

PURPOSE: The purpose of this Use-on-Review application is to approve the conversion of a residential home located in an office zoned district into a veterinary clinic. The existing clinic, Forest Park Clinic for Cats and Dogs, is located at the other end of the street, at the corner of Forest Park Boulevard and Chambliss Avenue, and is within the same office zoned district as the proposed house location.

SCOPE: The project consists of renovating the main floor, adding a main floor addition, and updating parking and surrounding site to achieve current accessible requirements.

PLANS REVIEW #: **11-B-20-SU**

ADDRESS: 4600 Chambliss Avenue, Knoxville, TN 37938

PARCEL ID: 107KE011

SUB DIVISION: Dixie Meadows

ZONING: "O" - Office

PARKING USE: Animal Care Facility - Small

PARKING CALC SF: Main Level + Addition: 1371sf + 875sf = 2,246 SF
Basement Level: 753 SF (Usable)
Attic: 448 SF
TOTAL: 3447 SF
(MIN: 2.5/1000gsf = 9 spaces)
(MAX: 3.5/1000gsf = 12 spaces)

PARKING COUNT: Back Lot: (10) Spaces
Front Parallel: (3) Spaces + (1) Van Accessible Space

PARCEL ACREAGE: 0.32 ACRES

DEVELOPMENT CALCULATION:		
ITEM	SF	VALUE
* CURRENT SF:	2572 SF	\$305,000.00 (Purchase Price)
** ADDED SF:	875 SF	-
* AFTER IMPROVEMENTS:	3447 SF	\$408,760.00

* Main Level + Basement + Attic
** Main Level Only

**STUDIO
FOUR
DESIGN, INC.**
ARCHITECTURE & INTERIORS

414 Clinch Ave. Knoxville, TN 37902
p 865 523-5001 f 865 523-5003
studiofourdesign.com

**Forest Park Clinic
for Cats and Dogs**
4600 Chambliss Avenue
Knoxville, 37919

NOT FOR
CONSTRUCTION
SD
Schematic Design

Project Phase: Schematic Design

Issue Date: 11/05/2020

Revisions

No.	Description	Date

Job Number: 20093

Site Plan

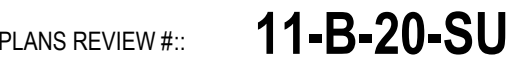
A0.1

NOT FOR
CONSTRUCTION
SD
Schematic Design

[illegible]

Floor Plan

A1.1





REFERENCE:
DEED INST. 200805190086823
PLAT BOOK 13, PAGE 151



REVISION	DATE	DESCRIPTION	BY
2	11/09/20	GENERAL REVISIONS	CAS
1	11/05/20	GENERAL REVISIONS	CLM

URBAN ENGINEERING, INC. 11852 KINGSTON PIKE FARRAGUT, TENNESSEE 37922 (665) 966-1924		
DWN: CLM	CHK: CAS	DWG. NO. 2010026

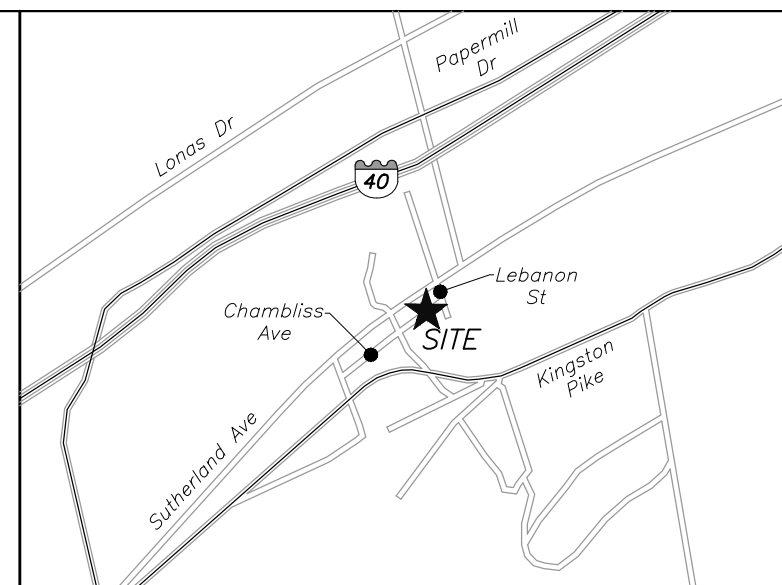
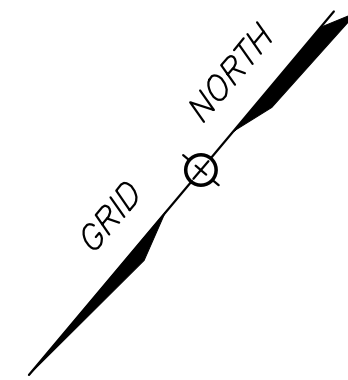
MPC FILE# 11-B-20-SU

SHEET C1.1

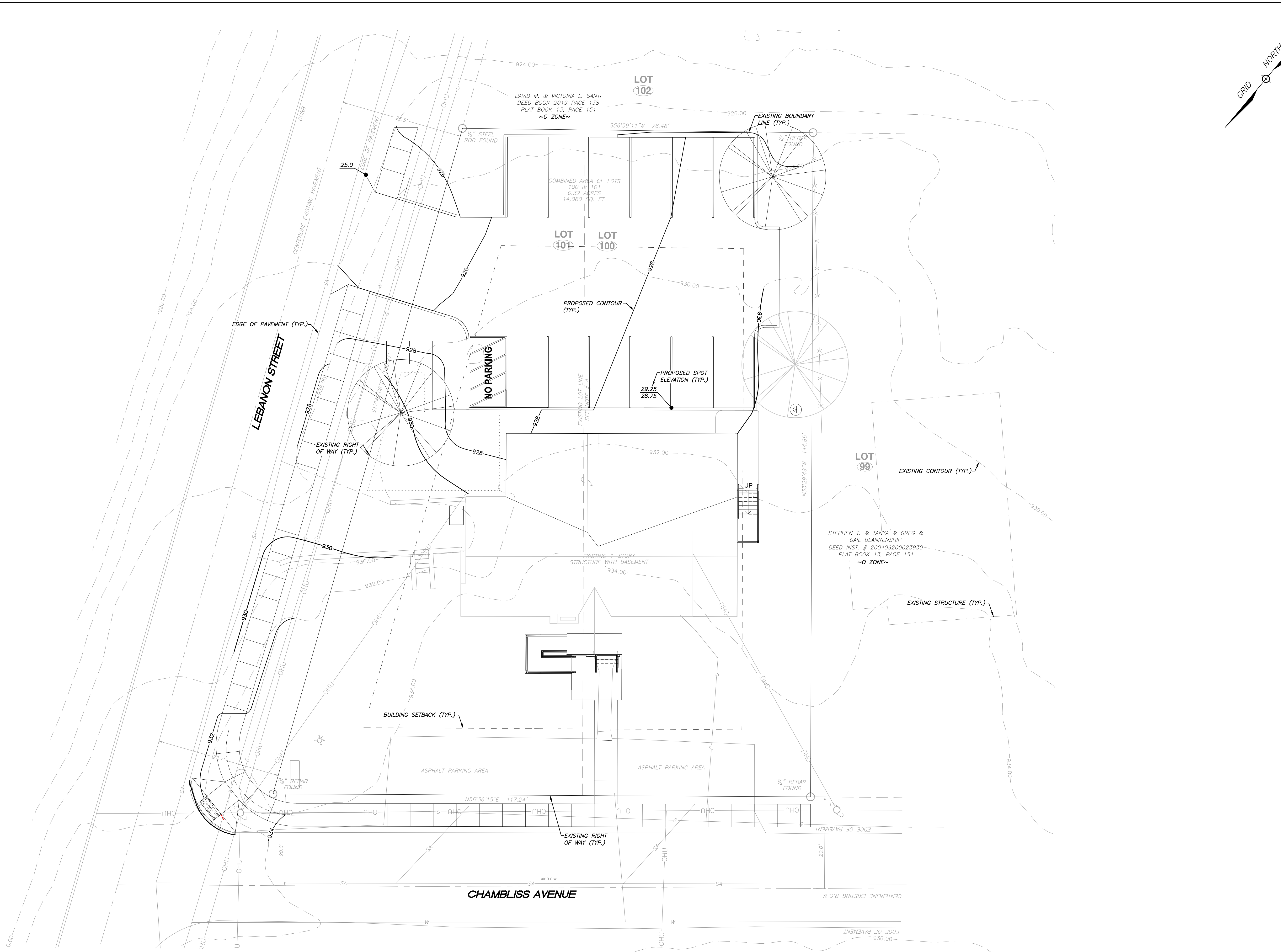
PRELIMINARY GRADING PLAN FOREST PARK ANIMAL CLINIC SITE ADDRESS: 4600 CHAMBLISS AVENUE (37919)		
CITY OF KNOXVILLE DISTRICT NO. 5 CLT MAP 107 SCALE: 1"=10'	KNOX CO., TN. CITY BLOCK NO. 49530 INSERT 'K' GROUP 'E' PARCEL 11 OCTOBER 23, 2020	

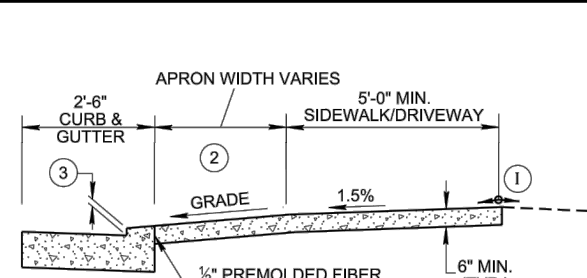
GRADING PLAN NOTES:

1. THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC., AND COMPLYING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TENN ONE-CALL PRIOR TO ANY EXCAVATION WORK, TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF KNOXVILLE'S SPECIFICATIONS FOR SITE DEVELOPMENT.
3. CLEAR AND GRUB PER SPECS. REMOVE TREES, BRUSH, DEBRIS, AND STUMPS FROM THE WORK AREA. REMOVE ALL BUILDINGS, DRIVES, CROSS FENCES, AND MISCELLANEOUS EQUIPMENT.
4. STRIP AND STOCKPILE TOPSOIL NEEDED FOR RESPREADING AND SEEDING. SURROUND TOPSOIL PILE WITH SILT FENCE, STRAW BALES, TEMPORARY SEEDING OR ADDITIONAL MEASURES AS NEEDED TO PREVENT EROSION/SEDIMENTATION.
5. AFTER STRIPPING AND REMOVAL, PROOF ROLL ENTIRE DISTURBED AREA WITH TANDEM TRUCK FULLY LOADED WITH EARTH. REMOVE ANY AREAS WHICH ARE SOFT OR YIELDING UNDER LOAD AND REPLACE WITH NEW MATERIAL MEETING PROJECT SPECIFICATIONS.
6. IF UNSUITABLE SUBGRADE MATERIALS ARE ENCOUNTERED, THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT WITH APPROVED MATERIAL FROM ONSITE OR APPROVED OFFSITE BORROW AREA. UNSUITABLE MATERIALS ARE THOSE CLASSIFIED AS MH, CH, OH, OL, AND PEAT IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM.
7. COMPACTION REQUIREMENTS ARE SUMMARIZED AS FOLLOWS: (PLACE IN 8" LIFTS)
 - a. TOP 24 INCHES OF SUBGRADE UNDER PAVED AREAS 100 PERCENT STANDARD PROCTOR - LOWER THAN 24 INCHES BELOW PAVED AREA 95 PERCENT STANDARD PROCTOR.
 - b. AREAS WITHIN THE BUILDING ENVELOPE TO BE PREPARED IN ACCORDANCE WITH RECOMMENDATIONS IN REPORT OF GEOTECHNICAL INVESTIGATION AND/OR AS DIRECTED BY THE SOILS ENGINEER.
8. ALL FINISHED YARD AREAS SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL. YARD FINISHED GRADES SHOWN ARE AFTER PLACEMENT OF 4 INCHES OF TOPSOIL. ALL FINISHED YARD SURFACES SHALL BE SMOOTHLY AND UNIFORMLY GRADED, FREE FROM IRREGULARITIES AND SHALL BE FULLY FUNCTIONAL TO PROVIDE POSITIVE DRAINAGE AT ALL LOCATIONS.
9. PROPOSED SPOT ELEVATIONS AND PROPOSED CONTOURS ARE AFTER THE INSTALLATION OF TOPSOIL IN GRASSED AREAS, PAVING WITHIN DRIVES AND FLATWORK.
10. IT IS THE RESPONSIBILITY OF THE OWNER TO ATTAIN PERMISSION FROM THE NEIGHBOR TO WORK ON HIS OR HER PROPERTY.
11. THE HORIZONTAL COORDINATES ARE NAD83. THE VERTICAL DATUM IS NAVD88.
12. TURF REINFORCEMENT MAT SHALL BE INSTALLED ON ALL SLOPES STEEPER THAN 3:1.
13. ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
14. THIS PLAN IS CONCEPTUAL ONLY AND IS NOT FOR CONSTRUCTION.



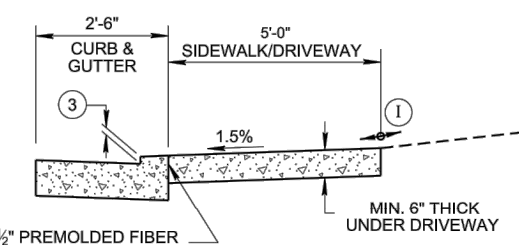
LOCATION MAP





SECTION A-A (6)

LEGEND

 DIMENSION VARIES RELATIVE TO LONGITUDINAL ROADWAY GRADE

SECTION C-C (8)

- (A) DUE TO THE ELEVATION CHANGE FOR PEDESTRIANS ON THE SIDEWALK, THIS APPLICATION IS UNDESIRABLE AND IS TO BE USED IN LIMITED APPLICATIONS. SEE RP-D-15 FOR THE PREFERRED DRIVEWAY TYPE.
- (B) 6" MINIMUM SIDEWALK WITH A MAXIMUM CROSS SLOPE OF 1.5% THROUGH DRIVEWAYS.
- (C) DESIGNER TO CHECK GUTTER FLOW DEPTH AT DRIVEWAY LOCATIONS TO ASSURE THAT THE DESIGN FLOW DOES NOT OVERTOP THE SIDEWALK AREA. IF OVERTOPPING OCCURS, PLACE AN INLET AT THE UPSTREAM SIDE OF THE DRIVEWAY OR PERFORM OTHER DESIGN MITIGATION.
- (D) THE SLOPE OF THE LANDING AREA SHALL NOT EXCEED 1.5% IN THE SIDEWALK AREA.
- (E) DRIVEWAYS TO BE BUILT COMPLETE OR IN PART AS INDICATED ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
- (F) ALL CONCRETE DRIVEWAYS TO BE 6" UNIFORM THICKNESS, UNLESS OTHERWISE SHOWN ON PLANS.
- (G) EXPANSION JOINTS TO BE PLACED AS INDICATED ON THE PLANS EXCEPT JOINT AT BACK OF DRIVEWAY WHICH WILL BE PLACED WHERE A CURBWAY ABUTS A ROAD DRIVEWAY OR BUILDING.
- (H) THE ROADWAY DESIGNER SHALL CONSIDER THE USE OF A CATCH BASIN ON EITHER SIDE OF DRIVEWAY. CAREFUL CONSIDERATION TO THE PLACEMENT OF CATCH BASINS SHALL BE TAKEN IF THE DRIVEWAY IS IN A VERTICAL SAG CURVE.
- (I) ALGEBRAIC DIFFERENCE NOT TO EXCEED 10.0%.
- (J) PAY ITEMS:

ITEM NO. 701-01.01,	CONCRETE SIDEWALK (4")	S.F.
ITEM NO. 701-02,	CONCRETE DRIVEWAY	S.F.
ITEM NO. 702-03,	CONCRETE COMBINED CURB & GUTTER,	
- (K) WHEN MORE THAN 2 DRIVEWAYS ARE PROPOSED, USE TYPE "A" C/WAY AS SHOWN ON STANDARD DRAWING TP-15-2 TO REDUCE ROLLER CATCH EFFECT FOR PEDESTRIANS.
- (L) MINIMUM DRIVEWAY WIDTHS ARE 12' (14' TWO WAY) FOR RESIDENTIAL AND 24' (40' MAX.) FOR COMMERCIAL.
- (M) SEE SECTION 615.13 IN THE MANUAL FOR CONSTRUCTING DRIVEWAY ENTRANCES ON STATE HIGHWAYS (2015) FOR RADIIUS OF CURVATURE GUIDANCE.
- (N) ALL SIDEWALKS SHALL HAVE A MINIMUM COMBINED THICKNESS OF 4".

☐ APPROVED BY FHWA
(ALL OTHERS APPROVED BY TDOT)

DETAILS OF LOWERED STANDARD CONCRETE DRIVEWAYS

RP-D-16



SHEET C1.2

DRIVEWAY PROFILE AND SITE DETAILS

FOREST PARK ANIMAL CLINIC

SITE ADDRESS: 4600 CHAMBLISS AVENUE (37919)

CITY OF KNOXVILLE KNOX CO., TN
DISTRICT NO. 5 CITY BLOCK NO. 49530
CLT MAP 107 INSERT 'K' GROUP 'E' PARCEL 11
SCALE: 1"=10' OCTOBER 23, 2020



URBAN ENGINEERING, INC.
11852 KINGSTON PIKE
FARRAGUT, TENNESSEE 37922
(865) 966-1924

DWN: CLM	CHK: CAS	DWG. NO. 2010026
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1	11/05/20	GENERAL REVISIONS	CL
REVISION	DATE	DESCRIPTION	BY



URBAN ENGINEERING, INC.

CIVIL ENGINEERS • LAND PLANNERS • LAND SURVEYORS

October 20, 2020

City of Knoxville Engineering
Joshua Jenkins
City County Building, Suite 480
P.O. Box 1631
Knoxville, TN 37901

and

Knox County / Knoxville MPC
Michelle Portier, AICP
Suite 403, City County Building
400 Main Street
Knoxville, TN 37902

Re: Sight Distance Evaluation – 4600 Chambliss Avenue (11-B-20-UR)

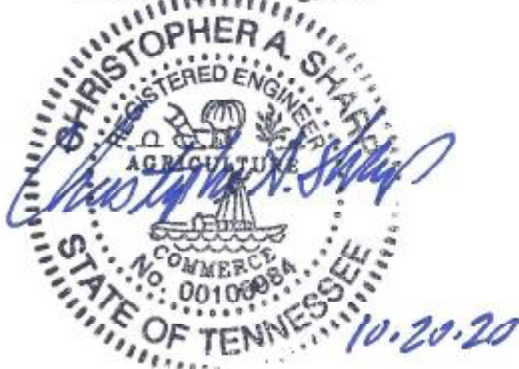
Dear Joshua and Michelle:

Sight distance was measured to the north and south of the proposed entrance location shown on Sheet C1.1 of our recent Special Use Submittal. Per AASHTO, the minimum required stopping sight distance is 250 feet. Facing south, the available sight distance is greater than 500 feet. Facing north, the available sight distance will be approximately 350 feet following the removal of vegetation along Lebanon Street.

Attached to this letter you will find line of sight profiles in both directions, along with photographs taken from the entrance location facing both directions. Please do not hesitate to contact me if you have questions or comments about this letter or attachments.

Sincerely,

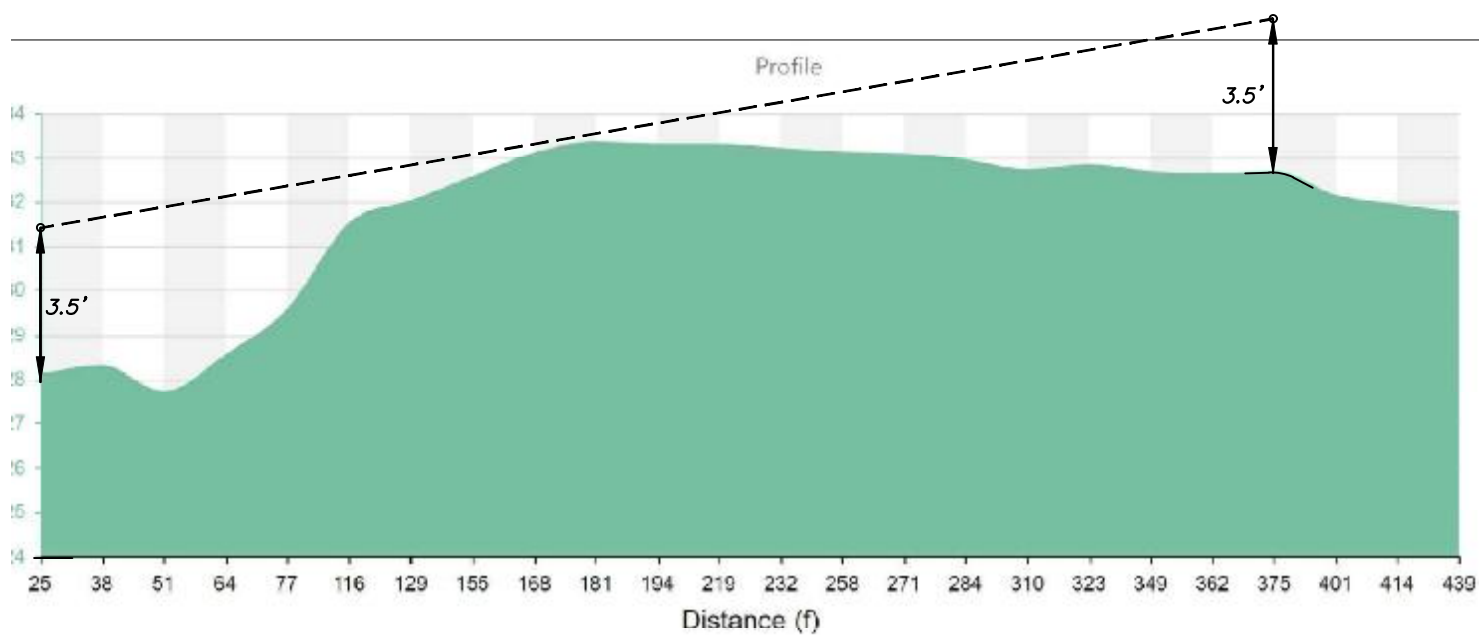
Urban Engineering, Inc.



Chris Sharp, P.E.



LINE OF SIGHT – N.T.S.

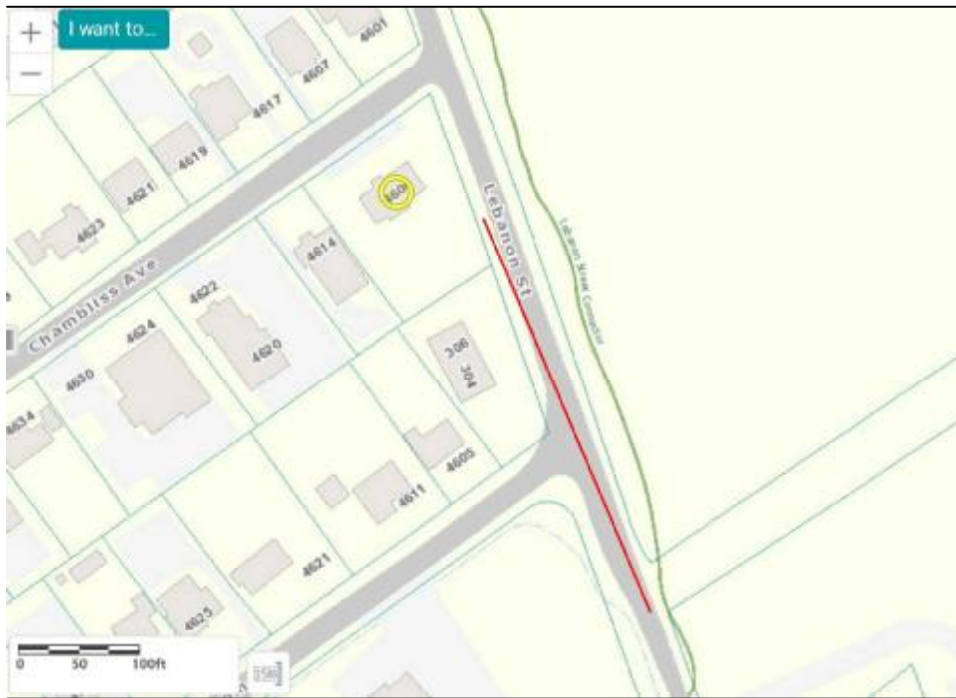


LINE OF SIGHT PROFILE – N.T.S.

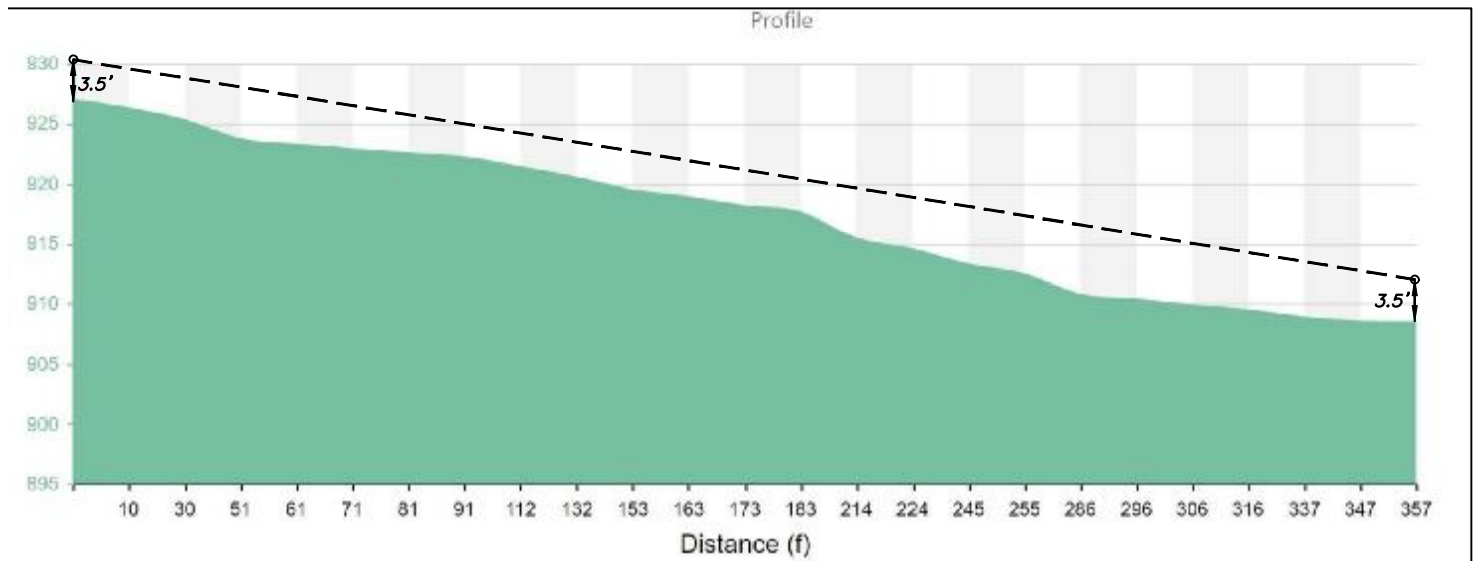
SIGHT DISTANCE – NORTH
4600 CHAMBLISS AVE

CITY OF KNOXVILLE
 PARCEL ID: 107KE011
 SCALE: N.T.S.

KNOX COUNTY
 TENNESSEE
 OCTOBER 21, 2020



LINE OF SIGHT – N.T.S.



LINE OF SIGHT PROFILE – N.T.S.

SIGHT DISTANCE – SOUTH
4600 CHAMBLISS AVE

CITY OF KNOXVILLE
 PARCEL ID: 107KE011
 SCALE: N.T.S.

KNOX COUNTY
 TENNESSEE
 OCTOBER 31, 2020



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Sight Distance From Ingress/Egress – North



Sight Distance From Ingress/Egress – South