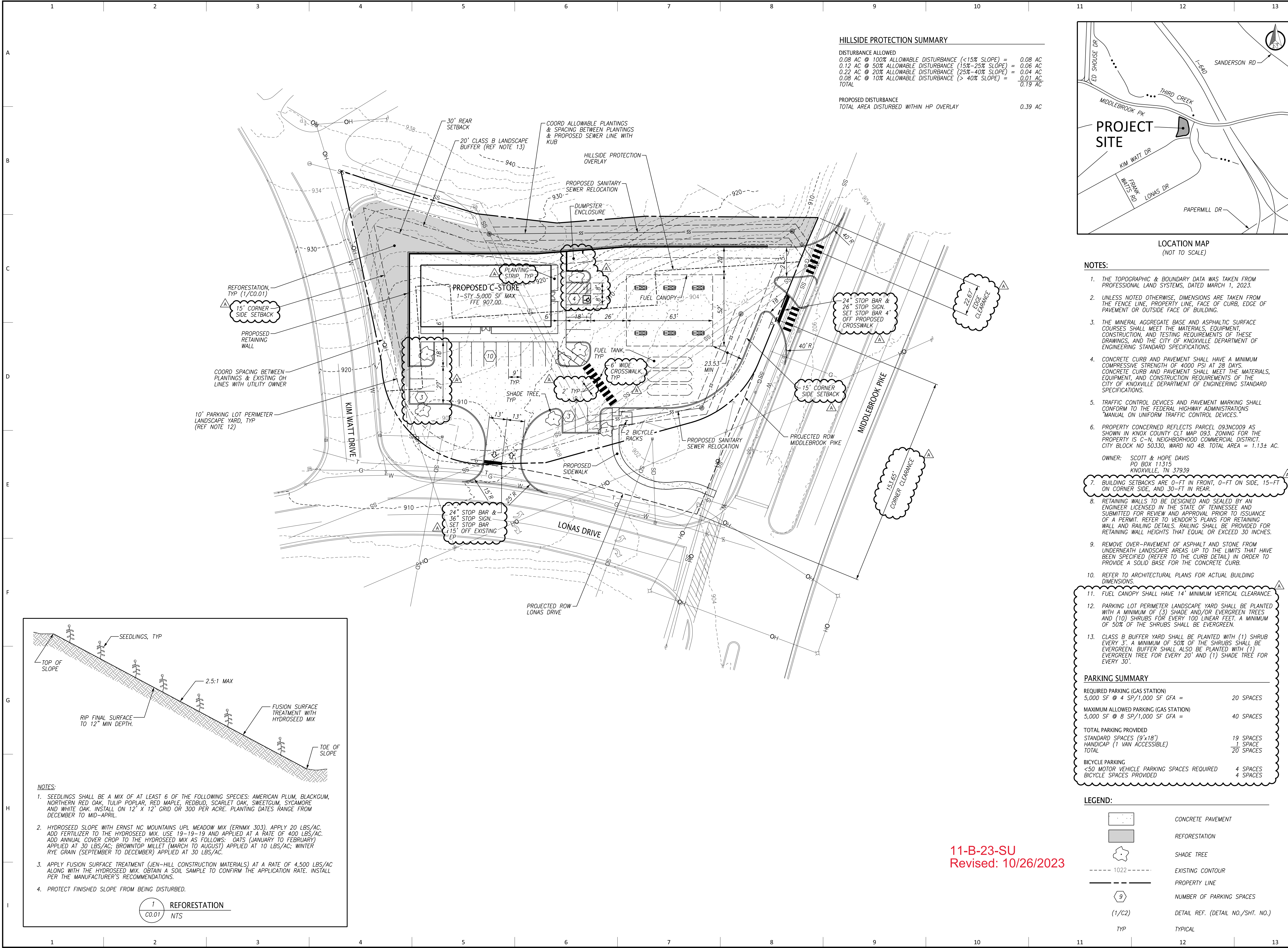


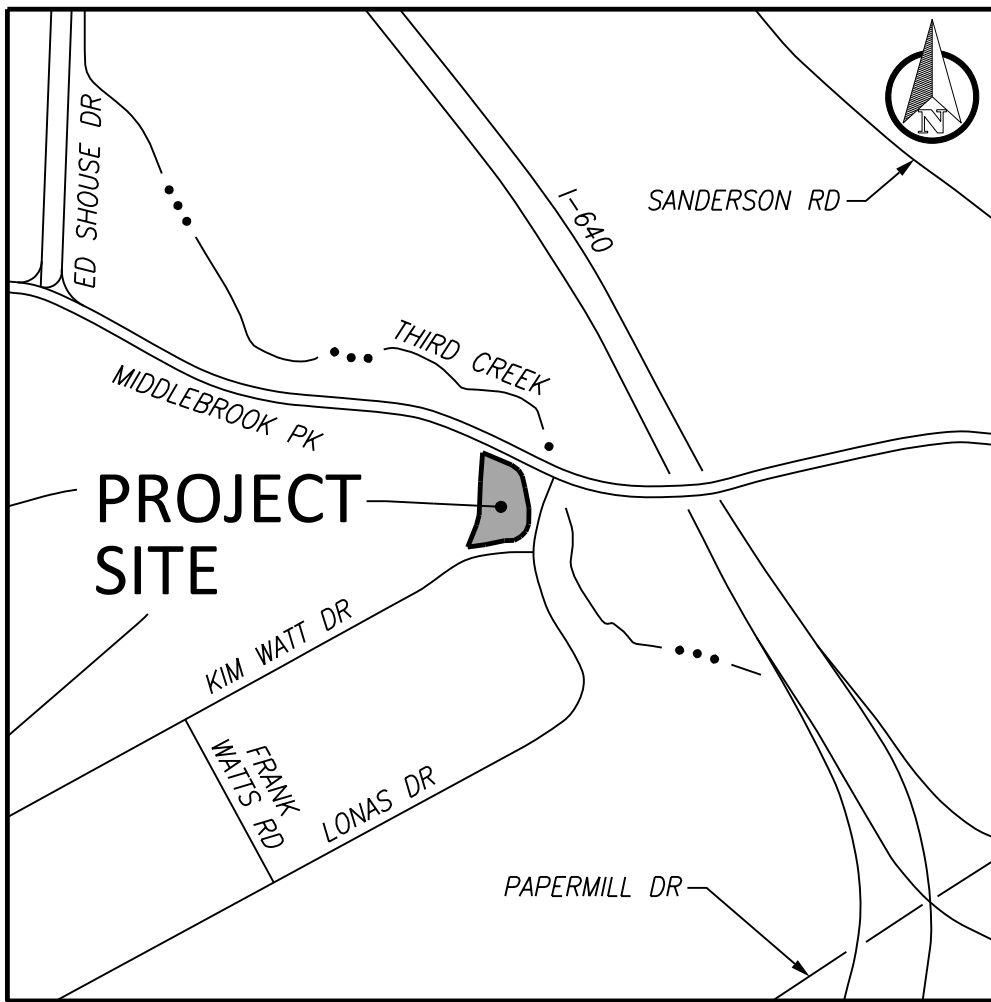
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Plot Date: 10/26/2023



HILLSIDE PROTECTION SUMMARY

DISTURBANCE ALLOWED	
0.08 AC @ 100% ALLOWABLE DISTURBANCE (<15% SLOPE) =	0.08 AC
0.12 AC @ 50% ALLOWABLE DISTURBANCE (15%-25% SLOPE) =	0.06 AC
0.22 AC @ 20% ALLOWABLE DISTURBANCE (25%-40% SLOPE) =	0.04 AC
0.08 AC @ 10% ALLOWABLE DISTURBANCE (> 40% SLOPE) =	0.01 AC
TOTAL	0.19 AC

PROPOSED DISTURBANCE	
TOTAL AREA DISTURBED WITHIN HP OVERLAY	0.39 AC



LOCATION MAP
(NOT TO SCALE)

NOTES:

- THE TOPOGRAPHIC & BOUNDARY DATA WAS TAKEN FROM PROFESSIONAL LAND SYSTEMS, DATED MARCH 1, 2023.
- UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN FROM THE FENCE LINE, PROPERTY LINE, FACE OF CURB, EDGE OF PAVEMENT OR OUTSIDE FACE OF BUILDING.
- THE MINERAL AGGREGATE BASE AND ASPHALTIC SURFACE COURSES SHALL MEET THE MATERIALS, EQUIPMENT, CONSTRUCTION, AND TESTING REQUIREMENTS OF THESE DRAWINGS, AND THE CITY OF KNOXVILLE DEPARTMENT OF ENGINEERING STANDARD SPECIFICATIONS.
- CONCRETE CURB AND PAVEMENT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. CONCRETE CURB AND PAVEMENT SHALL MEET THE MATERIALS, EQUIPMENT, AND CONSTRUCTION REQUIREMENTS OF THE CITY OF KNOXVILLE DEPARTMENT OF ENGINEERING STANDARD SPECIFICATIONS.
- TRAFFIC CONTROL DEVICES AND PAVEMENT MARKING SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATIONS "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
- PROPERTY CONCERNED REFLECTS PARCEL 093NC009 AS SHOWN IN KNOX COUNTY CLT MAP 093. ZONING FOR THE PROPERTY IS C-N, NEIGHBORHOOD COMMERCIAL DISTRICT. CITY BLOCK NO 50330, WARD NO 48. TOTAL AREA = 1.13± AC.

OWNER: SCOTT & HOPE DAVIS
PO BOX 11315
KNOXVILLE, TN 37939

- BUILDING SETBACKS ARE 0'-FT IN FRONT, 0'-FT ON SIDE, 15'-FT ON CORNER SIDE, AND 30'-FT IN REAR.
- RETAINING WALLS TO BE DESIGNED AND SEALED BY AN ENGINEER LICENSED IN THE STATE OF TENNESSEE AND SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF A PERMIT. REFER TO VENDOR'S PLANS FOR RETAINING WALL AND RAILING DETAILS. RAILING SHALL BE PROVIDED FOR RETAINING WALL HEIGHTS THAT EQUAL OR EXCEED 30 INCHES.
- REMOVE OVER-PAVEMENT OF ASPHALT AND STONE FROM UNDERNEATH LANDSCAPE AREAS UP TO THE LIMITS THAT HAVE BEEN SPECIFIED (REFER TO THE CURB DETAIL) IN ORDER TO PROVIDE A SOLID BASE FOR THE CONCRETE CURB.
- REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.

- FUEL CANOPY SHALL HAVE 14' MINIMUM VERTICAL CLEARANCE.
- PARKING LOT PERIMETER LANDSCAPE YARD SHALL BE PLANTED WITH A MINIMUM OF (3) SHADE AND/OR EVERGREEN TREES AND (10) SHRUBS FOR EVERY 100 LINEAR FEET. A MINIMUM OF 50% OF THE SHRUBS SHALL BE EVERGREEN.
- CLASS B BUFFER YARD SHALL BE PLANTED WITH (1) SHRUB EVERY 3'. A MINIMUM OF 50% OF THE SHRUBS SHALL BE EVERGREEN. BUFFER SHALL ALSO BE PLANTED WITH (1) EVERGREEN TREE FOR EVERY 20' AND (1) SHADE TREE FOR EVERY 30'.

PARKING SUMMARY

REQUIRED PARKING (GAS STATION)	
5,000 SF @ 4 SP/1,000 SF GFA =	20 SPACES
MAXIMUM ALLOWED PARKING (GAS STATION)	
5,000 SF @ 8 SP/1,000 SF GFA =	40 SPACES
TOTAL PARKING PROVIDED	
STANDARD SPACES (9'x18')	19 SPACES
HANDICAP (1 VAN ACCESSIBLE)	1 SPACE
TOTAL	20 SPACES
BICYCLE PARKING	
<50 MOTOR VEHICLE PARKING SPACES REQUIRED	4 SPACES
BICYCLE SPACES PROVIDED	4 SPACES

LEGEND:

	CONCRETE PAVEMENT
	REFORESTATION
	SHADE TREE
	EXISTING CONTOUR
	PROPERTY LINE
	NUMBER OF PARKING SPACES
	DETAIL REF. (DETAIL NO./SHT. NO.)
TYP	TYPICAL

11-B-23-SU
Revised: 10/26/2023

NO.	DATE	BY	REVISION
1	10/26/23	JCH	REVISED PER PLANNING STAFF COMMENTS

LONAS & MIDDLEBROOK C-STORE
0 LONAS DRIVE

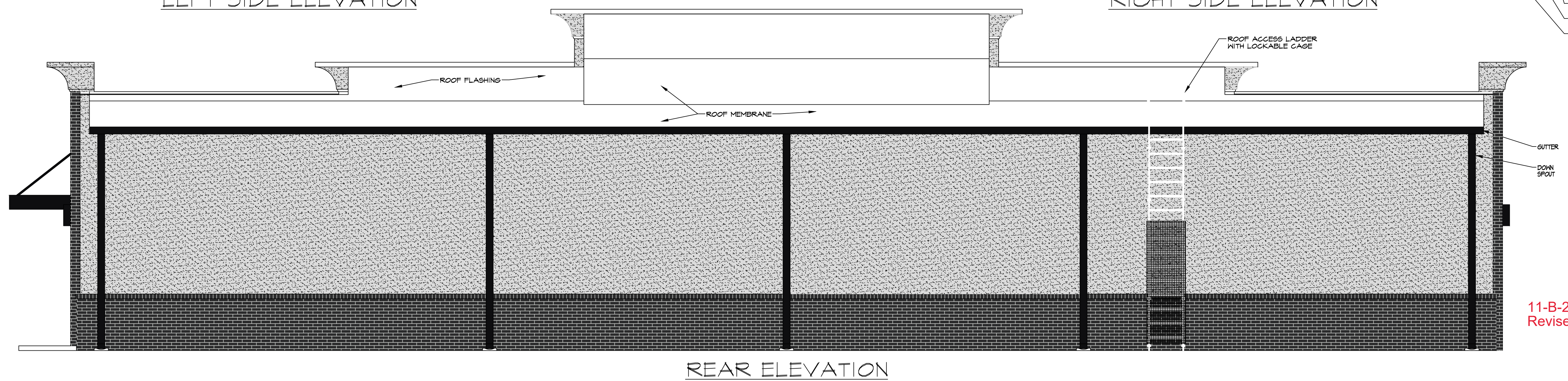
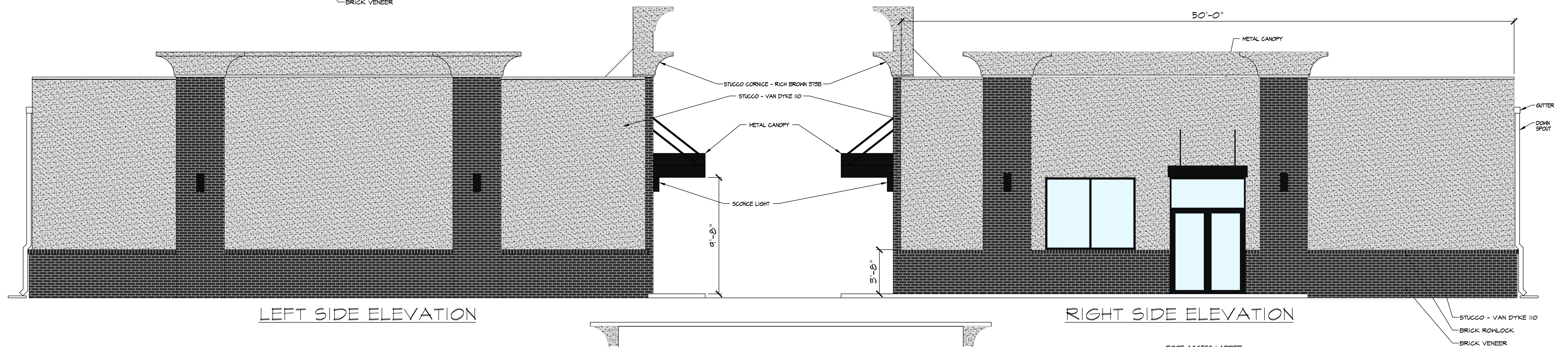
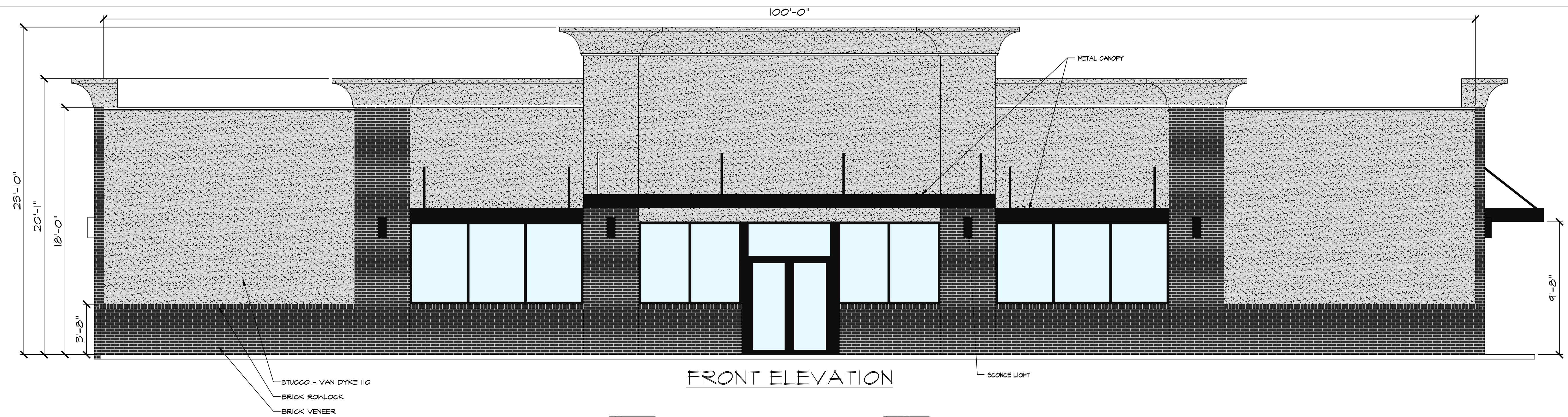
SPECIAL USE PLAN

PRELIMINARY
NOT FOR
CONSTRUCTION

JOB NO: 671.001.1
DATE: 09/19/2023

C0.01

SPECIAL USE PLAN
09/19/2023

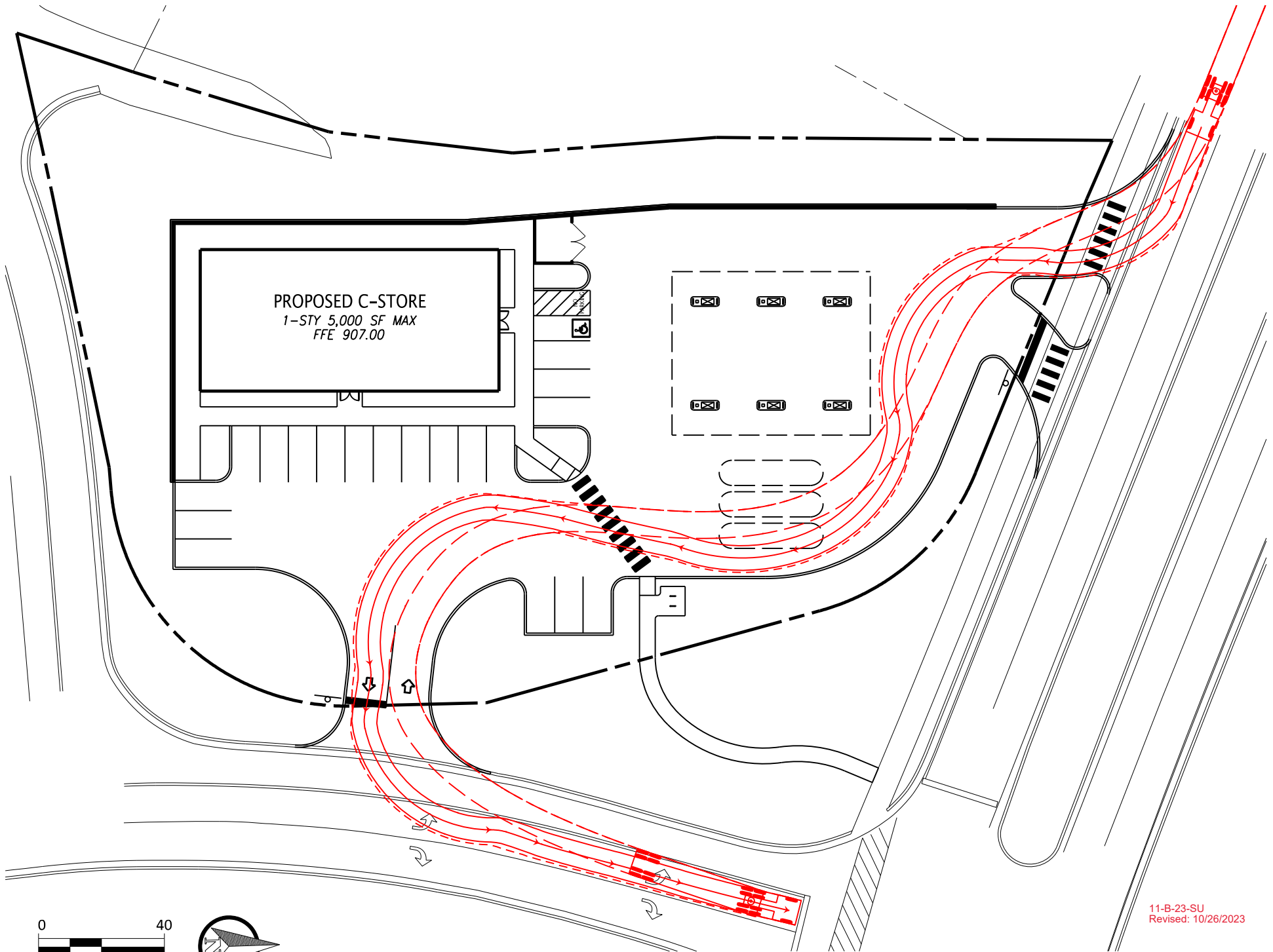


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Revised: 10/26/2023

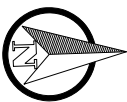
Lonas & Middlebrook
NEW C-STORE



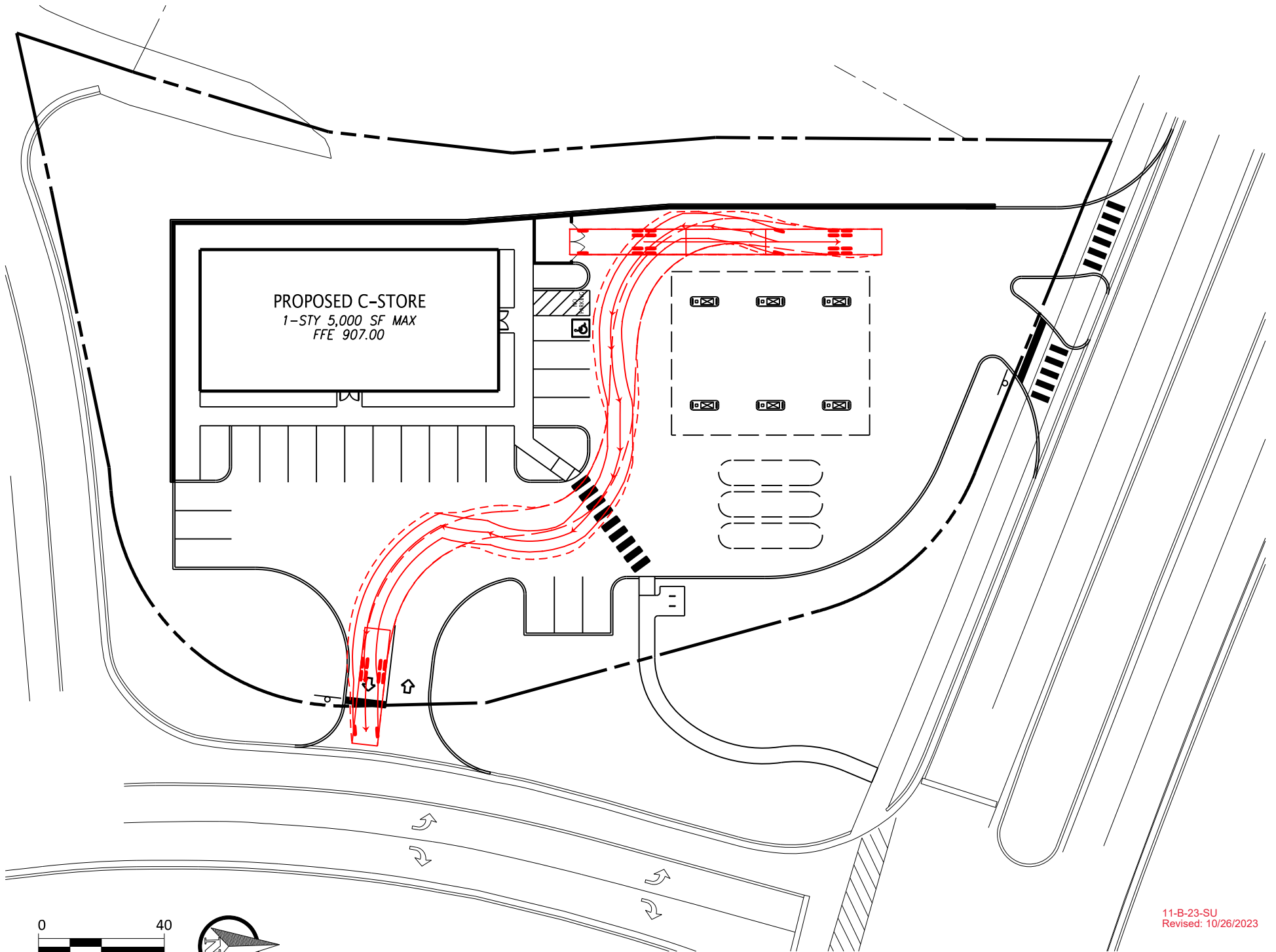
**DEFINITIVE
DESIGNS
GROUP INC.**
TEL# (706)860-6801 FAX# (706)860-2469
4210 BELAIR FRONTAGE RD
AUGUSTA, GA 30909



0 40
SCALE: FEET

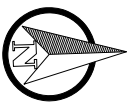


11-B-23-SU
Revised: 10/26/2023



PROPOSED C-STORE
1-STY 5,000 SF MAX
FFE 907.00

0 40
SCALE: FEET



11-B-23-SU
Revised: 10/26/2023

