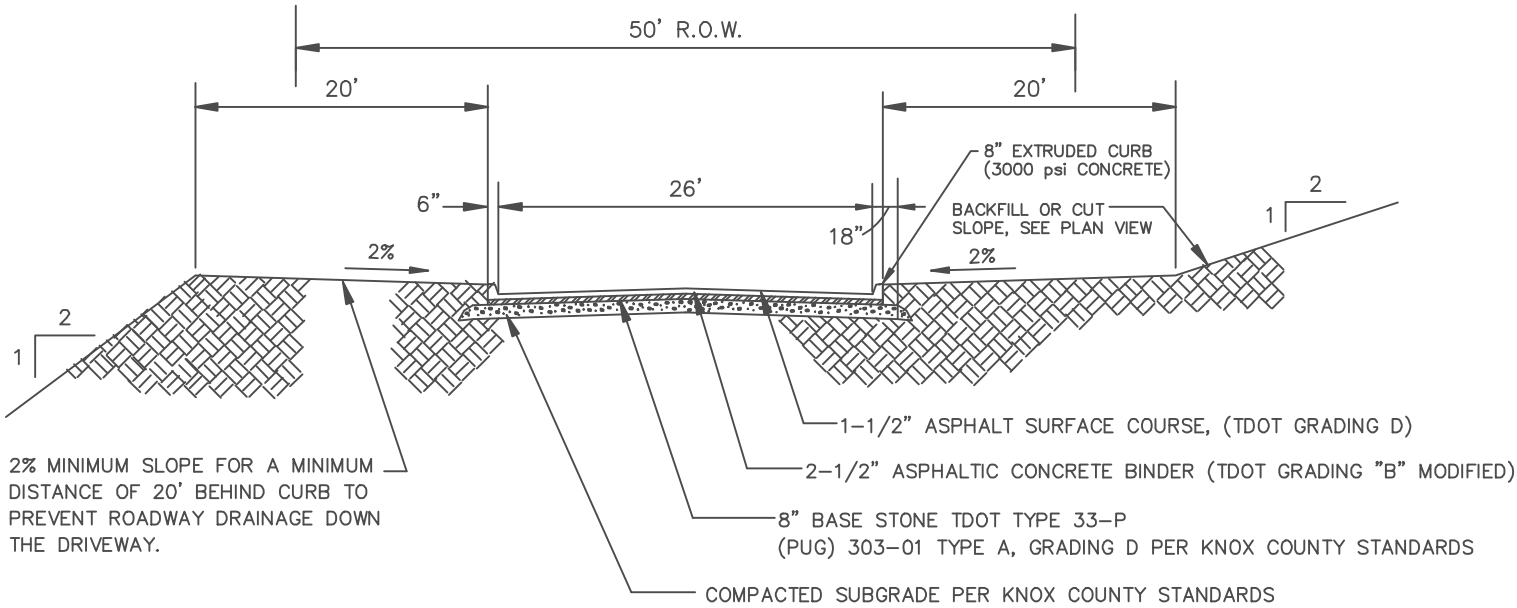


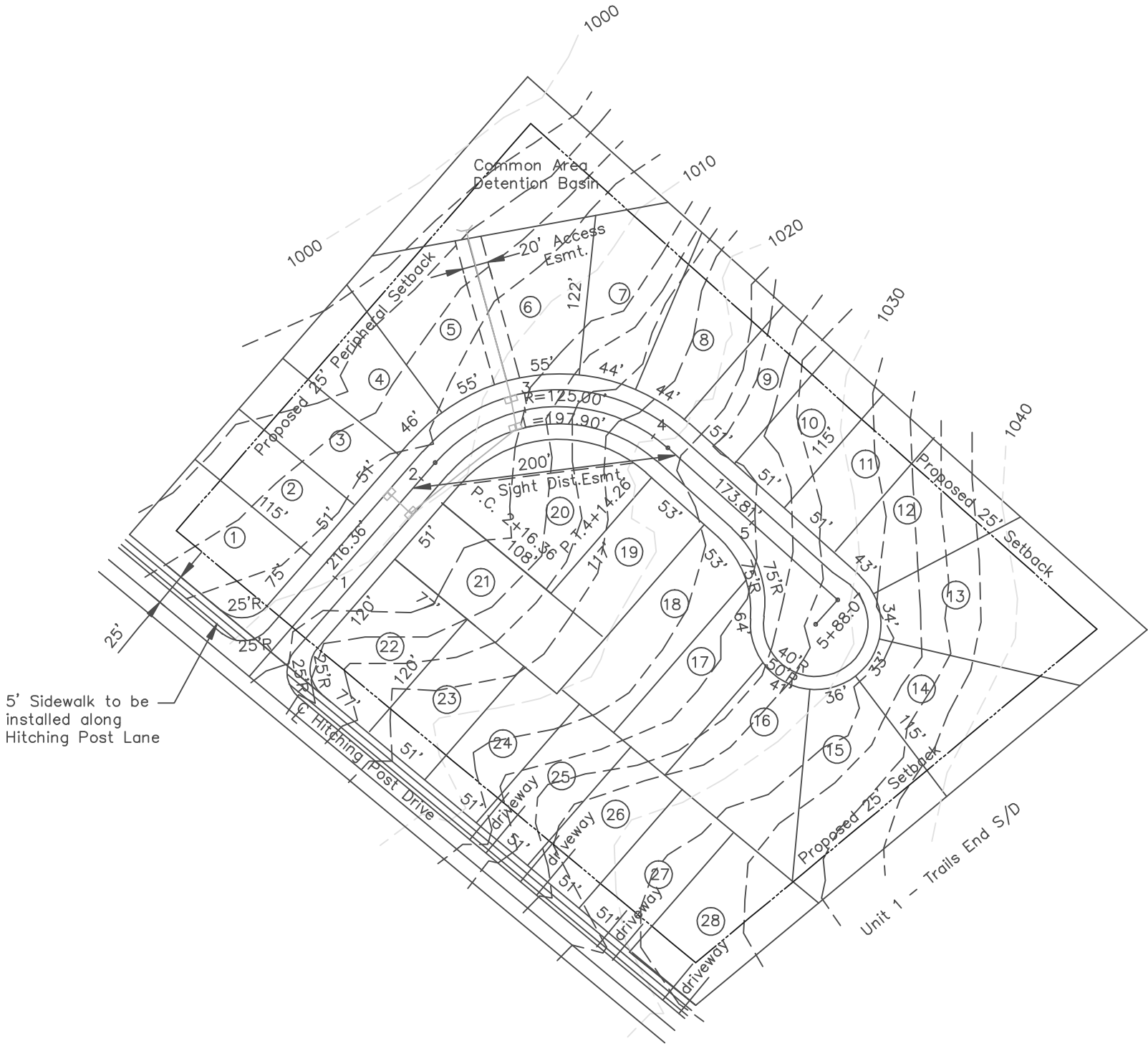
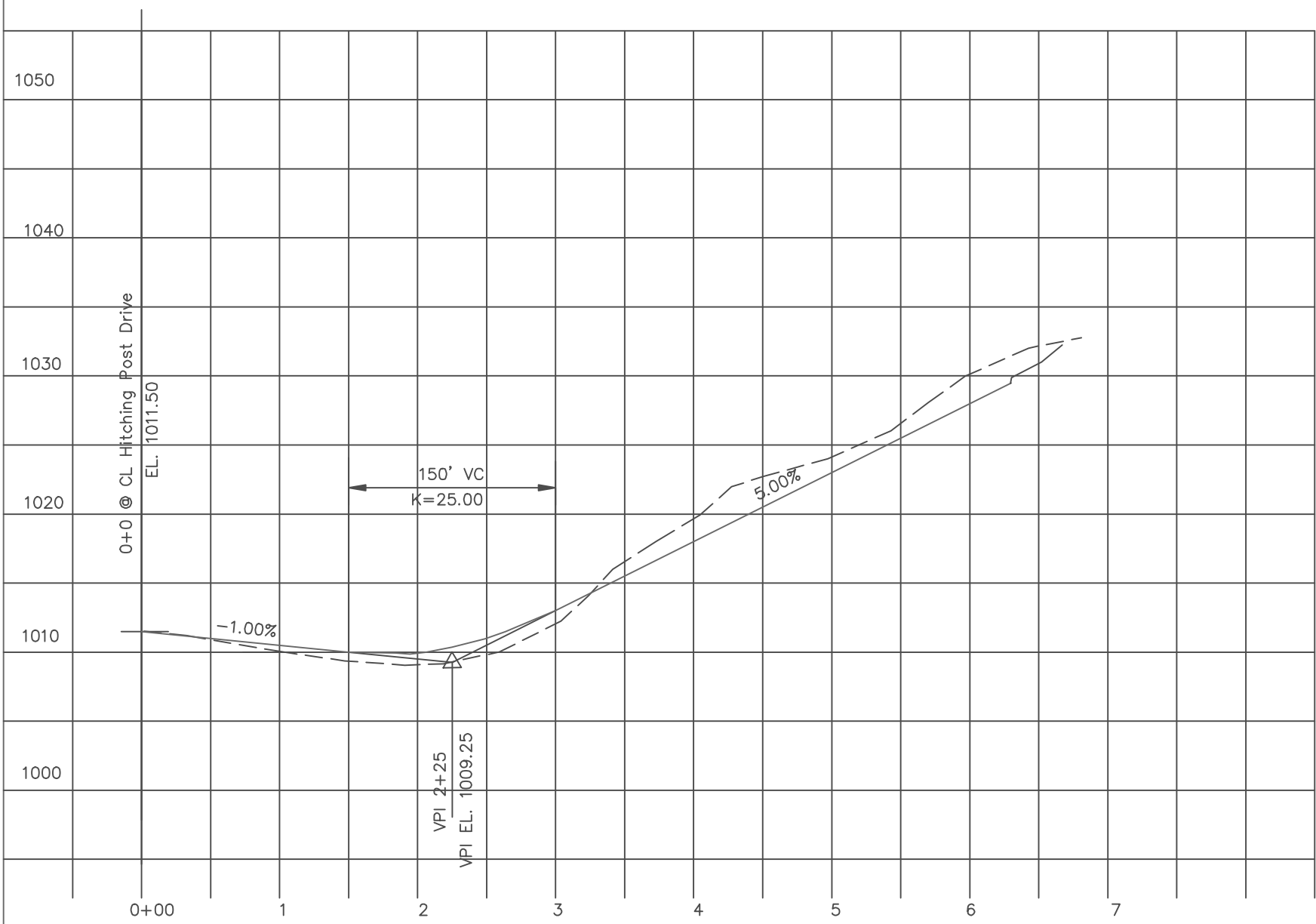
NOTE: All setbacks are controlled by proposed 20' or 25' peripheral setback or as noted where applicable.



TYPICAL LOT LAYOUT
NTS



TYPICAL ROADWAY CROSS-SECTION
NTS



- NOTES:
1. CLT MAP 104, PARCEL 192.01.
 2. NO. OF LOTS - 28.
 3. AREA - 6.44 ACRES.
 4. THIS PROPERTY IS ZONED PR.
 5. 10' UTILITY & DRAINAGE EASEMENT INSIDE ALL ROAD LOT LINES, 5' INSIDE ALL OTHER INTERIOR LOT LINES AND EXTERIOR LOT LINES.

NOTE: ALL INTERSECTION RADII OF PVMT.
AND R/W IS 25'.
ALL RETURN RADII AT CUL-DE-SAC
ARE 75'.

CERTIFICATION OF CONCEPT PLAN

I hereby certify that I am a Surveyor, licensed to do surveying under the laws of the State of Tennessee. I further certify these plans and accompanying drawings, documents and statements conform to all applicable provisions of the Knoxville-Knox County Subdivision Regulations except as has been itemized and described

TN RLS #1306

SURVEYOR:
JIM SULLIVAN
2543 CREEKSTONE CIRCLE
MARYVILLE, TN. 37804
PH. 406-7324

OWNER:
MESANA INVESTMENTS, LLC
P.O. BOX 11315
KNOXVILLE, TN. 37939
PH. (865) 693-3356

10-SC-19-C
10-H-19-UR
Revised: 9/24/2019

CONCEPT PLAN & SITE PLAN
DENALI

CLT MAP 104, PARCEL 192.01
DISTRICT 6 - KNOX CO., TENN.
SCALE: 1"=100' - SEPT. 24, 2019