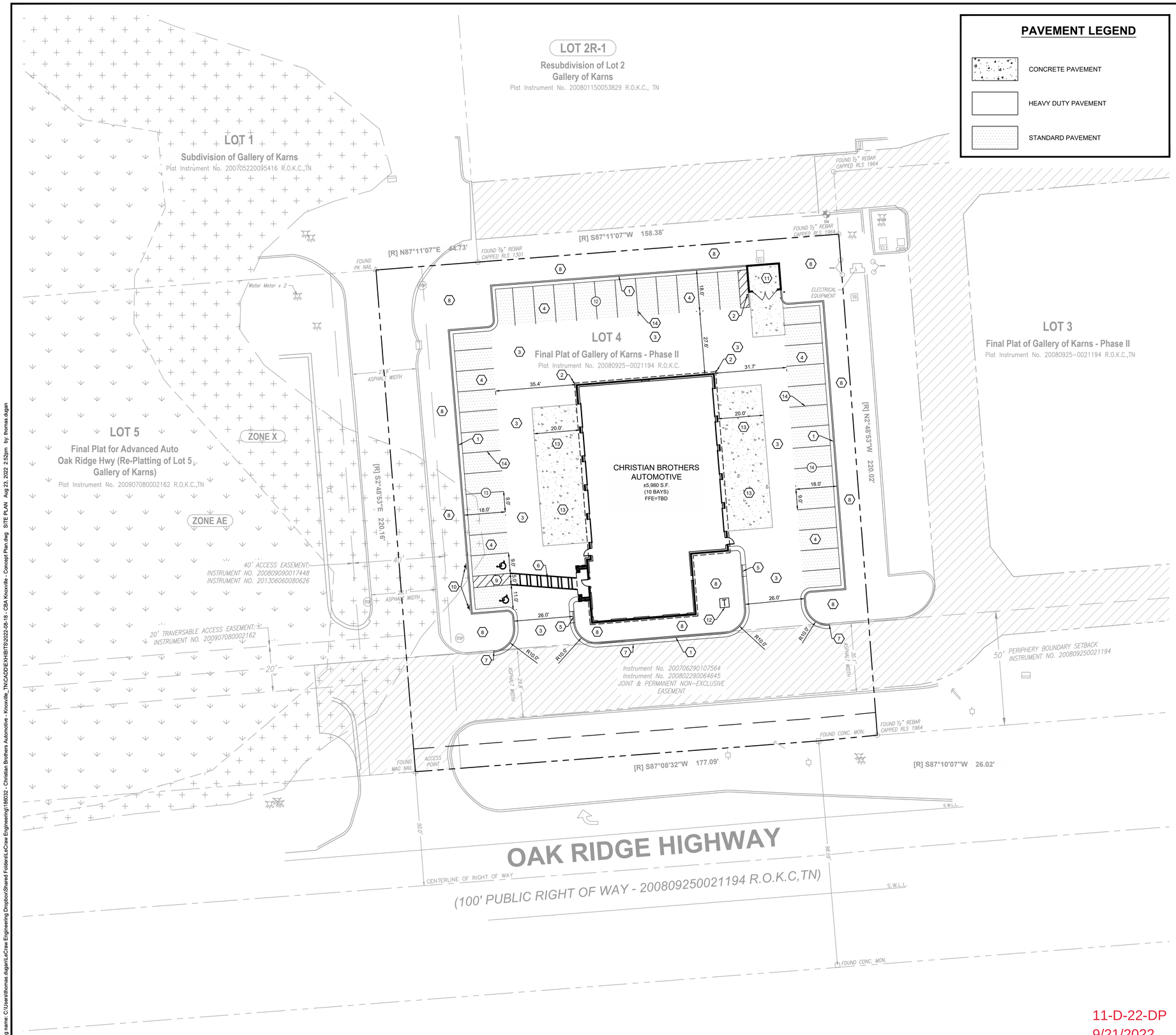
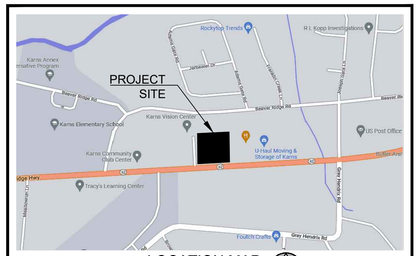


PAVEMENT LEGEND

- CONCRETE PAVEMENT
- HEAVY DUTY PAVEMENT
- STANDARD PAVEMENT



LOCATION MAP
NOT TO SCALE

SITE SUMMARY

SITE AREA	
SITE AREA:	1.03 ACRES (44,750 SF)
IMPERVIOUS AREA:	--- SF (55.9%)
PERVIOUS AREA:	--- SF (44.1%)
ZONING CLASSIFICATION	
JURISDICTION:	KNOXVILLE - KNOX COUNTY
ZONING:	PC
ADJACENT ZONING:	PC
BUILDING SETBACKS	
FRONT:	50'
SIDE:	0'
REAR:	0'
BUILDING SUMMARY	
BUILDING AREA:	5,980 S.F.
BUILDING COVERAGE:	13.4%
PARKING SUMMARY	
PARKING REQ.:	GREATER OF 2 SPACES / SERVICE STALL OR 1 SPACE / 200 SF PLUS 2 SPACES / 3 EMPLOYEES
	30 SPACES
PARKING PROV.:	39 SPACES
STANDARD STALL DIMENSIONS:	9' x 15.5' (90 DEG. @ CURB)
MIN. DRIVE WIDTH:	26'

KEY NOTES

1	24" CURB & GUTTER, SEE SHEET C-7.0 FOR DETAIL
2	BOLLARD, SEE SHEET C-7.0 FOR DETAIL
3	HEAVY DUTY PAVEMENT, SEE SHEET C-7.0 FOR PAVEMENT SPECIFICATIONS
4	STANDARD DUTY PAVEMENT, SEE SHEET C-7.0 FOR PAVEMENT SPECIFICATIONS
5	TAPER CURB FROM 6" TO 0" OVER 5', SEE SHEET C-7.0 FOR DETAIL
6	PEDESTRIAN CROSSING
7	CONTRACTOR TO TIE INTO AND MATCH EXISTING PAVEMENT IN BOTH HORIZONTAL AND VERTICAL ALIGNMENT
8	LANDSCAPE AREA, SEE SHEET LP-1 FOR LANDSCAPE PLANTING DESIGN
9	ADA PARKING AREA, SEE SHEET C-7. FOR DETAIL(S)
10	ADA PARKING SIGN, SEE SHEET C-7.0 FOR DETAIL
11	DUMPSTER ENCLOSURE, REFER TO ARCHITECTURAL PLANS FOR DETAILS
12	CONCRETE TRANSFORMER PAD PER UTILITY OWNER'S REQUIREMENTS
13	HEAVY DUTY CONCRETE PAVEMENT, SEE SHEET #### FOR PAVEMENT SPECIFICATIONS. #4 REBAR @ 24" O.C. PER CBA STANDARDS
14	4" WIDE SINGLE SOLID WHITE LINE (SSWL)

GENERAL SITE NOTES:

1) ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS SPECIFIED OTHERWISE.

2) ALL TREES SHALL HAVE PROPER PROTECTION DURING CONSTRUCTION UNLESS APPROVED PLANS INDICATE OTHERWISE.

3) FLOOD PLAIN IS PRESENT ON THIS SITE AS SHOWN ON THE FEMA FIRM MAP NUMBER 47093C0251F, DATED MAY 2, 2007.

4) 1 HANDICAP SPACE IS REQUIRED TO BE VAN ACCESSIBLE WITH A MINIMUM 96" WIDE ACCESS AREA.

5) ACCESSIBLE PARKING AREAS, INCLUDING AISLES, SHALL SLOPE NO MORE THAN 2% IN ANY DIRECTION.

6) THE OWNER IS RESPONSIBLE FOR OBTAINING ANY NECESSARY AGREEMENTS FROM ADJACENT PROPERTY OWNERS IN ORDER TO PERFORM THE REQUIRED OFFSITE WORK, INCLUDING, STORM DRAINAGE, CURB AND GUTTER AND PAVEMENT TIE-INS AND GRADING.

7) REFERENCE ARCH PLANS FOR DIRECTIONAL SIGNAGE, SITE SIGNAGE, BUILDING DIMENSIONS, ETC.

11-D-22-DP
9/21/2022

PREPARED IN THE OFFICE OF:
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PEF008127

REVISIONS:

REV. #	DATE	DRAWN BY:	CHECKED BY:
-	-	-	-

CLIENT
CHRISTIAN BROTHERS AUTOMOTIVE
17725 KATY FREEWAY - SUITE 200 - HOUSTON, TX 77094

PROJECT
CBA - KNOXVILLE, TN
7676 OAK RIDGE HIGHWAY
KNOXVILLE, TN

SEAL:
PRELIMINARY
8/23/2022

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811 Know what's below. Call before you dig.

SCALE & NORTH ARROW:
NORTH ARROW
0' 10' 20' 40'
SCALE: 1" = 20'

DESIGN INFO:

DRAWN BY:	NCC
DESIGNED BY:	TDD
REVIEWED BY:	TDD
JOB #:	186032
DATE:	August 23, 2022

ENGINEERED SITE PLAN

ES-1.0

Drawing name: C:\Users\thomas.dugan\LeCraw Engineering Dropbox\Shared Folders\LeCraw Engineering\186032 - Christian Brothers Automotive - Knoxville, TN\CAD\EXHIBITS\2022-08-18 - CBA Knoxville - Concept Plan.dwg SITE PLAN Aug 23, 2022 2:52pm by: thomas.dugan

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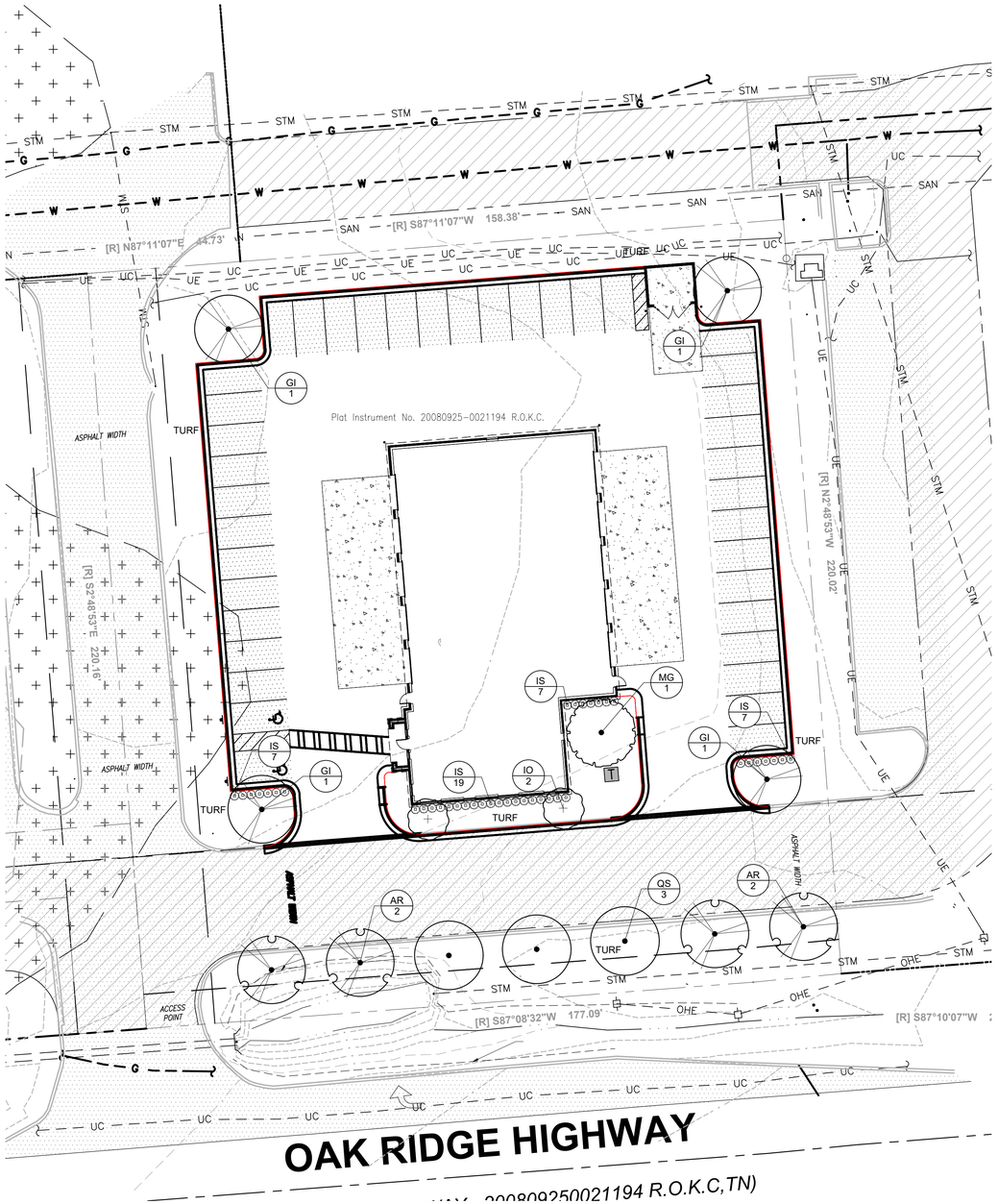

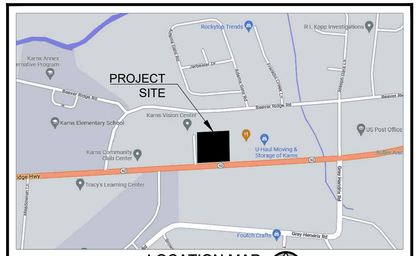

LOCATION MAP
NOT TO SCALE

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	HEIGHT
	AR	4	ACER RUBRUM	RED MAPLE	CONT.	4" CAL MIN	6`-8` HT MIN
	GI	4	GLEDITSIA TRIACANTHOS INERMIS 5FT CLEAR TRUNK, SINGLE, STRAIGHT CENTRAL LEADER, AND FULL CANOPY	THORNLESS COMMON HONEYLOCUST	CONT.	3" CAL MIN	14` HT MIN
	IO	2	ILEX OPACA SINGLE TRUNK	AMERICAN HOLLY	CONT.	2" CAL MIN	6`-8` HT MIN
	MG	1	MAGNOLIA GRANDIFLORA 5FT CLEAR TRUNK, SINGLE, STRAIGHT CENTRAL LEADER, AND FULL CANOPY	SOUTHERN MAGNOLIA	CONT.	2.5" CAL MIN	12` HT MIN
	QS	3	QUERCUS SHUMARDII	SHUMARD RED OAK	CONT.	5" CAL MIN	6`-8` HT MIN

EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SPACING	SIZE
	IS	40	ILEX GLABRA `SHAMROCK`	SHAMROCK INKBERRY HOLLY	CONT.	30" OC	24" HT MIN

SOD/SEED	CODE	BOTANICAL NAME	COMMON NAME	SIZE
	TURF	POA PRATENSIS	KENTUCKY BLUEGRASS	SOD

PLANT SIZES ARE MINIMUM AT TIME OF PLANTING. ADJUST CONTAINER SIZE AS NECESSARY TO MEET MINIMUM HEIGHT AND CALIPER AS NOTED.

GENERAL GRADING AND PLANTING NOTES

1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
   a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
   b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
   c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (**BASED ON A SOIL TEST**, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
   d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
   e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
   f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
   a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
   b. **NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.** IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS)
   c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
5. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
6. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

SEE SHEET LP-3 FOR SITE SECTIONS

LANDSCAPE CALCULATIONS

TOTAL SITE AREA:	43,146 SF
LANDSCAPE YARD REQUIRED:	8' WIDE
LANDSCAPE YARD PROVIDED:	15' WIDE
PERIMETER LANDSCAPING	
FRONTAGE LENGTH - OLD RIDGE HIGHWAY.:	202 LF
STREET TREES REQUIRED:	7 TREES (1 PER 30 LF OF FRONTAGE)
STREET TREES PROVIDED:	7 TREES
SHRUBS REQUIRED:	31 SHRUBS (1 PER 5 LF OF FRONTAGE)
SHRUBS PROVIDED:	35 SHRUBS
INTERIOR LANDSCAPING	
PARKINGTREES REQUIRED:	4 TREES
PARKING TREES PROVIDED:	4 TREES
SITE LANDSCAPING	
FACADE LENGTH:	61'
SHRUBS REQUIRED:	21 SHRUBS (1 PER 3')
SHRUBS PROVIDED:	26 SHRUBS
TREES REQUIRED:	2 TREES
TREES PROVIDED:	3 TREES (2 ORNAMENTAL, 1 SHADE)

IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

11-D-22-DP
9/21/2022

PREPARED IN THE OFFICE OF:

PEF008127

REVISIONS:

REV #	DATE	DRAWN BY:	CHECKED BY:
-	-	-	-

CLIENT
CHRISTIAN BROTHERS AUTOMOTIVE
17725 KATY FREEWAY - SUITE 200 - HOUSTON, TX 77094

PROJECT
CBA - KNOXVILLE, TN
7676 OAK RIDGE HIGHWAY
KNOXVILLE, TN

SEAL:
MARY N. BATES REGISTERED ARCHITECT TENNESSEE No. 101 LANDSCAPE ARCHITECT
9/26/2022

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811 Know what's below. Call before you dig.

SCALE & NORTH ARROW:
NORTH ARROW
0' 10' 20' 40'
SCALE: 1" = 20'

DESIGN INFO:

DRAWN BY:	---
DESIGNED BY:	---
REVIEWED BY:	---
JOB #:	186032
DATE:	September 26, 2022

ENGINEERED SITE PLAN

LP-1

~~ES-1.0~~

Drawing name: C:\Users\mbate\EDG Dropbox\EDG - Shared\2020\CBA\CBA - Murfreesboro TN - Franklin Rd\CBA Murfreesboro - plltg.dwg LP-1 Sep 26, 2022 12:24pm by: mbate

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Christian Brothers Automotive

Knoxville, TN

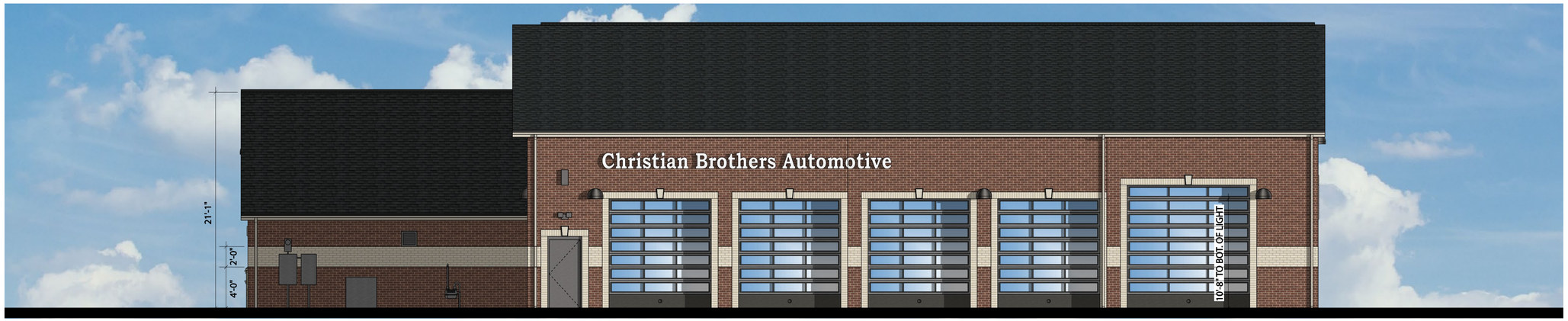
11-D-22-DP
9/21/2022

Christian Brothers Automotive

Knoxville, TN

11-D-22-DP
9/21/2022

5 FRONT ELEVATION
SCALE: 3/16"=1'-0"



4 BACK ELEVATION
SCALE: 3/16"=1'-0"

3 LEFT SIDE ELEVATION
SCALE: 3/16"=1'-0"

2 RIGHT SIDE ELEVATION
SCALE: 3/16"=1'-0"

PC-5
SHERWIN-WILLIAMS PAINT
SW 7001 MARSHMALLOW

PC-6
SHERWIN-WILLIAMS PAINT
SW 6258 TRICORN BLACK

M- 6
ROOF SHINGLES
CERTAINTEED LANDMARK 30 AR
COLOR: MOIRE BLACK

M- 5
ACME BRICK CO.
8" X 2 ¼" MODULAR BRICK
COLOR: BURGANDY
MORTAR: WHITE

M- 8
ACME BRICK CO.
8" X 2 ¼" MODULAR BRICK
COLOR: GLACIER WHITE
MORTAR: WHITE

M- 10
4" NATURAL LIMESTONE
SALADO QUARRY
MORTAR: WHITE

Christian Brothers Automotive

Knoxville, TN

11-D-22-DP
9/21/2022

Christian Brothers Automotive®

11-D-22-DP
9/21/2022

From: Christian Brothers Automotive Corporation
17725 Katy Freeway, Suite 200
Houston, TX 77094

To: Planning and Development

RE: Letter of Intent - Christian Brothers Automotive

Following your review, it is our hope we will be granted permission to continue the development process. Thank you for your time and consideration.

Architecture:

All plans, specifications, and uses will be in compliance with local code, ordinances and are in keeping with the neighboring developments or higher in standard. Variances will be addressed on case by case basis with City Staff and Reviewing Agencies.

Setting the aesthetic standard for automotive repair.

© Christian Brothers Automotive 2022

This finished store is 100% representative of our standard prototype.

Hours of Operation and Standard Procedures

Unlike most other light automotive service facilities, Christian Brothers keep a more conservative schedule. We open at 7 am and close no later than 6 pm, Monday through Friday. We are open on Saturday for the first 180 days of operation. Most vehicles left overnight are stored within our secure bays for customer peace of mind and insurance parameters. We do not perform tire recapping or body repair. These two activities are major noise and storage generators and are not a component of our scope of work.

Additionally, repairs occasionally designated as Heavy Vehicle Services are not a major component of our scope of work, comprising less than 1% of all tasks performed. Typically this level of service is only offered if a vehicle is brought to us in an unsafe or otherwise terminal condition. In many cases, the customer may be referred to a specialist engine / transmission repair / replacement facility.

The business in manned by 8 to 10 employees and the owner / franchisee.

You will find we operate our stores to the highest possible standards. Our shop floors are cleaned with a Zamboni style machine and no pollutants are ever released into the environment. All automotive fluids are contained in federal EPA and state compliant, double hulled, above ground containment vessels.

Working Interior Photos

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Office Interior

Summary:

Based on architecture alone, we are essentially a small cottage with a nine car garage. Our footprint is very non-intrusive and fits well with any neighboring residential community. We truly believe our development brings a unique experience to the automotive repair arena and enhances quality of life. Since our lobby and reception more closely resemble something you would find in a doctor's office, the maintenance and repair process becomes less threatening to people of all walks of life.

It is our hope that you can truly appreciate our presence and will find us to be a valued member of the community.

Site Plans and Criteria

PURCHASABLE PROPERTY

3 Mile Population:
Greater than 30,000 people

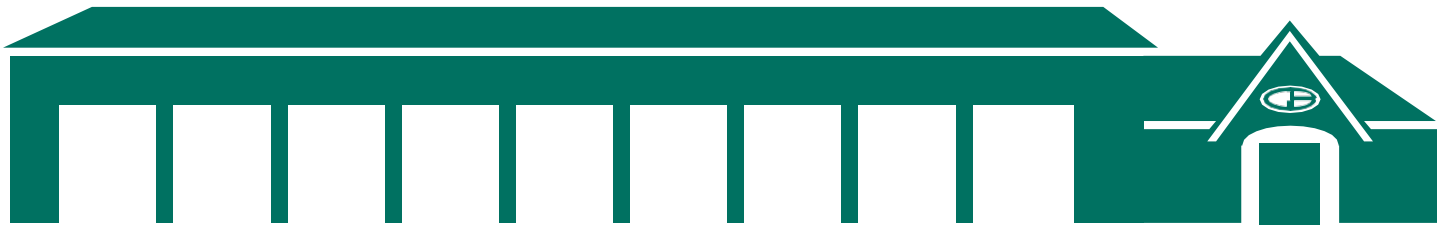
3 Mile Income:
Greater than $85,000
(Average Household Income)

Frontage Required:
100 - 120 Feet

Depth Required:
225 - 300 Feet

Size:
Greater than 25,000 ft^2
(Typically .7 - 1.0 acres)

Use:
Light / Minor Automotive



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Billy Green Jr. | Director of Land Acquisitions & Permitting
(281) 675-6192 • Billy.Green@cbac.com

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