

CERTIFICATE OF OWNERSHIP AND GENERAL DEDICATION.

(I, We) the undersigned owner(s) of the property shown herein, hereby adopt this as (my, our) plan of subdivision and dedicate the streets as shown to the public use forever and hereby certify that (I am, we are) the owner(s) in fee simple of the property, and as property owner(s) have an unrestricted right to dedicate right-of-way and/or grant easement as shown on this plat.
Owner(s) Printed Name:

KAREN J LUETHKE Date

DAVID WEST Date

CERTIFICATION OF FINAL PLAT - ALL INDICATED MARKERS, MONUMENTS AND BENCHMARKS SET.

I hereby certify that I am a registered land surveyor licensed to practice surveying under the laws of the State of Tennessee. I further certify that this plat and accompanying drawings, documents, and statements conform, to the best of my knowledge, to all applicable provisions of the Knoxville/Knox County Subdivision Regulations except as has been itemized, described and justified in a report filed with the Planning Commission, or for variances and waivers which have been approved as identified on the final plat. The indicated permanent reference markers and monuments, benchmarks and property monuments were in place on the 30th day of April, 2018.
Registered Land Surveyor

Tennessee License No. 1643 DATE: 9/26/2022

CERTIFICATION OF CATEGORY AND ACCURACY OF SURVEY

Survey accuracy shall meet the requirements of the current edition of the Rules of Tennessee State Board of Examiners for Land Surveyors - Standards of Practice. I hereby certify that this survey was prepared in compliance with the current edition of the Rules of Tennessee State Board of Examiners for Land Surveyors - Standards of Practice.
Registered Land Surveyor

Tennessee License No. 1643 Date: 9/26/2022

CERTIFICATION OF APPROVAL OF PUBLIC SANITARY SEWER SYSTEM - MINOR SUBDIVISIONS

This is to certify that the subdivision shown hereon is approved subject to the installation of public sanitary sewers and treatment facilities, and that such installation shall be in accordance with State and local regulations.

It is the responsibility of the property owner to verify with the Utility Provider the availability of sanitary sewers in the vicinity of the lot(s) and to pay for the installation of the required connections.

Utility Provider

Authorized Signature for Utility Date

CERTIFICATION OF APPROVAL OF PUBLIC WATER SYSTEM - MINOR SUBDIVISIONS

This is to certify that the subdivision shown hereon is approved subject to the installation of a public water system, and that such installation shall be in accordance with State and local regulations.

It is the responsibility of the property owner to verify with the Utility Provider the availability of water system in the vicinity of the lot(s) and to pay for the installation of the required connections.

Utility Provider

Authorized Signature for Utility Date

OWNER CERTIFICATION FOR PUBLIC SEWER AND WATER SERVICE - MINOR SUBDIVISIONS

(I, We) the undersigned owner(s) of the property shown herein understand that it is our responsibility to verify with the Utility Provider the availability of public sewer and water systems in the vicinity of the lot(s) and to pay for the installation of the required connections.

Owner(s) Printed Name:

KAREN J LUETHKE Date

DAVID WEST Date

ZONING Shown on Official Map

Date: By:

ADDRESSING DEPARTMENT CERTIFICATION

I, the undersigned, hereby certify that the subdivision name and all street names conform to the Knoxville/Knox County Street Naming and Addressing Ordinance, the Administrative Rules of the Planning Commission, and these regulations.

Signed Date

KNOX COUNTY DEPARTMENT OF ENGINEERING AND PUBLIC WORKS

The Knox County Department of Engineering and Public Works hereby approves this plat on this the

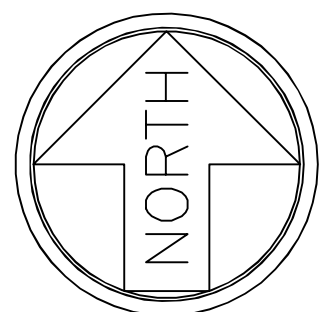
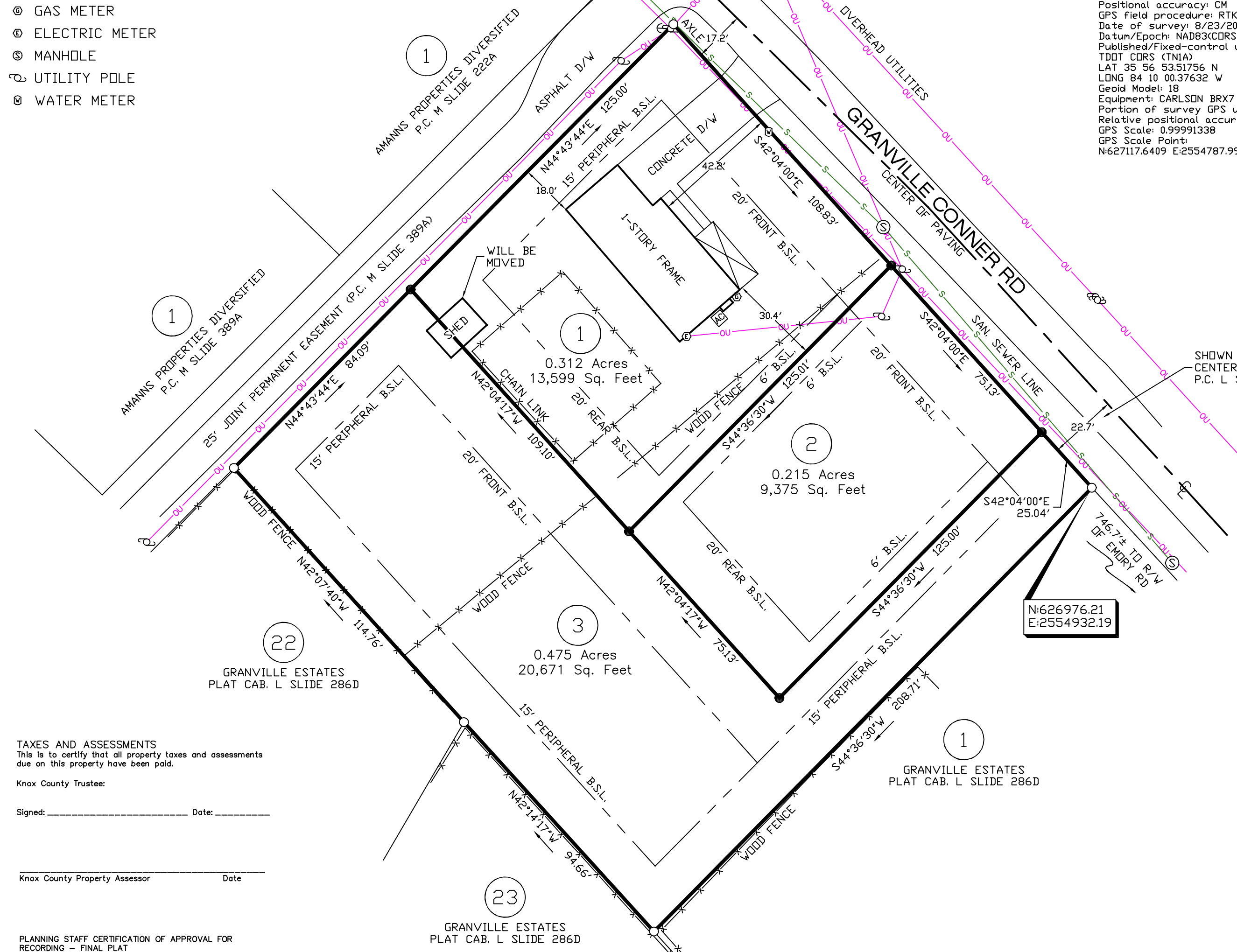
day of 20, Signed Date

Engineering Director

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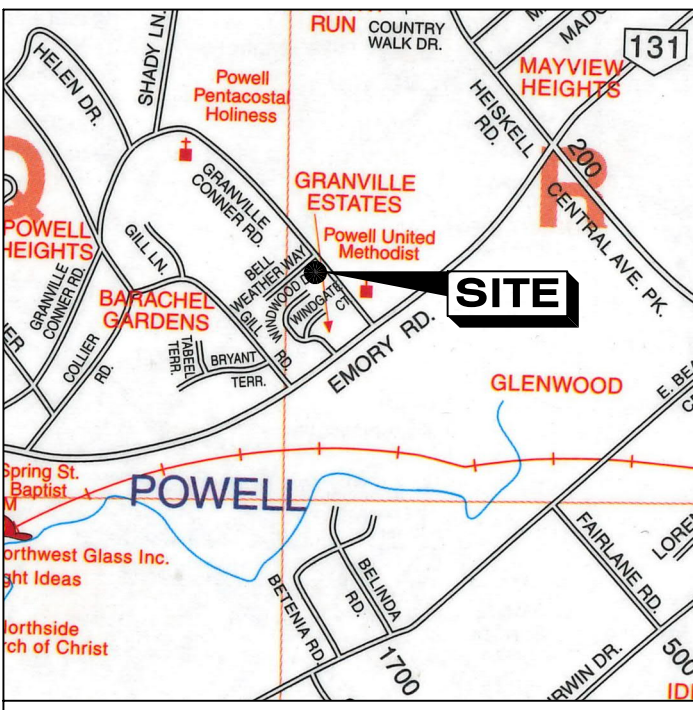
LEGEND

- ☐ AIR CONDITIONER
- ← GUY
- 1/2" IRON PIN SET
- 1/2" IRON PIN FOUND OR FND. AS NOTED
- ⊕ GAS METER
- ⊕ ELECTRIC METER
- ⊕ MANHOLE
- ⊕ UTILITY POLE
- ⊕ WATER METER



TN NAD83(2011)

Positional accuracy: CM
GPS Field procedure: RTK
Date of survey: 8/23/2022
Datum/Epoch: NAD83(CORS96)/2002
Published/Fixed-control user: TDDT CDRS (TNIA)
LAT 35 56 53.51756 N
LONG 84 10 00.37632 W
Geoid Model: 18
Equipment: CARLSON BRX7 DUAL BAND
Portion of survey GPS used: entire.
Relative positional accuracy < 0.1'.
GPS Scale: 0.99991338
GPS Scale Point: N627117.6409 E:2554787.9921



LOCATION MAP-NTS



- NOTES:
- THIS SURVEY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD. NO TITLE COMMITMENT HAS BEEN PROVIDED TO THE SURVEYOR. AN EXHAUSTIVE SEARCH OF PUBLIC RECORDS HAS NOT BEEN DONE. THIS SURVEY IS PERFORMED USING THE LATEST RECORDED DEED AND OTHER INFORMATION THAT MAY BE PROVIDED BY THE CLIENT.
 - SUBJECT TO UTILITY AND DRAINAGE EASEMENTS TEN (10) FEET IN WIDTH INSIDE ALL EXTERIOR LOT LINES ADJOINING STREETS AND PRIVATE RIGHTS-OF-WAY (INCLUDING JOINT PERMANENT EASEMENTS). EASEMENTS OF FIVE (5) FEET IN WIDTH ALONG BOTH SIDES OF ALL INTERIOR LOT LINES AND ON THE INSIDE OF ALL OTHER EXTERIOR LOT LINES. THESE EASEMENTS ARE NOT REQUIRED ALONG SPECIFIC LOT LINES FOR PROPERTY THAT IS ZONED TO ALLOW LESS THAN A FIVE (5) FOOT BUILDING SETBACK.
 - DEED 20220823-0012193.
 - PROPERTY IS ZONED PR, SETBACKS ARE PER DEVELOPMENT PLAN FILE...
 - 3 LOTS CONTAINING 1.002 ACRES.
 - LOT WAS INCLUDED IN REZONING FILE 12-G-89-RZ BUT WAS NOT INCLUDED ON SUBDIVISION PLAT CAB. L SLIDE 286D.
 - A 15' PERIPHERAL SETBACK IS REQUESTED, WHICH MATCHES THE APPROVED SETBACK FOR LOTS 1, 22, AND 223 OF GRANVILLE ESTATES (P.C. L SLIDE 286D.)

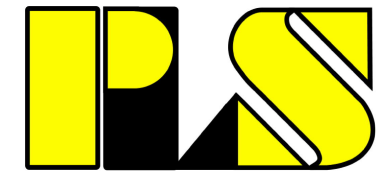


FILE #

DEVELOPMENT PLAN LUETHKE & WEST S/D

PLAT REF: N/A SCALE: 1"=30'
PARCEL(S): 056E01001
COUNTY/DISTRICT: KNOX/6
CITY: N/A WARD/BLOCK: N/A DATE: 9/24/2022

Ned D. Ferguson, R.L.S.
205 Lamar Avenue
Clinton, Tn. 37716



Phone: (865) 689-6169
Fax: (888) 232-8718 Toll Free

Professional Land Systems
www.PLSurvey.com

When you need to know, knowing is our business.

11-E-22-DP
9/26/2022

OWNER(S):
KAREN J LUETHKE
& DAVID WEST
327 GRANVILLE CONNER RD
POWELL, TN 37849
865.803.3697

TAXES AND ASSESSMENTS

This is to certify that all property taxes and assessments due on this property have been paid.

Knox County Trustee:

Signed: Date:

Knox County Property Assessor Date

PLANNING STAFF CERTIFICATION OF APPROVAL FOR RECORDING - FINAL PLAT

This is to certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations of Knoxville and Knox County and with existing official plans, with the exception of any variances and waivers noted on this plat, and that the record plat is hereby approved for recording in the office of the Knox County Register of Deeds. Pursuant to Section 13-3-405 of Tennessee Code, Annotated, the approval of this plat by the Planning Commission shall not be deemed to constitute or effect an acceptance by the City of Knoxville or Knox County of the dedication of any street or other ground upon the plat.

Signed Date

This is to certify that the described property is not located in a special flood hazard area as shown on the National Flood Insurance Program Flood Insurance Rate Map.
MAP NO. 47093C0120F ZONE: X
EFFECTIVE: 5/2/2007

I hereby certify that this is a category 4 (remote sensing GPS) survey. This survey meets the minimum standards for the State of Tennessee.

