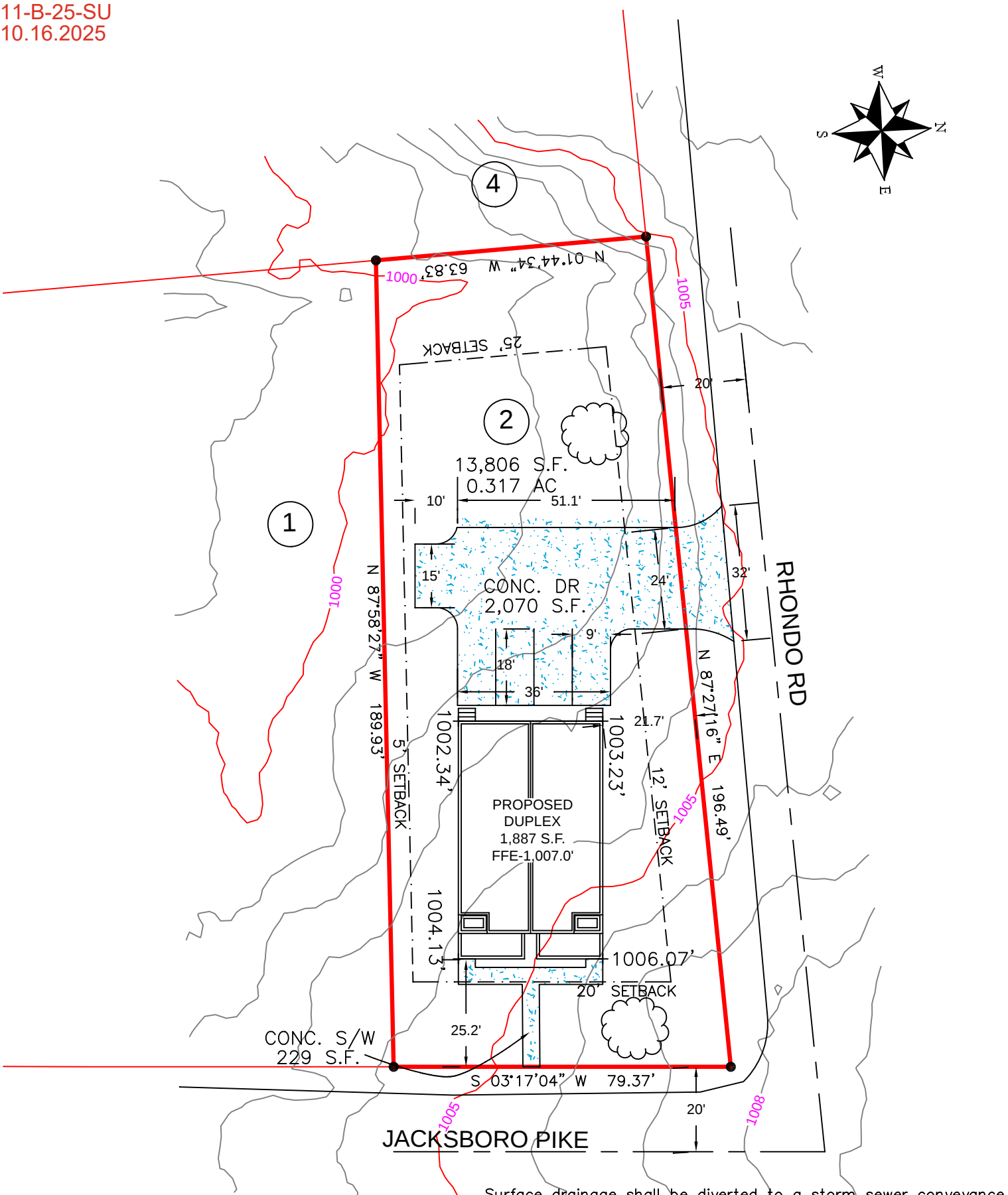




SITE DATA:
TOTAL MAX COVERAGE(40%)5,522 S.F. [4,186 S.F.]
MAX. BLDG COVERAGE(30%)4,142 S.F. [1,887 S.F.]

Surface drainage shall be diverted to a storm sewer conveyance or other approved point of collection that does not create a hazard. Lots shall be graded to drain surface water away from the foundation walls. The grade shall fall not fewer than 6 inches within the first 10 feet.

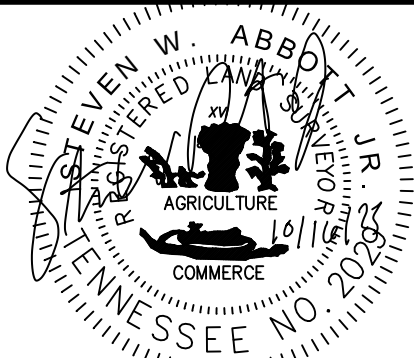
DATE: 08/25/25

SITE PLAN

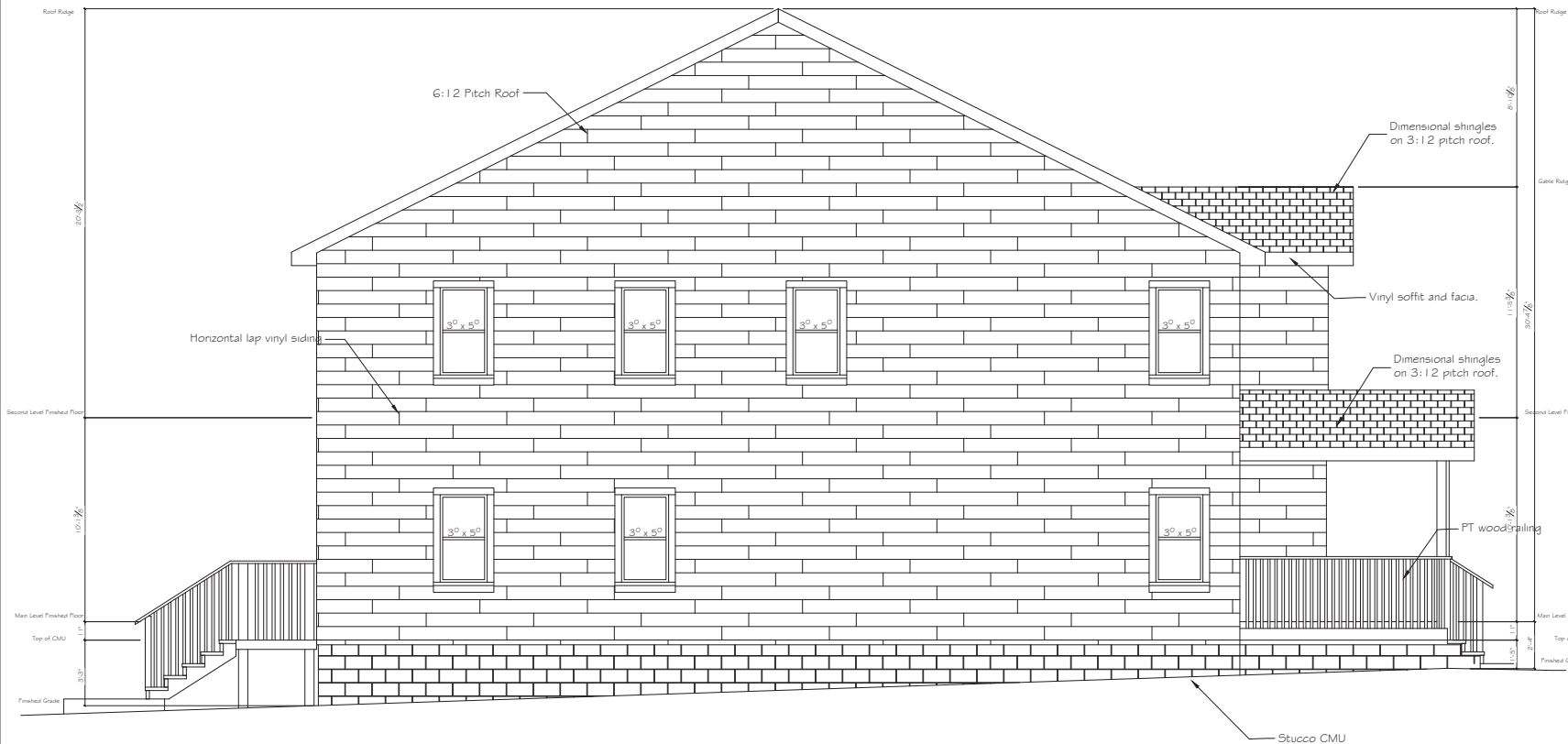
DRAWING NUMBER 494325

FOR BRADEN FAMILY HOMES LLC
ADDRESS 5305 JACKSBORO PIKE
DISTRICT 7th COUNTY KNOX CITY KNOXVILLE STATE TN ZIP 37917
LOT NO. 2 BLOCK "52" RESUB. OF FOUNTAIN CITY S/D
WARD 36th CITY BLOCK 36990 DRAWN BY SWA
MAP CAB. 202506240068126
TAX MAP 058D GROUP K PARCEL 020.01
WARRANTY DEED BK. 202506300069317
MORTGAGE CO.

SCALE 1" = 30'
ABBOTT LAND SURVEYING LLC
STEVEN W. ABBOTT JR, RLS
1109 E. WOODSHIRE DRIVE
KNOXVILLE, TN 37922
OFFICE: (865) 671-1149
EMAIL: survmap@tds.net



THIS IS TO CERTIFY THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR THE STATE OF TENNESSEE. THIS IS TO CERTIFY THAT ON THE DATE SHOWN, I MADE AN ACCURATE SURVEY OF THE PREMISES SHOWN HEREON USING THE LATEST RECORDED DEED AND OTHER INFORMATION FURNISHED TO ME, THAT THERE ARE NO EASEMENTS, ENCROACHMENTS OR PROJECTIONS EVIDENT OTHER THAN THOSE SHOWN. THE SURVEY WAS DONE UNDER THE AUTHORITY OF TCA 62-18-126: AND THE SURVEY IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820-3-07. THIS IS TO CERTIFY THAT I HAVE EXAMINED THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD MAP AND FOUND THE DESCRIBED NOT TO BE LOCATED IN A SPECIAL FLOOD HAZARD AREA.



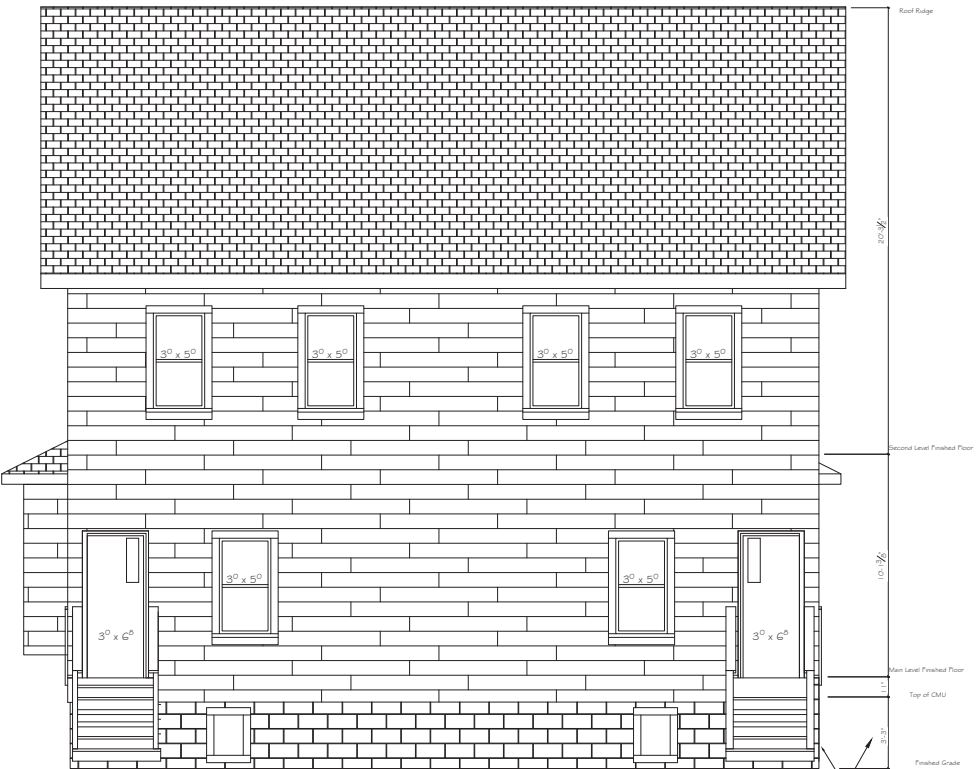
Left Exterior Elevation
Scale: $\frac{1}{4}" = 1'-0"$



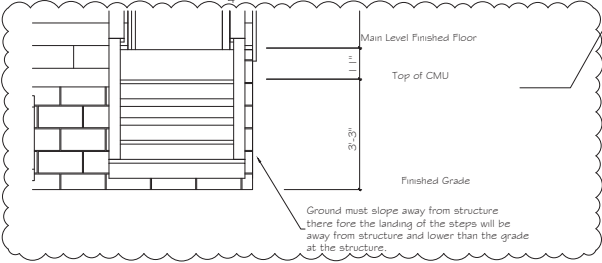
Front Exterior Elevation
Scale: $\frac{1}{4}" = 1'-0"$



Right Exterior Elevation
Scale: $\frac{1}{4}" = 1'-0"$



Rear Exterior Elevation
Scale: $\frac{1}{4}" = 1'-0"$

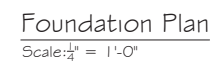
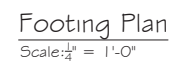


Front Elevation Window & Door Trim Detail
Scale: $\frac{1}{2}" = 1'-0"$

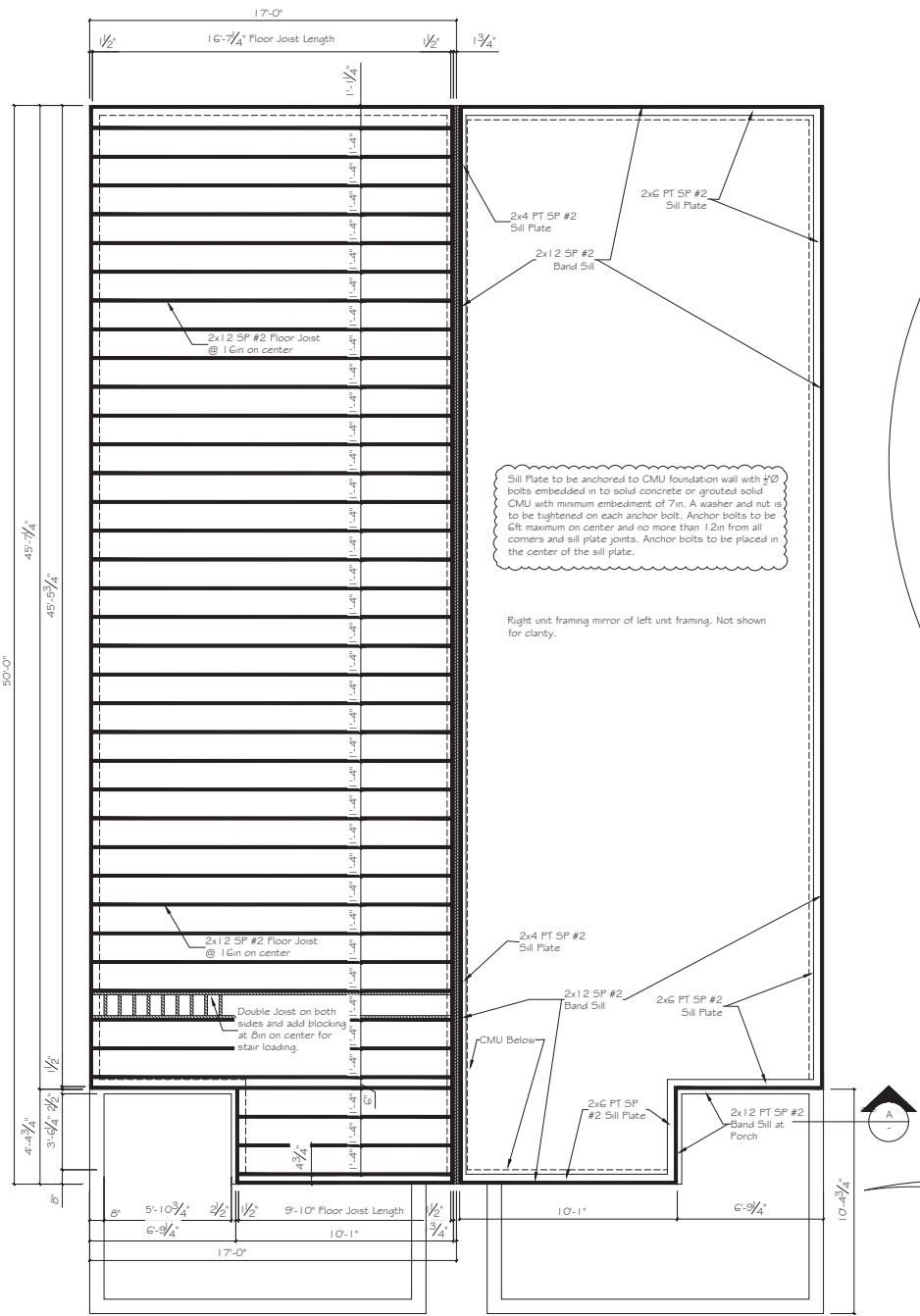
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11-B-25-SU
10.16.2025

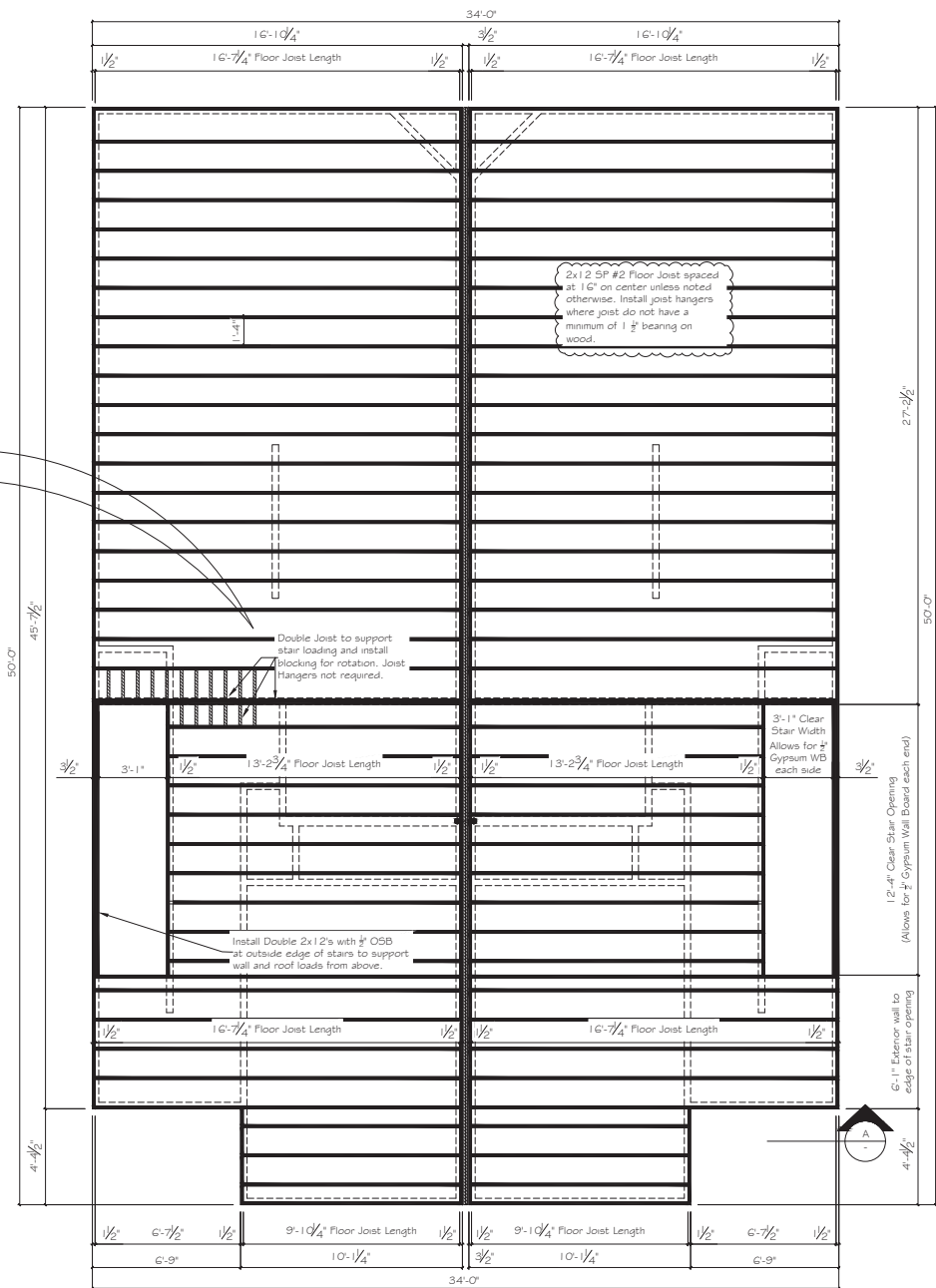
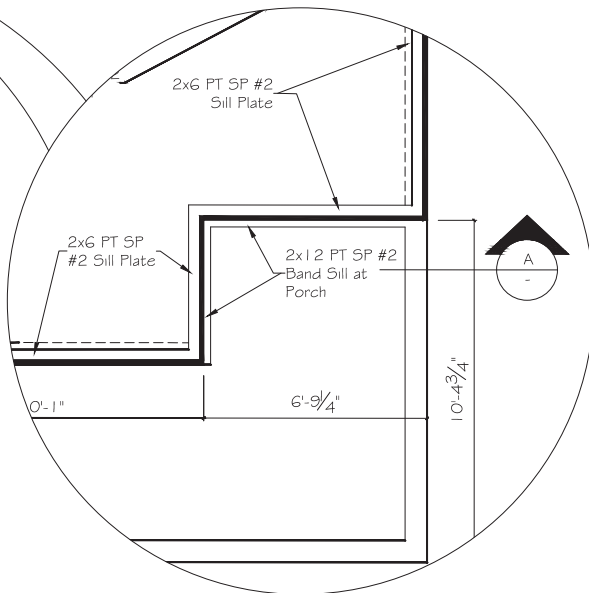
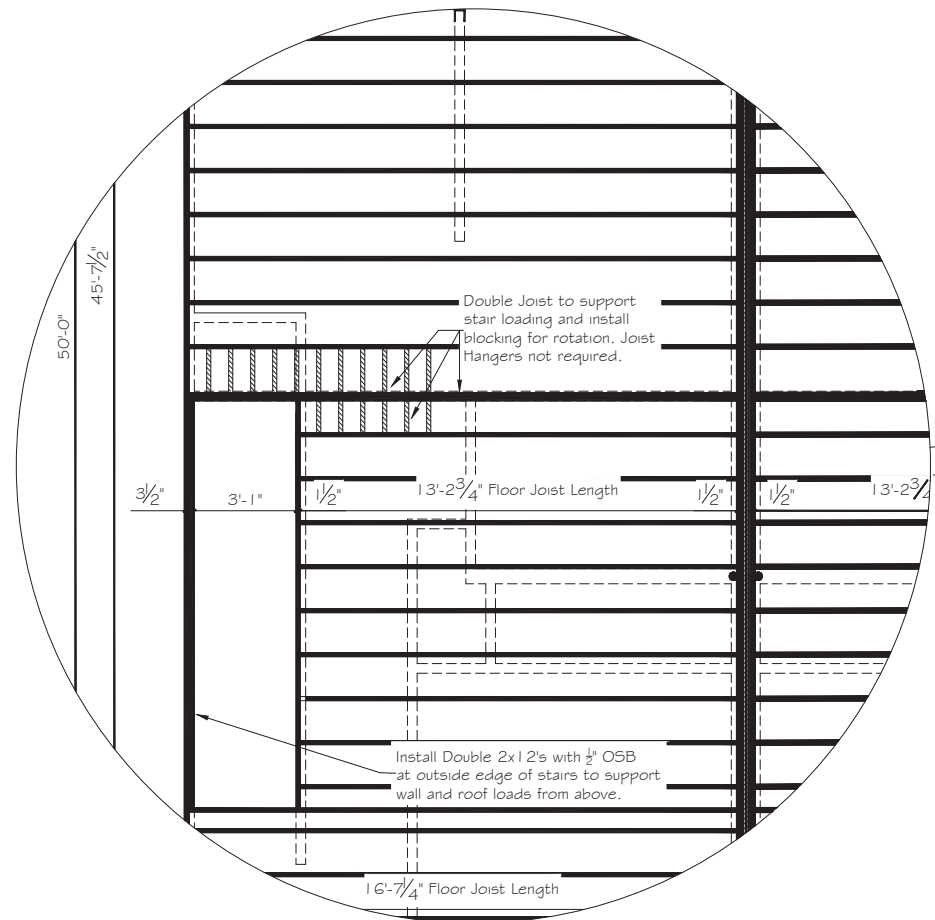
PROJECT INFORMATION
New Two Family Dwelling Modern
3-Bed 3-Bath Two Story Crawl Space Foundation
5305 Jackboro Pike
Knoxville, Tennessee
Contractor: Braden Family Properties
Phone: (615) 696-7343
Plan ID: 3FM253BD3BRCR
Drawn By: AJOI Custom Plan Service
Project: 2525-P021
September 16, 2024



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Main Floor Framing
Scale: $\frac{1}{4}" = 1'-0"$

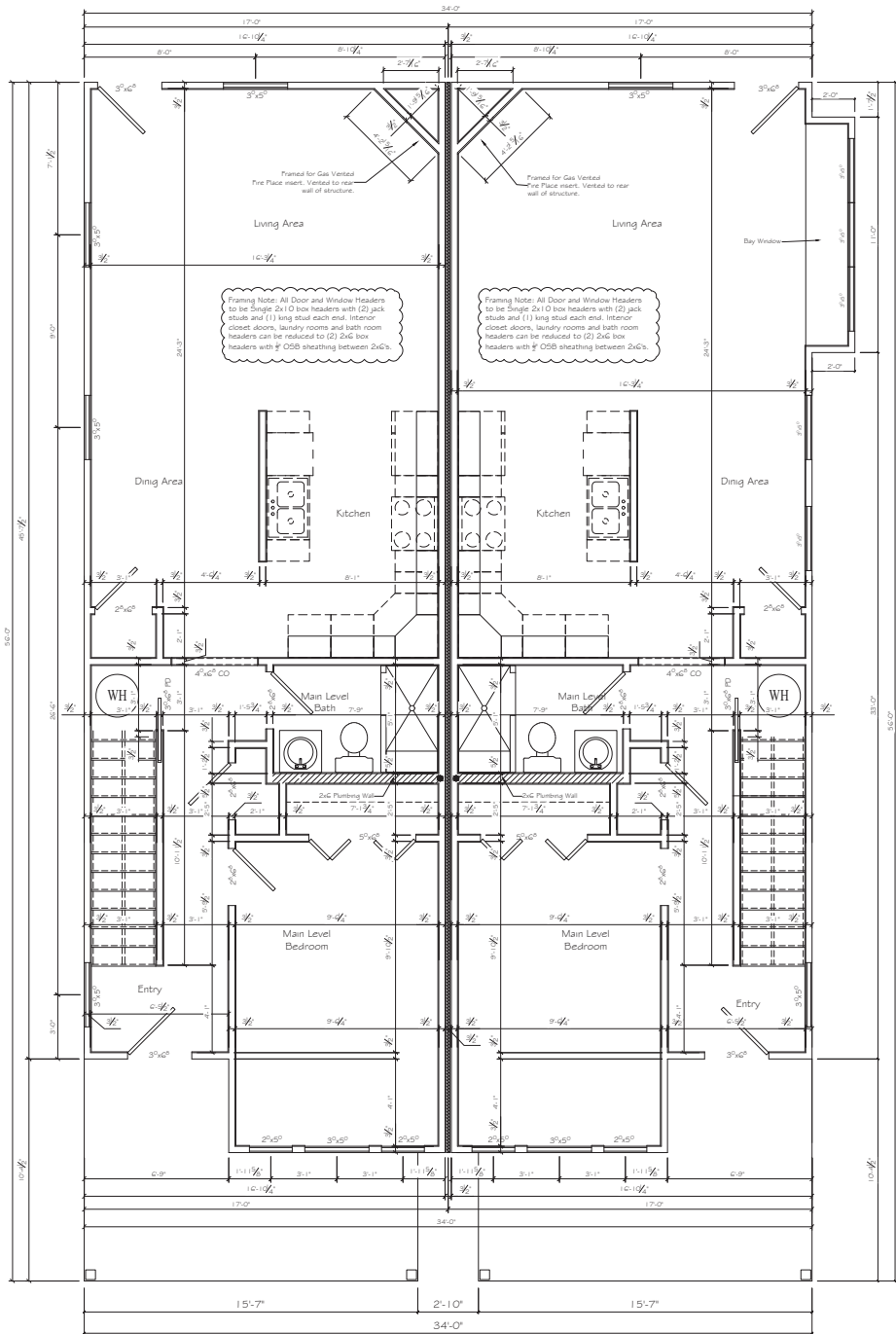


Second Floor Framing
Scale: $\frac{1}{4}" = 1'-0"$

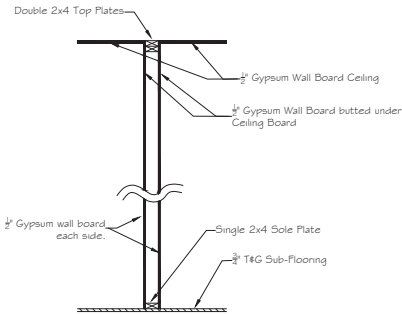
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5305 Jackboro Pike
Knoxville, Tennessee
Contractor: Braden Family Properties
Phone: (615) 696-7343
Plan ID: 3FM25T3BD3BRCR
Drawn By: ASOI Custom Plan Service
Project: 2525-P021
September 16, 2024

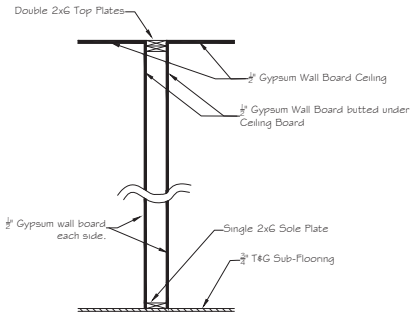
SHEET
A-04



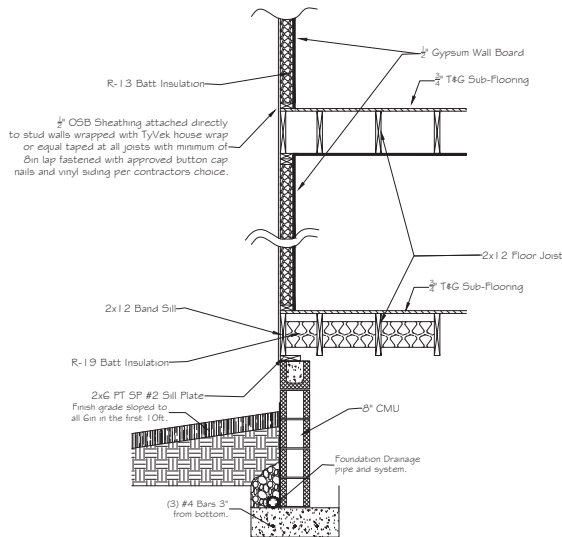
Main Floor Plan
Scale: $\frac{1}{4}" = 1'-0"$



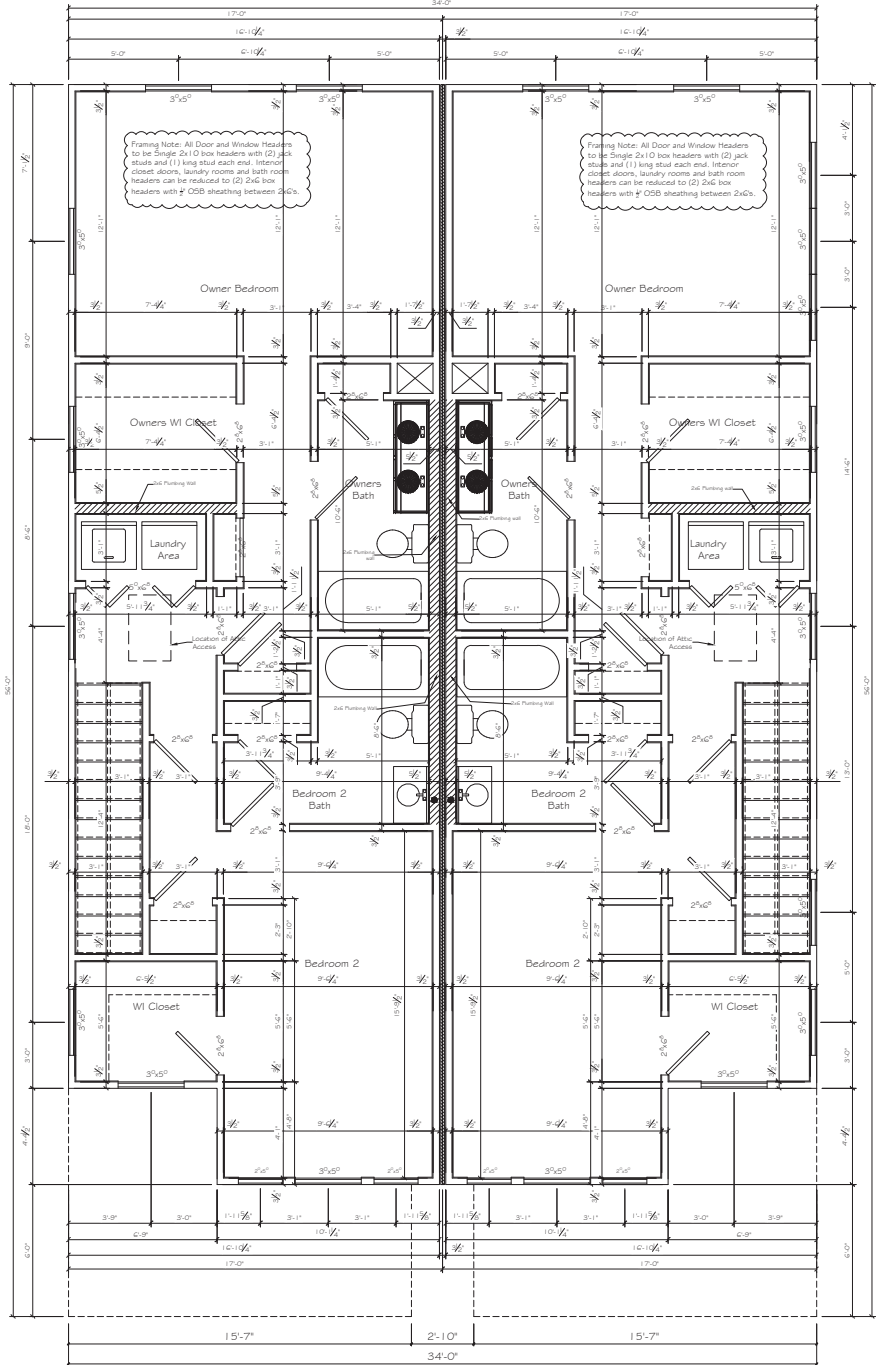
Typical Interior Wall Detail
Scale: $\frac{1}{2}" = 1'-0"$



Typical Plumbing Wall Detail
Scale: $\frac{1}{2}" = 1'-0"$



Typical Exterior Wall Detail
Scale: $\frac{1}{2}" = 1'-0"$

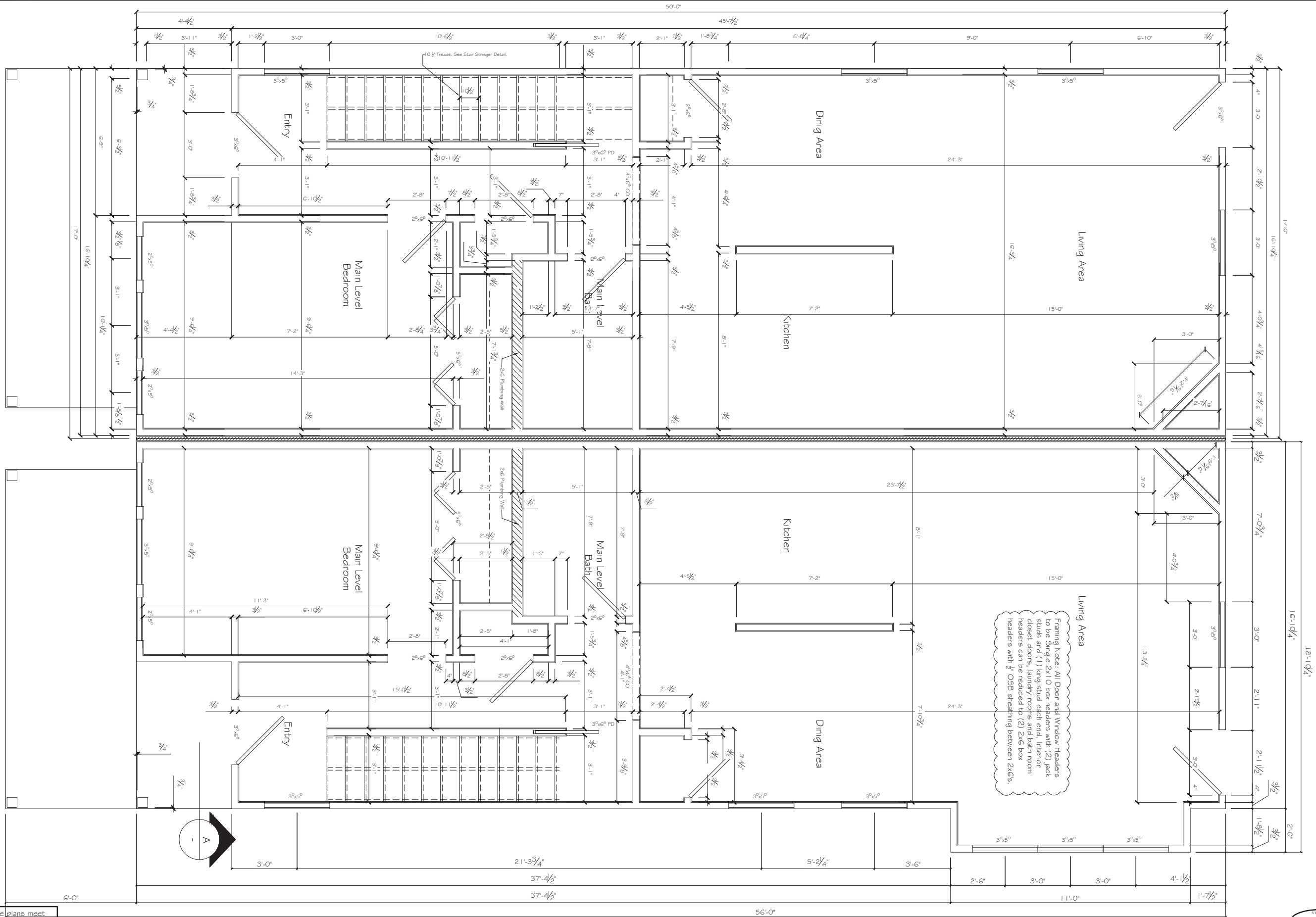


Second Floor Plan
Scale: $\frac{1}{4}" = 1'-0"$

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3-Bed 3 Bath Two Story Crawl Space Foundation
5305 Jackboro Pike
Knoxville, Tennessee
Contractor: Braden Family Properties
Phone: (615) 696-7343
Plan ID: 3FM25T3BD3BRCR
Drawn By: AJOI Custom Plan Service
Project: 2525-P021
September 16, 2024

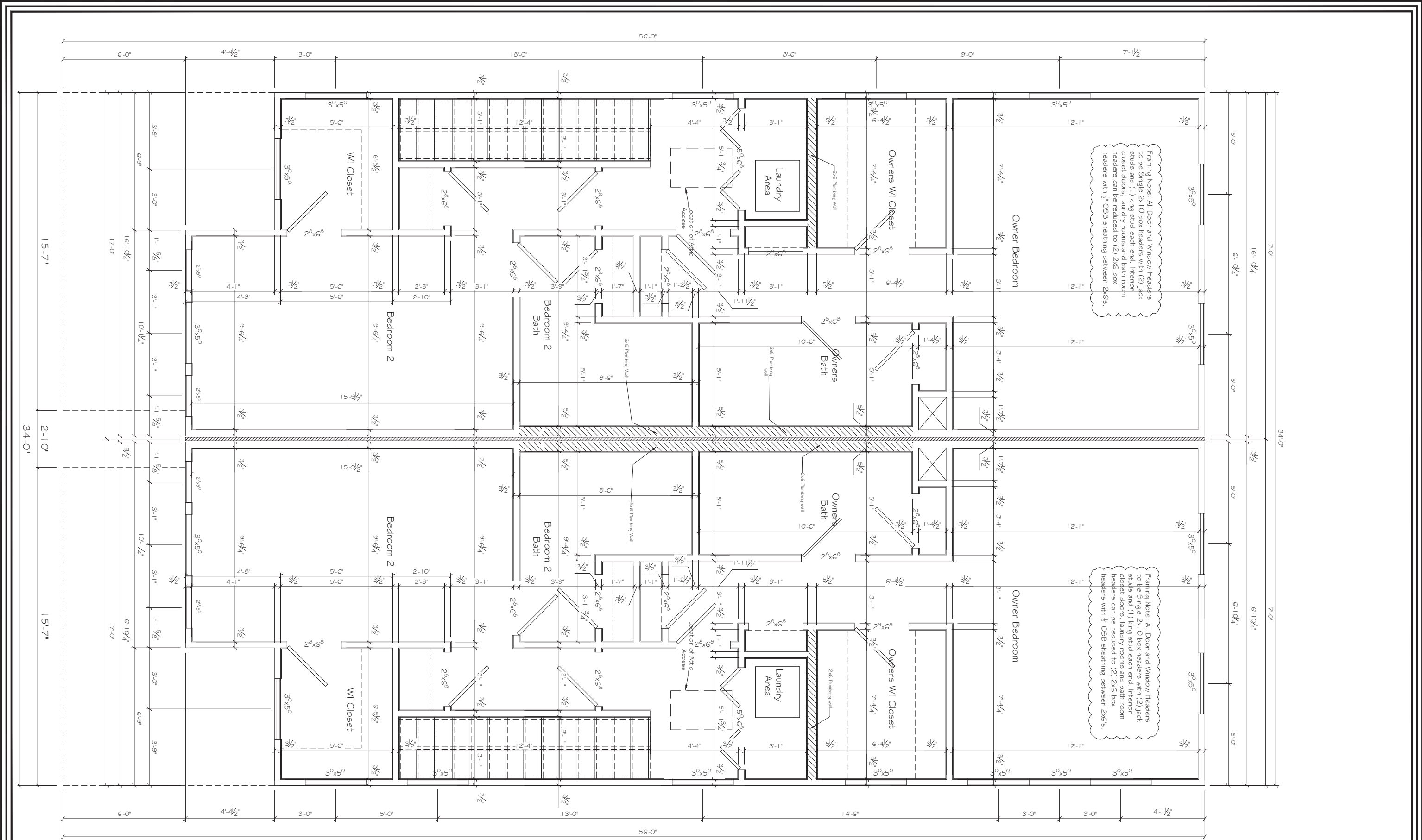
SHEET
A-05



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Enlarged Main Floor Wall Framing Plan
Scale: $\frac{1}{2}" = 1'-0"$

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New Two Family Dwelling Modern
3-Bed 3 Bath Two Story Crawl Space Foundation
5305 Jackboro Pike
Knoxville, Tennessee
Contractor: Braden Family Properties
Phone: (615) 696-7343
Plan ID: 3FM25T3BD18RCR
Drawn By: AJOI Custom Plan Service
Project: 3225-P021
September 16, 2024

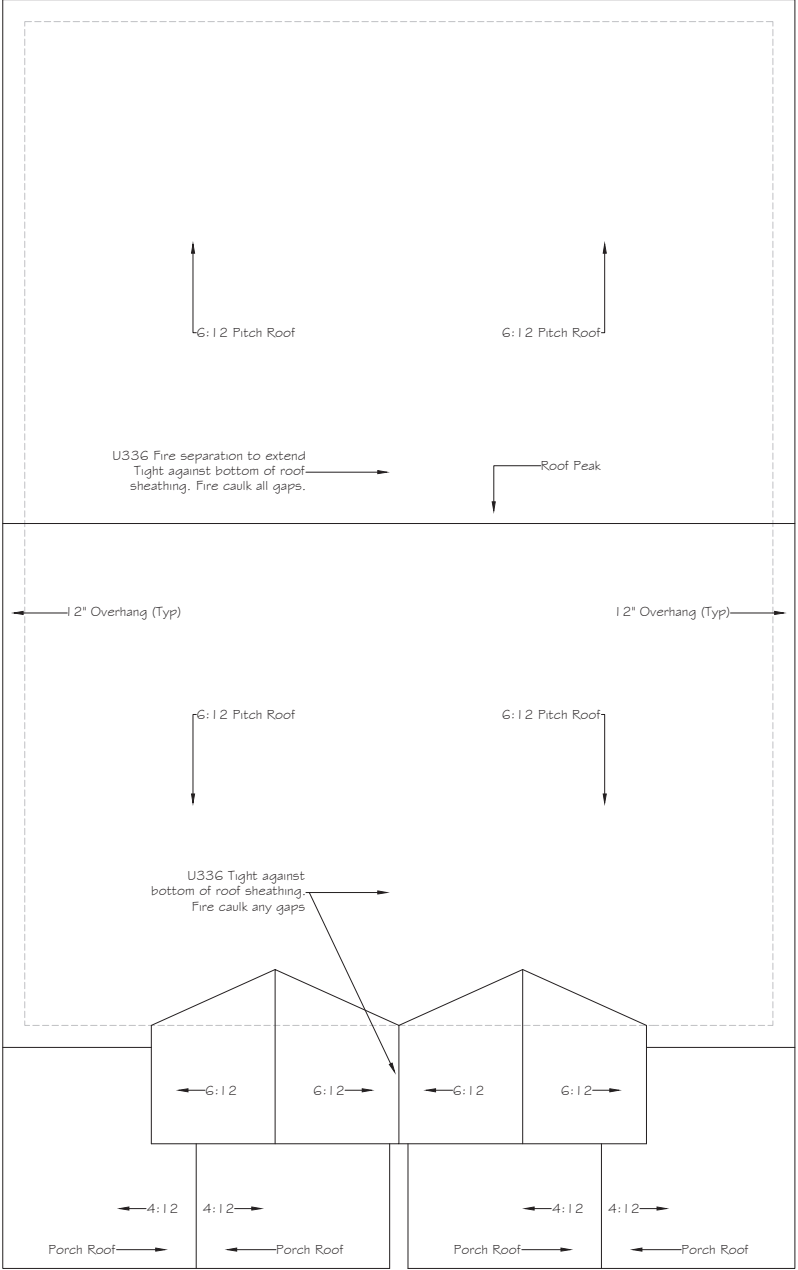


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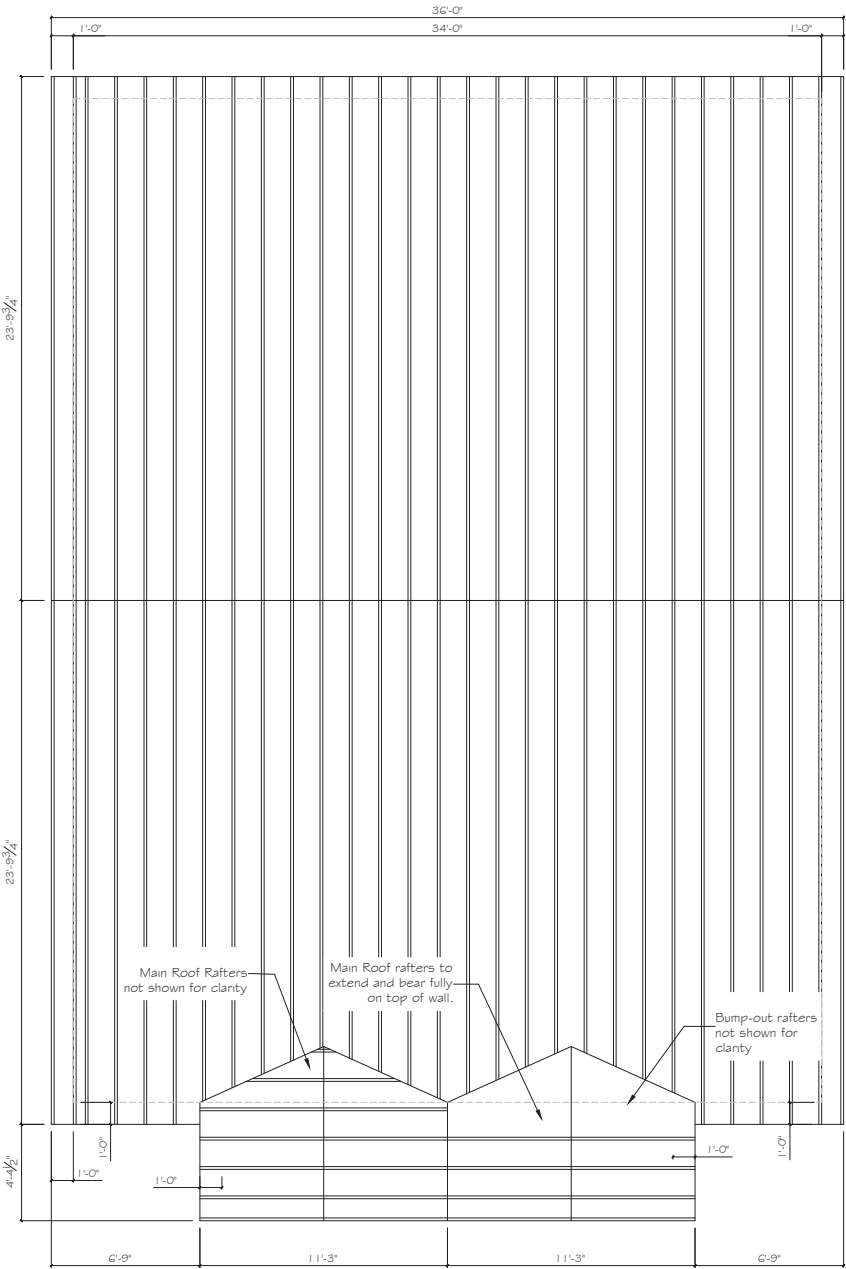
Enlarged Second Floor Wall Framing Plan
Scale: $\frac{1}{2}$ " = 1'-0"

SHEET
A-07

PROJECT INFORMATION
New Two Family Dwelling Modern
3-Bed 3 Bath Two Story Crawl Space Foundation
5305 Jacksboro Pike
Knoxville, Tennessee
Contractor: Braden Family Properties
Phone: (865) 696-7343
Plan ID: 3FM25T3BD3BRCR
Drawn By: AJOE Custom Plan Service
Project: 2525-P021
September 16, 2024



Roof Slope Plan
Scale: $\frac{1}{4}" = 1'-0"$

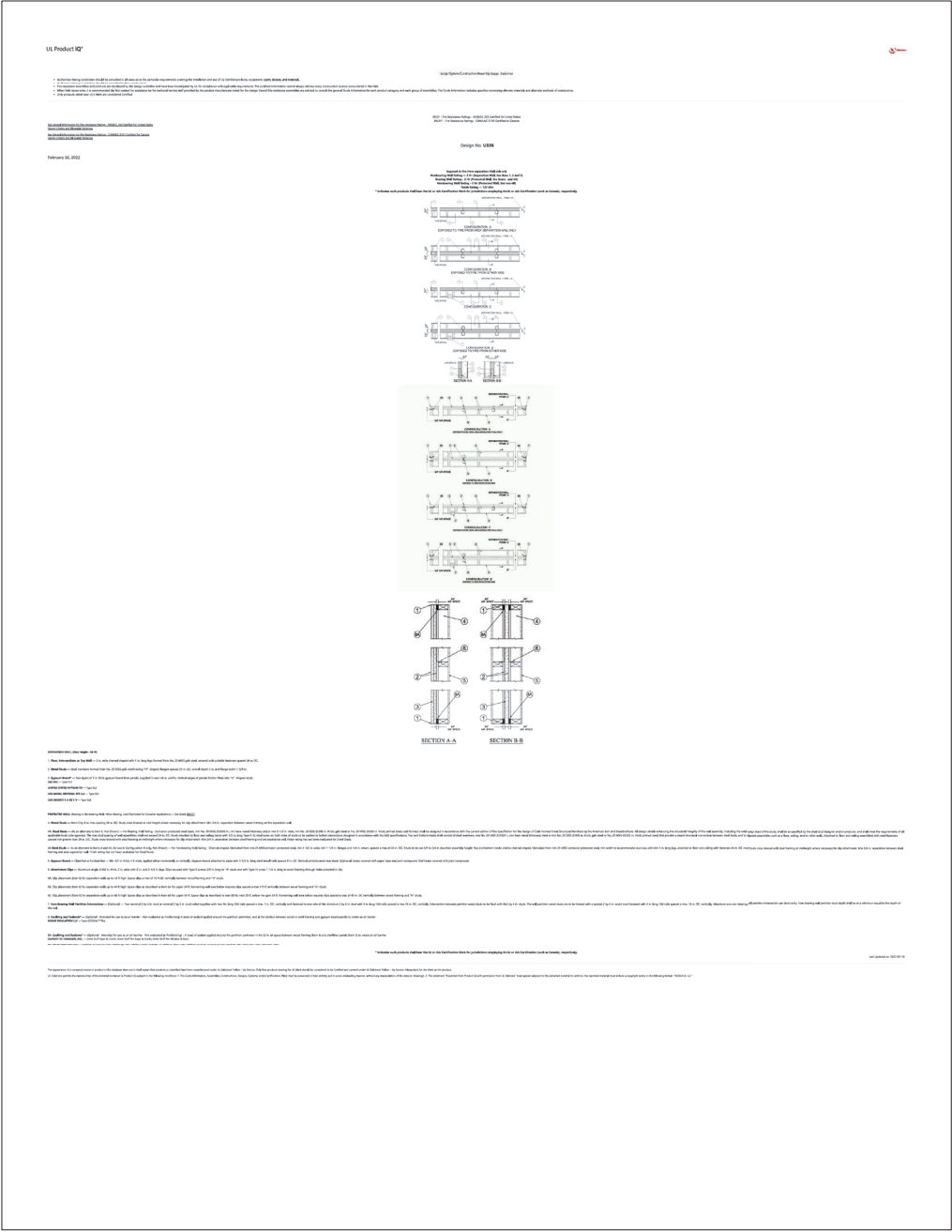


Rafter Plan
Scale: $\frac{1}{4}" = 1'-0"$

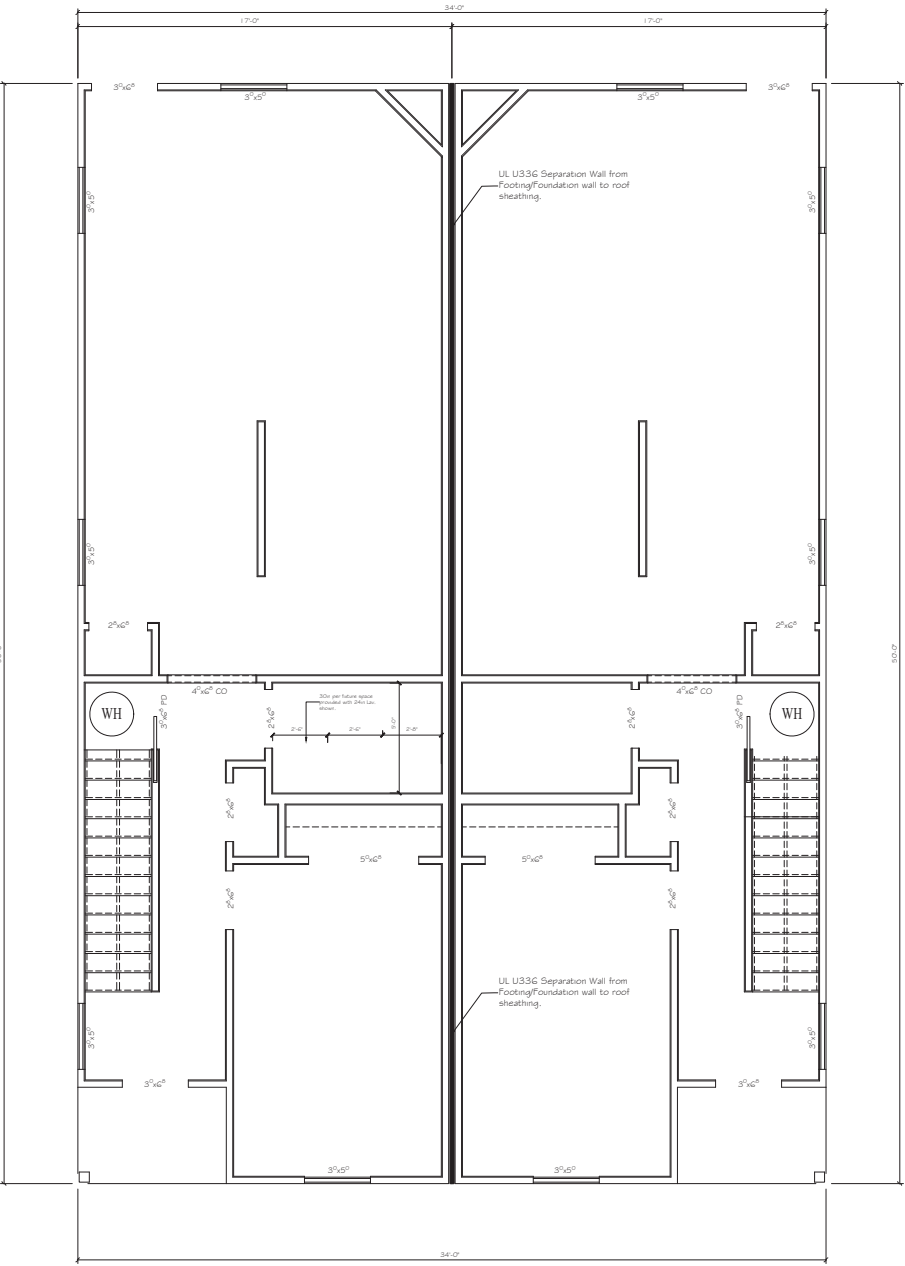
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Contractor: Braden Family Properties
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Plan ID: 3FM25T3BD3BRCR
Drawn By: ASOF Custom Plan Service
Project: 2525-P021
September 18, 2024

SHEET
A-08

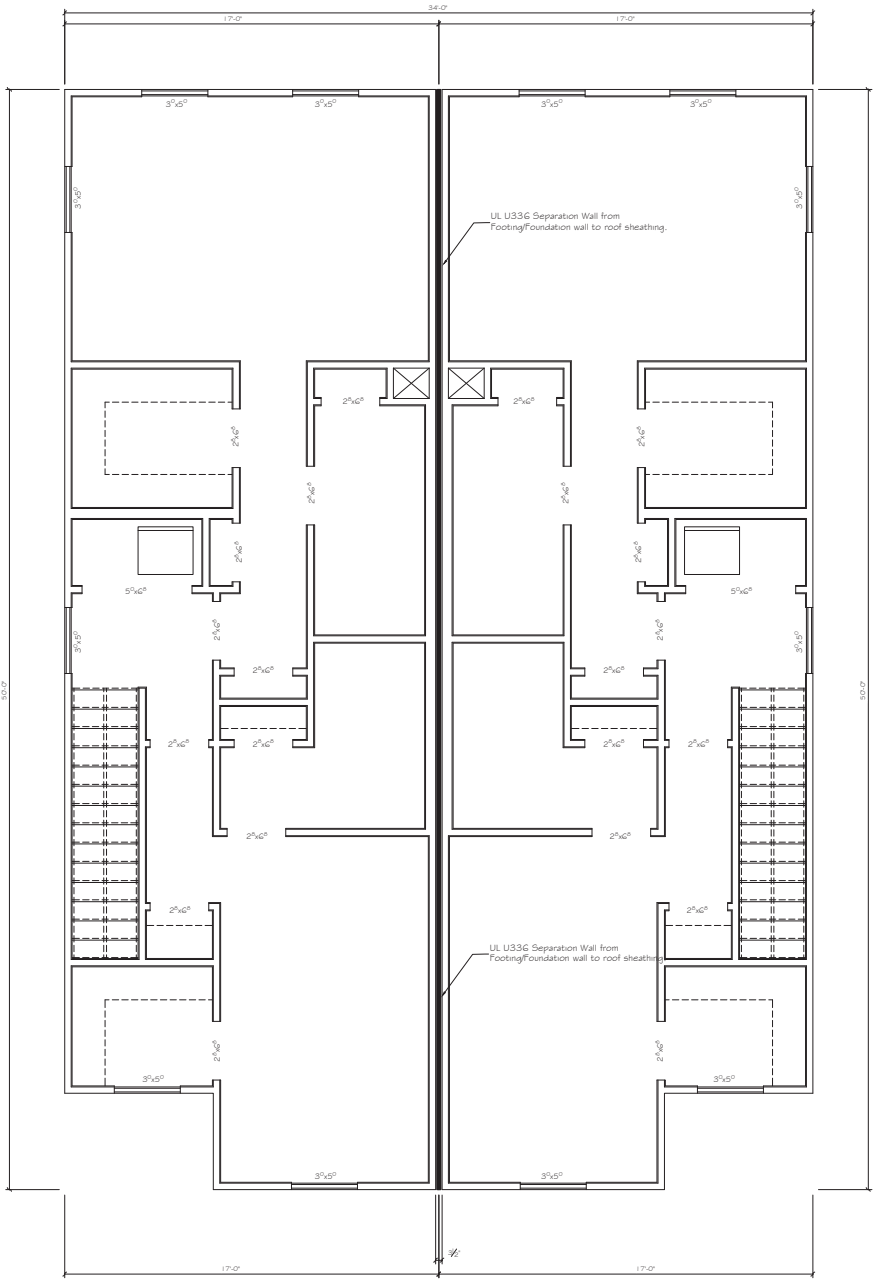


UL-U336
Scale: NTS



Main Level Fire Separation Wall
Scale: $\frac{1}{4}'' = 1'-0''$

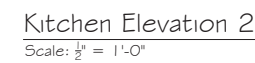
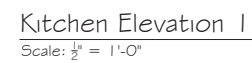
Fire Assembly to extend into soffits and projections.



Second Floor Fire Separation Wall
Scale: $\frac{1}{4}'' = 1'-0''$

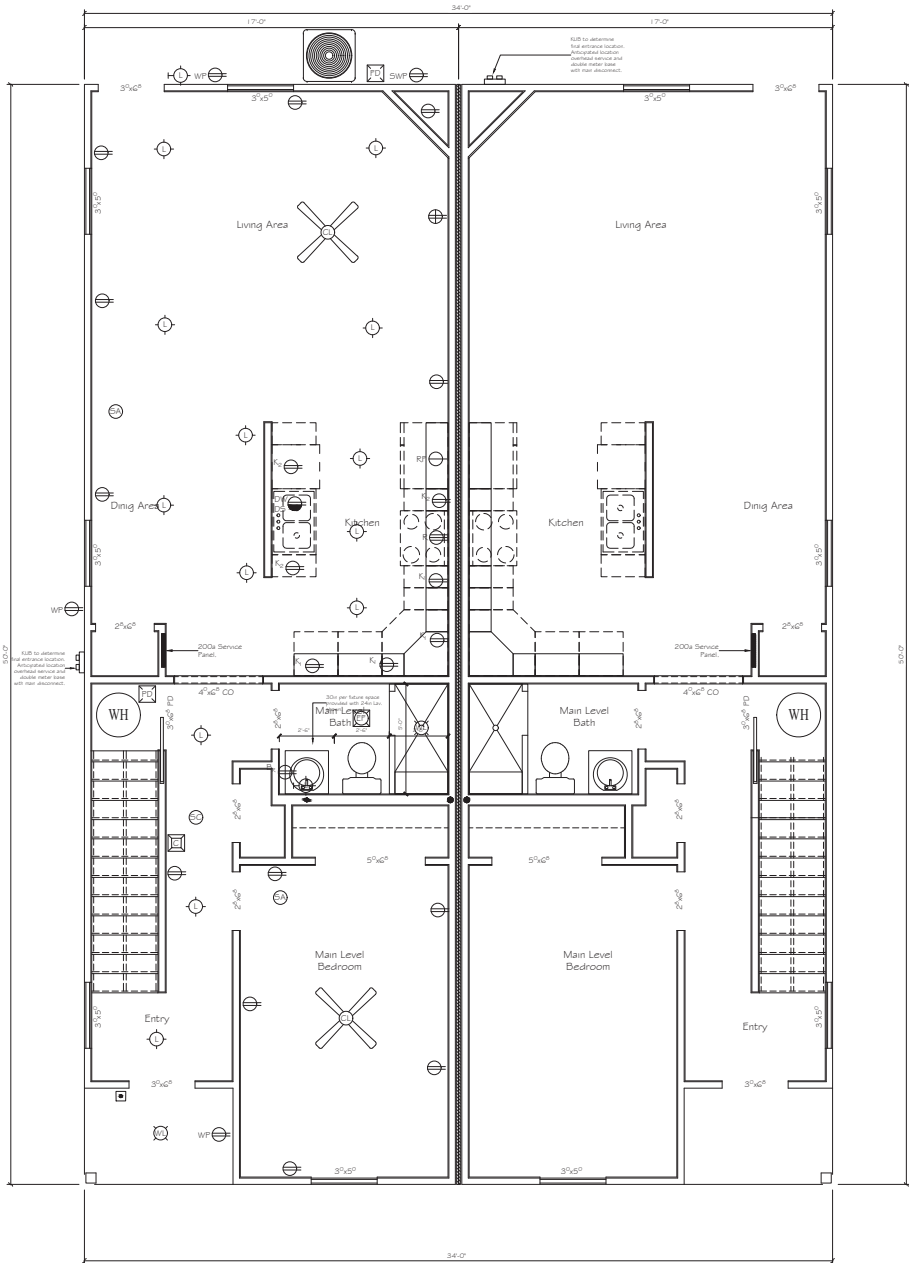
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PROJECT INFORMATION
New Two Family Dwelling Modern
3-Bed 3 Bath Two Story Crawl Space Foundation
5305 Jacksboro Pike
Knoxville, Tennessee
Contractor: Braden Family Properties
Phone: (865) 696-7343
Plan ID: 3FM23BD3BRCR
Drawn By: ASOF Custom Plan Service
Project: 1225-P021
September 18, 2024



Scale: $\frac{1}{2}" = 1'-0"$

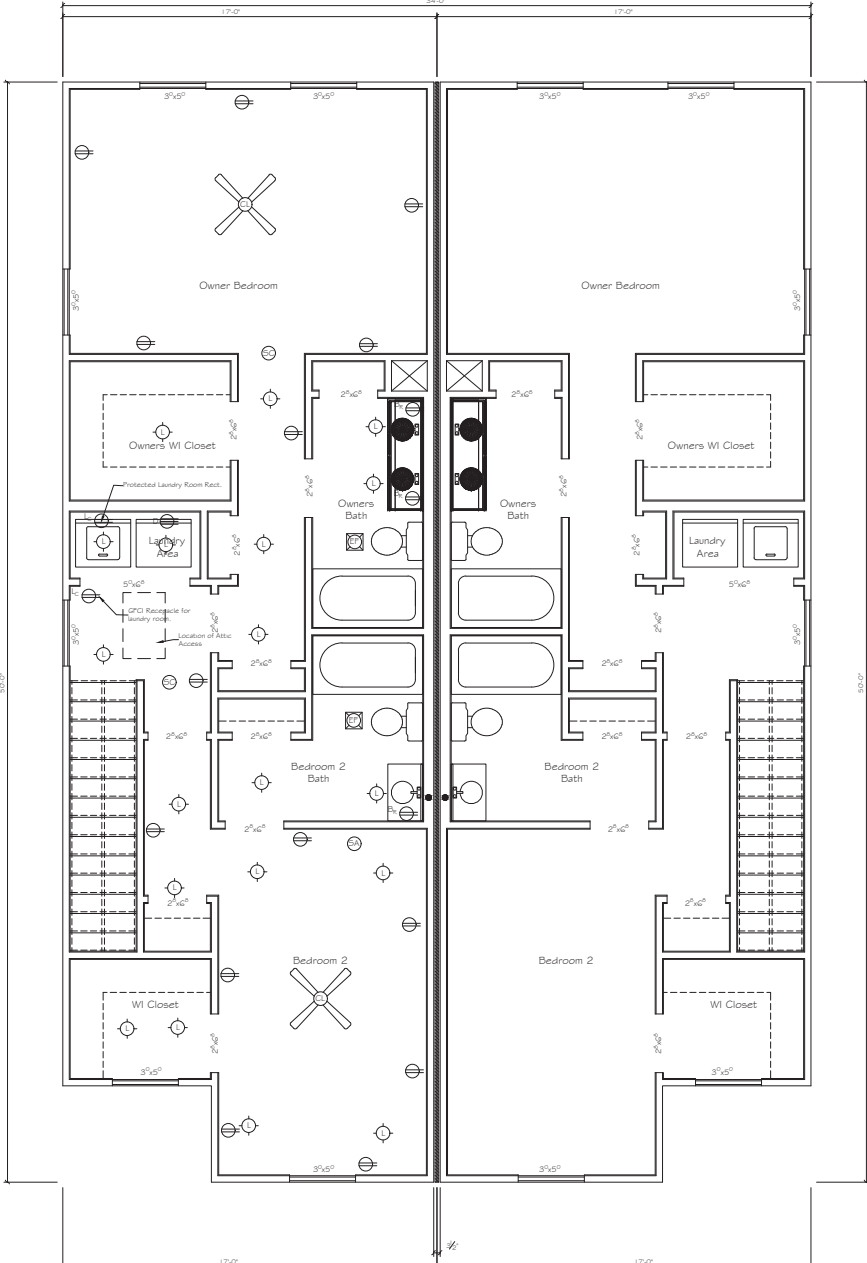
PROJECT INFORMATION
New Two Family Dwelling Modern
3-Bed 3 Bath Two Story Crawl Space Foundation
5305 Jacksboro Pike
Knoxville, Tennessee
Contractor: Braden Family Properties
Phone: (865) 696-7311
Plan ID: 2FM2S3BD3BRCSR
Drawn By: ASOF Custom Plan Service
Project: 2025-0021
September 16, 2025



Electrical Main Floor

Scale: 1/4" = 1'-0"

1. Single Service: E3601.2 Number of services. One and two family dwellings shall be supplied by only one service. (230.2).
2. Individual Feeds: E3601.3 One building or other structure not to be supplied through another. Service conductors supplying a building or other structure shall not pass through the interior of another building or other structure. (230.3).
3. Service Disconnect: E3601.6 Service disconnect required. Means shall be provided to disconnect all ungrounded conductors in a building or other structure from the service entrance conductors. (230.70).
4. Marking of Service: E3601.6.1 Marking of service equipment and disconnects. Service disconnects shall be permanently marked as a service disconnect. (230.70[B]).
5. Disconnect Location: E3601.6.2 Service disconnect location. The service disconnecting means shall be installed at a readily accessible location either outside of a building or inside nearest the point of entrance of the service conductors. Service disconnecting means shall not be installed in bathrooms. Each occupant shall have access to the disconnect serving the dwelling unit in which they reside. (230.70(A)(1)(2), 230.72(C)).
6. Number of Disconnects: E3601.7 Maximum number of disconnects. Each service shall have only one disconnecting means unless installed using one or more of the methods specified in Sections E3601.7.1 through E3601.7.3. In all cases, the maximum number of disconnecting means for any service shall not exceed six and the multiple service disconnecting means shall be grouped.
7. Location of SOD: E3603.3.3 Location. The service over current device shall be an integral part of the service disconnecting means or shall be located immediately adjacent thereto. Where fuses are used as the service over current device, the disconnecting means shall be located on the supply side of the fuses. (230.91).
8. Surge Protection: E3606.5 Surge protection. All services supplying one- and two-family dwelling units shall be provided with a surge-protective device (SPD) installed in accordance with Sections E3606.5.1 through E3606.5.3.
9. System Ground: E3607.1 System service ground. The premises wiring system shall be grounded at the service with a grounding electrode conductor connected to a grounding electrode system as required by this code. Grounding electrode conductors shall be sized in accordance with Table E3603.4. (250.20(B)(1) and 250.24(A)).
10. Location of Ground: E3607.2 Location of grounding electrode conductor connection. The grounding electrode conductor shall be connected to the grounded service conductor at any accessible point from the load end of the overhead service conductors, service drop, underground service conductors, or service lateral to and including the terminal or bus to which the grounded service conductor is connected at the service disconnecting means. A grounded conductor shall not be connected to metal parts of equipment that normally do not carry current or to equipment grounding conductors, or be reconnected to ground on the load side of the service disconnecting means, except as provided in Section E3607.3.2. (250.24(A)(1) and 250.24(B)).
11. Grounding Electrode System Used: E3608.1 Grounding electrode system. All electrodes specified in Sections E3608.1.1, E3608.1.2, E3608.1.3, E3608.1.4, E3608.1.5 and E3608.1.6 that are present at each building or structure served shall be bonded together to form the grounding electrode system. If none of these electrodes are present, one or more of the electrodes specified in Sections E3608.1.3, E3608.1.4, E3608.1.5 and E3608.1.6 shall be installed and used. (250.30(E)(2) and 250.30(F)).
12. IBT: E3609.3.1 Intersystem bonding termination device. An intersystem bonding termination (IBT) for connecting intersystem bonding conductors shall be provided external to enclosures at the service equipment or metering equipment enclosure and at the disconnecting means for any additional buildings or structures. An IBT shall comply with all of the following:
 - 12.1. It shall be accessible for connection and inspection.
 - 12.2. It shall consist of a set of terminals with the capacity for connection of not less than three intersystem bonding conductors.
 - 12.3. It shall not interfere with opening of the enclosure for a service, building or structure disconnecting means, or metering equipment.
 - 12.4. Where located at the service equipment, it shall be securely mounted and electrically connected to an enclosure for the service equipment, to the meter enclosure, or to an exposed nonflexible metallic service raceway, or shall be mounted at one of these enclosures and connected to the enclosure or to the grounding electrode conductor with a 6 AWG or larger copper conductor.
 - 12.5. Where located at the disconnecting means for a building or structure, it shall be securely mounted and electrically connected to the metallic enclosure for the building or structure disconnecting means, or shall be mounted at the disconnecting means and connected to the metallic enclosure or to the grounding electrode conductor with a 6 AWG or larger copper conductor.
 - 12.6. It shall be listed as grounding and bonding equipment. (250.34(A)).



Electrical Upper Floor

Scale: 1/4" = 1'-0"

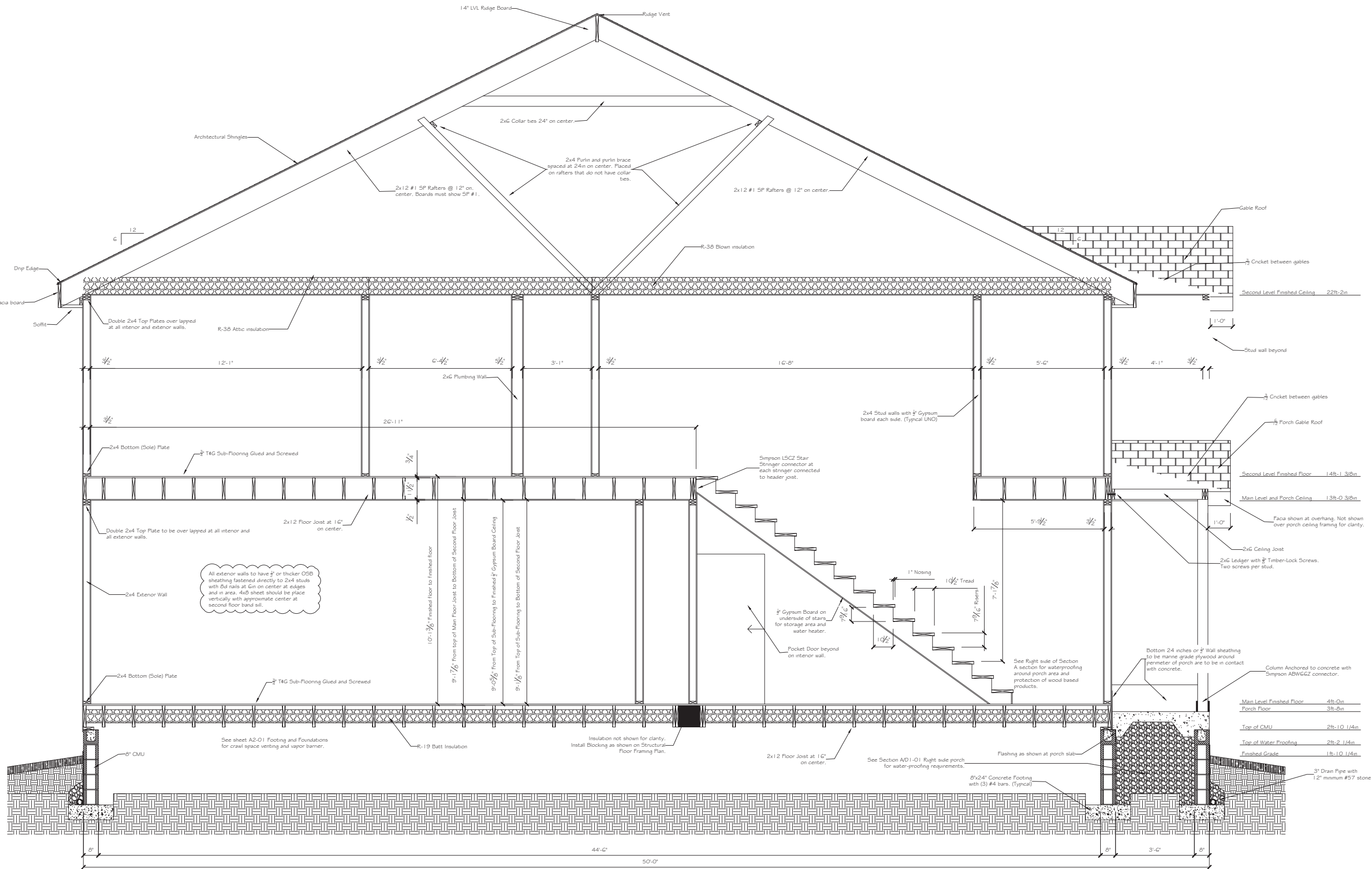
- Electrical Notes:
- * All Wiring to be Per IRC 2018 and Local and State Requirements
 - * Ground Sources used will be Concrete Encased Ground as shown on Footing Section and One Ground Rod
 - * GFCI Circuits to include all Receptacles in Bathrooms, Outdoor, Kitchen, Laundry Room, Dishwasher and any other Wet Locations
 - * AFCI Circuits to include all Receptacles Kitchen, Living Room, Dining Room, Bed Rooms, Laundry Room and Mud Room
 - * Attic will require Switched Light and Two Receptacles, one for equipment and one for radon power supply
 - * All 1 1/2 AWG Wire with ground for all 12 amp circuits
 - * IBT to be installed on Ground System at Service Panel

- Switched LED Luminary
- Wet Location Switched LED Luminary
- Switched Wall LED Luminary
- Exterior LED Flood Luminary
- Switched Ceiling Fan Only
- Switched Ceiling Fan w/ LED Luminary
- Switched Bath Exhaust Fan w/ LED Luminary
- Switched Single Receptacle
- Switched Duplex Receptacle
- Dedicated Single Receptacle
- Dedicated Single Dishwasher Receptacle
- Duplex Receptacle Split for Dishwasher and for Switched Side for Disposal
- Duplex Receptacle
- Kitchen Small Appliance Circuit One Duplex Receptacle
- Kitchen Small Appliance Circuit Two Duplex Receptacle
- Dedicated Single Refrigerator Receptacle
- Bathroom Receptacles all on same Circuit
- Weather Proof Duplex Receptacle
- Weather Proof Duplex Equipment Service Receptacle
- Floor Receptacle
- Double Duplex Receptacle
- GFCI Duplex Receptacle
- Laundry Room Circuit
- Clothes Dryer Receptacle
- Range Receptacle
- Pull Disconnect for Water Heater
- Fused Disconnect for HVAC Unit
- Smoke Alarm on Non-Switched Circuit
- Smoke Alarm CO2 Detector Combo on Non-Switched Circuit
- Door Chime
- Door Chime Button
- Single Pole Switch
- Double Pole Switch
- Three Way Switch
- Four Way Switch

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3-Bed 3 Bath Two Story Crawl Space Foundation
5305 Jacksboro Pike
Knoxville, Tennessee
Contractor: Braden Family Properties
Phone: (615) 696-7343
Plan ID: 3F4M2ST3BD3B CSR
Drawn By: ASOF Custom Plan Service
Project: 2525-P021
September 18, 2024

PROJECT INFORMATION
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3-Bed 3 Bath Two Story Crawl Space Foundation
5305 Jacksonboro Pike
Knoxville, Tennessee
Contractor: Braden Family Properties
Phone: (865) 696-7343
Plan ID: 2FMM253BDB3RCR
Drawn By: ASOF Custom Plan Service
Project: 2025-P01
September 16, 2025



Building Section A

Scale: $\frac{1}{8}" = 1'-0"$

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September 16, 2024