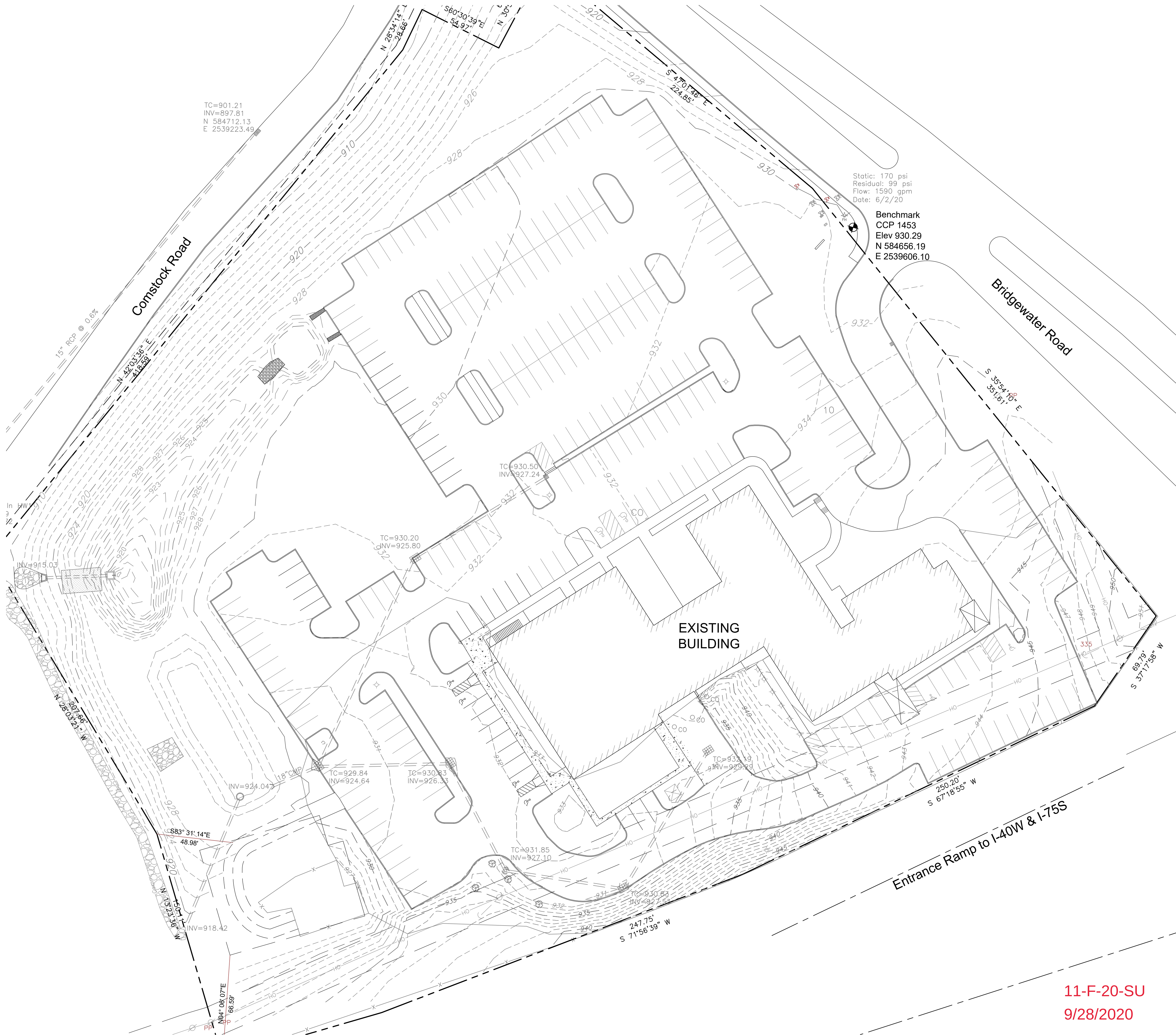




11-F-20-SU
9/28/2020

Location

General Notes

- The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records and where possible measurements taken in the field. This information is not to be relied upon as being exact or complete. The contractor must call Tennessee One Call and any utility that does not subscribe to one call at least 72 hours before any excavation, to request exact field location of the utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
- Property is located in Knoxville and is Zoned PC-1. City Block #46364, City Ward #47
- Setbacks: Peripheral Boundary 50'
- Total Acreage = 6.75+/- Acres
- Owner: Harbwhite Properties LLC
8725 Inlet Drive
Knoxville, TN 37922

Survey Notes

- Survey by:
Land Development Solutions
310 Simmons Road, Suite K
Knoxville, TN 37922
865-671-2281
- Utility information is based on information obtained from the utility providers. Underground utility locations shown are taken from historical drawings and shall not be relied upon as exact locations. The contractor is responsible for determining the accuracy of this information.

Legend

	Existing Contours
	Existing Edge Pavement
	Existing Edge Pavement
	Existing Wall
	Existing Storm Line
	Existing Storm Catch Basin
	Existing Headwall
	Existing Storm Manhole
	Property Line (Boundary)
	Existing Tree Line
	Existing Tree
	Existing Gas Line
	Existing Water Line
	Existing Fire Hydrant
	Existing Water Valve
	Existing Chill Water Line
	Existing Chill Water Manhole
	Existing Steam Line
	Existing Steam Manhole
	Existing Sanitary Sewer
	Existing Sanitary Manhole
	Existing Abandoned Sanitary
	Existing Communication Line
	Existing Fiber Optic Line
	Existing Fence
	Existing Overhead Electric
	Existing Underground Electric
	Existing Electric Box
	Existing Power Pole
	Existing Light Pole

Project:

Bridgewater Place
205 Bridgewater Road
Harbwhite Properties, LLC
Knoxville, Tennessee

LAND DEVELOPMENT SOLUTIONS

310 SIMMONS RD., SUITE K-KNOXVILLE, TENNESSEE 37922
PH. 865-671-2281

Drawing Description:

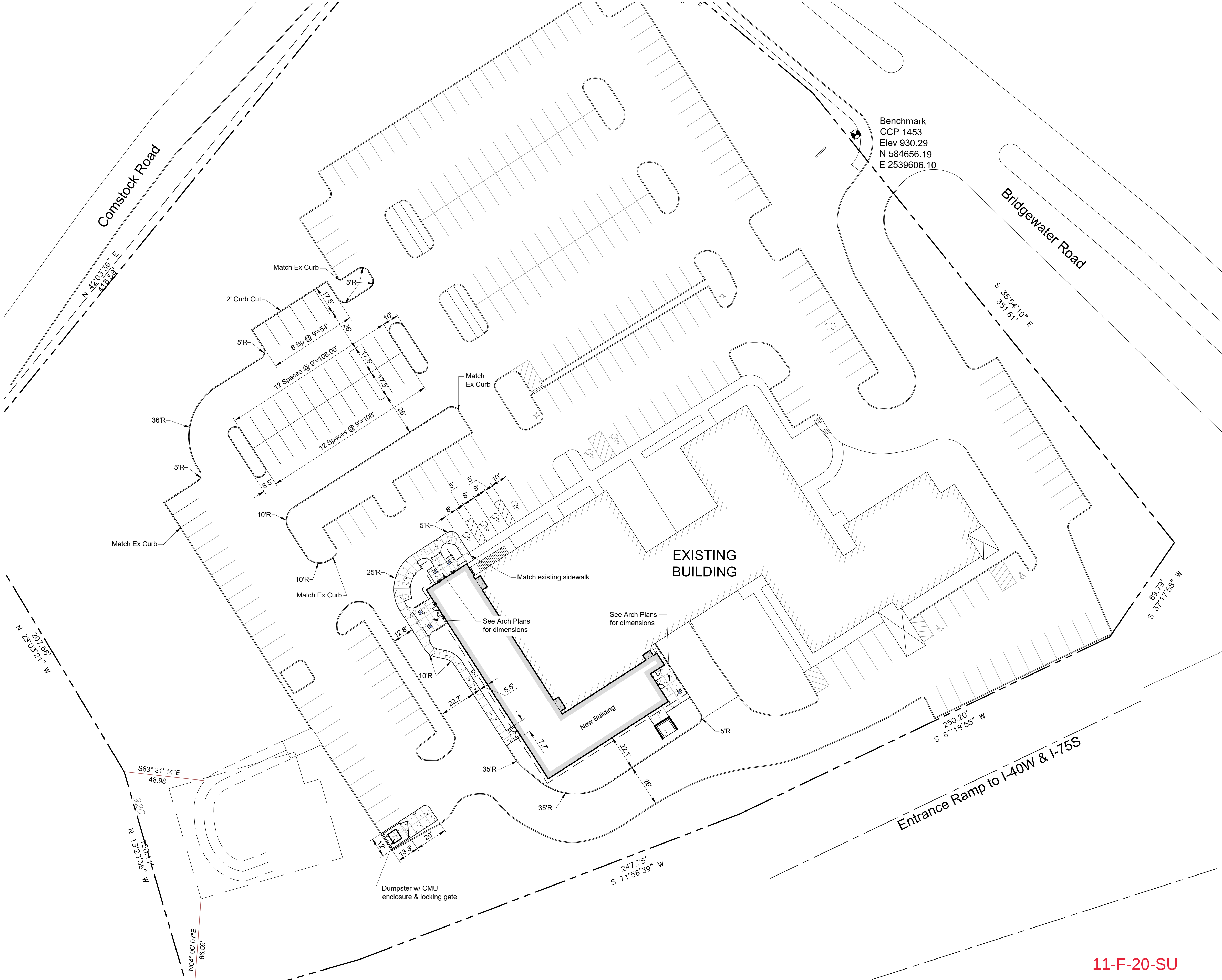
Site Survey

Revision	Date	No.

Drawn By	CDB
Checked	CDB
Approved	EJB
Job No.	220046
1"=30'	9-21-20
Scale	Date

C101

Sheet No.



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2. Property is located in Knoxville and is Zoned PC-1.
City Block #46364, City Ward #47
3. Setbacks: Peripheral Boundary 50'
4. Total Acreage = 6.75+/- Acres
5. Owner: Harbwhite Properties LLC
8725 Inlet Drive
Knoxville, TN 37922
6. Parking Count: Existing 298 spaces including 8 H/C spaces
Lost - 15 spaces
Total - 273 spaces including 8 H/C spaces

Layout Notes

1. All dimensions to curb line reference face of curb - see detail.
2. See architectural drawings for building dimensions. All dimensions to building are approximate unless specifically noted as building layout points.
3. See Utility Plan for new and existing utility line locations. See Grading and Drainage Plan for new and existing storm drain locations.
4. Existing Site: 6.75 Ac (294,030 sf)
 Impervious = 127,165 sf
 Grass/Landscape = 166,865 sf
 Proposed Site:
 Impervious = 141,570 sf
 Grass/Landscape = 152,460 sf

Pavement Markings

1. All roadway pavement markings shall be thermoplastic or preformed plastic markings as specified in the latest edition of TDOTSS.
2. All parking space markings shall be painted markings as specified in the latest edition of TDOTSS.

Legend

	Existing Edge Pavement
	Existing Edge Pavement
	Property Line (Boundary)
	New Edge Pavement
	New Concrete Curb
	New Concrete Sidewalk
	New Parking Stripping

11-F-20-SU
9/28/2020

Project:

Bridgewater Place
205 Bridgewater Road
Harbwhite Properties, LLC
Knoxville, Tennessee

**LAND
DEVELOPMENT
SOLUTIONS**

310 SIMMONS RD., SUITE K•KNOXVILLE, TENNESSEE 37922
PH 865-671-2281

description:

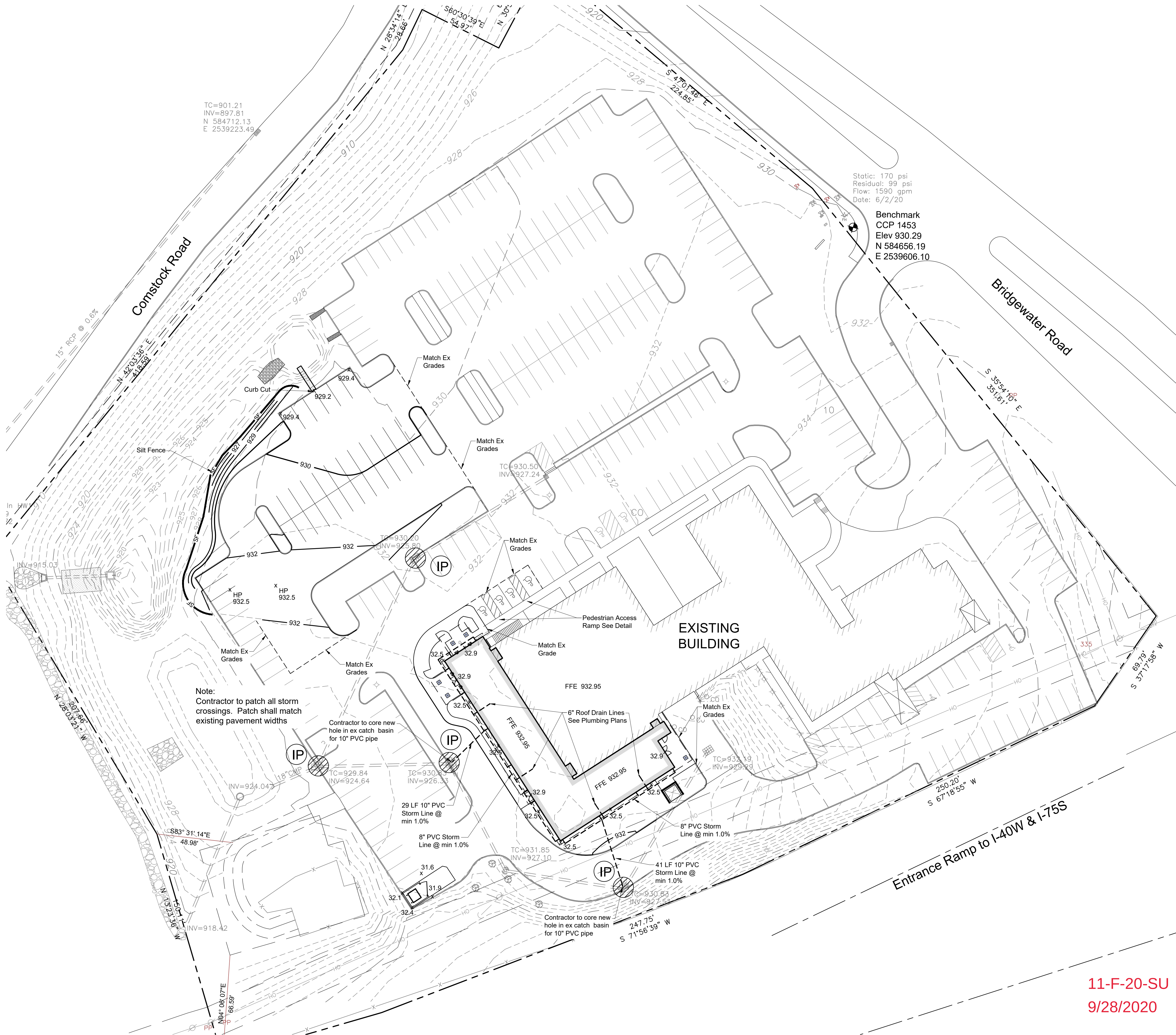
Site Layout Plan

[illegible]

Drawn By	CDB
Checked	CDB
Approved	EJB
Job No.	220046
1"=30' Scale	9-21-20 Date

C103

X:\2020\220046 - Bridgewater West(DWG) Bridgewater West Plan.dwg Sep 28, 2020 - 2:24pm cbrown - LDS Copyright 2020



11-F-20-SU
9/28/2020

General Notes

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8725 Inlet Drive
Knoxville, TN 37922

Survey Notes

- Survey by:
Land Development Solutions
310 Simmons Road, Suite K
Knoxville, TN 37922
865-671-2281
- Utility information is based on information obtained from the utility providers. Underground utility locations shown are taken from historical drawings and shall not be relied upon as exact locations. The contractor is responsible for determining the accuracy of this information.

Drainage Notes

- All storm lines in paved areas shall be backfilled to pavement subgrade with #57 stone.
- All trenching and shoring shall comply with OSHA standards.
- Storm lines and structures shall be constructed as soon as possible. Inlet Protection shall be used around structures to minimize the silt entering into drainage system. All silt shall be removed from structures and lines.
- Pipe lengths and slope are measured from center of structure to center of structure.
- After construction is complete, contractor shall provide as-built survey as noted above. Survey shall be updated to reflect any changes or modifications to the storm system since the first as-built survey. As-built survey shall include storm structure tops, inverts, pipe materials, slopes, and detention basin grading (1 foot contours). Survey shall be provided in electronic format (ACAD 2009 compatible) as well as stamped paper copy. Survey shall be on the same datum as coordinate system as the design plans. All survey points shall be provided in a comma delimited text file (PNEZD format).
- Total Disturbed Area = 11,840 SF
Existing Impervious = 5,650 SF
New Impervious = 7,500 SF

Legend

	New Building/Parking Garage
	New Edge Pavement
	New Concrete Curb
	Finished Grade Contours
	New Storm Pipe
	Existing Contours
	Existing Edge Pavement
	Existing Edge Pavement
	Existing Storm Line
	Existing Storm Catch Basin
	Existing Water Line
	Existing Fire Hydrant
	Existing Water Valve
	Existing Sanitary Sewer
	New Water Line
	New Fire Hydrant
	New Sanitary Sewer

Project:
Bridgewater Place
205 Bridgewater Road
Harbwhite Properties, LLC
Knoxville, Tennessee

LAND DEVELOPMENT SOLUTIONS

310 SIMMONS RD., SUITE K-KNOXVILLE, TENNESSEE 37922
PH. 865-671-2281

Drawing Description:
Site Grading Plan

Revision	Date	No.

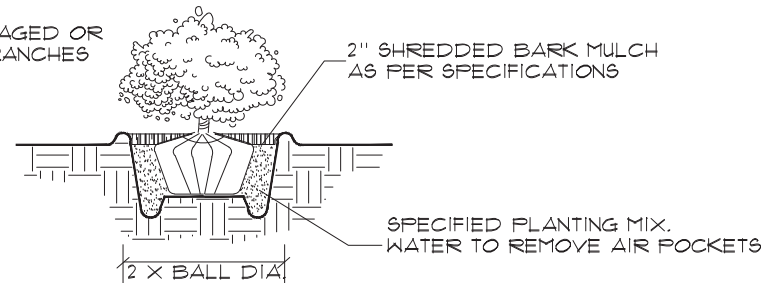


Drawn By	CDB
Checked	CDB
Approved	EJB
Job No.	220046
1"=30'	9-21-20
Scale	Date

C104
Sheet No.

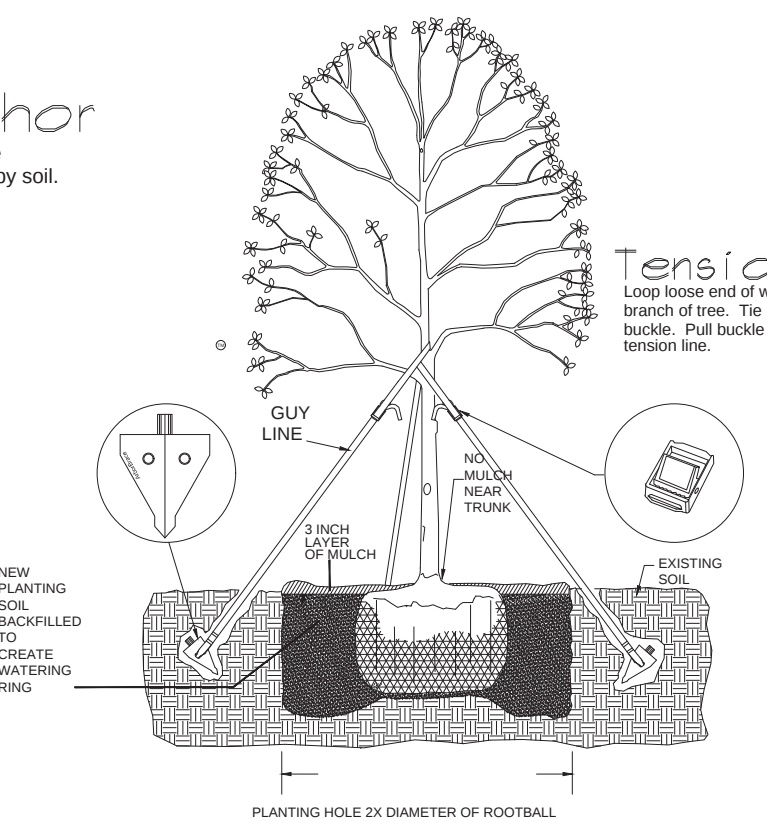
PLANT LIST			
COMMON NAME	BOTANICAL NAME	SIZE	QUANT.
TREES			
gold rush dawn redwood	Metasequoia glyptostroboides "Gold Rush"	3" caliper	5
Lindsey's Skyward bald cypress	Toxodum distichum "Skyward"	6-7"	2
natchez crape myrtle	Lagerstroemia indica "Natchez"	1.25" caliper	6
SHRUBS			
Virginia sweetspire	Itea virginica "Henry's Garnet"	20-26"	9
Green Mountain boxwood	Buxus "Green Mountain"	20-26"	23
Compacta holly	Ilex crenata "Compacta"	5 gal.	25
Degroot's arbovitae	Thuja occidentalis "Degroot's Spire"	5-6"	3
Double play candy corn spiarea	Spiarea japonica "Candy corn"	3 gal.	10
Otto luyken laurel	Prunus laurocerasus "Otto Luyken"	24-28" spr.	6
GROUND COVER / PERENNIAL			
feather reed grass	Calamagrostis acutiflora "Karl Foester"	1 gal.	10
"Happy Returns" daylily	Heemerallis "Happy Returns"	1 gal.	20
black eyed susan	Rudbeckia goldsturm	1 gal.	21
dwarf blue plumbago	Arundinaria gigantea	4" pots	12" O.C.
St. John's wort	Hypericum calycinum	4" pots	15" O.C.
TURF			
sod - fine fescue blend		50. FT.	approx 750

- REMOVE ALL LABELS AND TAGS FROM PLANT
- PLANT SO TOP OF ROOT BALL IS EVEN WITH FINISHED GRADE
- REMOVE ALL NON-BIODEGRADABLE BURLAP AND CUT ALL STRINGS PRIOR TO BACKFILLING
- PRUNE ANY DAMAGED OR UNDESIRABLE BRANCHES

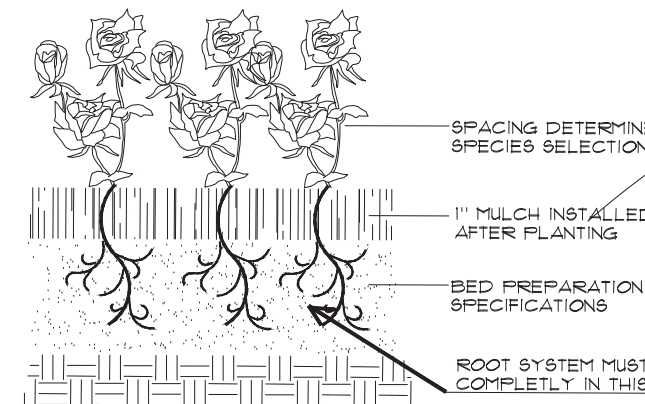


SHRUB PLANTING DETAIL
not to scale

ArborAnchor
ArborAnchor driven below grade to necessary depth determined by soil. (1.5 to 2.5 feet as required)



TREE SUPPORT DETAIL
not to scale



GROUND COVER PLANTING DETAILS
not to scale

LANDSCAPE INSTALLATION SPECIFICATIONS:

SUBSTITUTIONS: DO NOT MAKE SUBSTITUTIONS. IF SPECIFIED MATERIAL IS NOT OBTAINABLE, CONTACT LANDSCAPE ARCHITECT TO DISCUSS EQUIVALENT SUBSTITUTIONS.

PLANT QUALITY: PROVIDE TREES, SHRUBS, AND OTHER PLANTS OF QUANTITY SIZE, GENUS, SPECIES AND VARIETY LISTED. CONTRACTOR WILL BE EXPECTED TO PROVIDE PLANTS WHICH CAN BE CONSIDERED TO HAVE A QUALITY WHICH IS HIGHER THAN MINIMUM ACCEPTABLE.

TOPSOIL: TOPSOIL OR ANY SOIL AMENDMENTS SHALL BE NATURAL, FERTILE, AGRICULTURAL SOIL CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. SOIL SHALL BE FREE OF STONES, LUMPS, LIVE PLANTS AND THEIR ROOTS, STICKS AND OTHER EXTRANEIOUS MATTER. IT SHALL HAVE A PH RANGE OF 5.0 TO 7.0, AND CONTAIN NOT LESS THAN 5% ORGANIC MATTER. THE SOIL SHALL NOT BE CONTAMINATED WITH SUBSTANCES HARMFUL TO HUMANS OR THE GROWTH OF PLANTS.

BED PREPARATION: THE SOIL FOR PLANTING BEDS FOR ANNUALS, PERENNIALS, AND GROUNDCOVERS SHALL CONSIST OF A MINIMUM OF 4 INCHES OF TOPSOIL AND PEAT MOSS OR OTHER ACCEPTABLE ORGANIC MATTER IN THE RATIO OF 3:1 RESPECTIVELY. BEDS SHALL BE EVENLY TILLED, RAKED TO A LEVEL GRADE, AND THEN MULCHED PRIOR TO PLANTING.

CONDITIONS: THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ADVERSE SOIL DRAINAGE CONDITIONS OR OTHER SITUATIONS UNFAVORABLE FOR LANDSCAPE INSTALLATION.

BACKFILL: BACKFILL SHALL CONSIST OF EXISTING SOIL FROM THE HOLE PLUS TOPSOIL PLUS APPROVED ORGANIC MATTER IN THE RATIO OF 3:2:1 RESPECTIVELY. SETTLE SUCH BACKFILL WITH WATER AFTER LAYERING THIS MATERIAL IN THE PLANTING PIT. REMOVE ALL NON-BIODEGRADABLE BURLAP AND CUT ALL STRINGS SURROUNDING TRUNK. HOLES MAY BE HAND DUG OR EXCAVATED W/ APPROPRIATELY SIZED AUGER WHERE ACCESSIBLE.

STAKING/GUYING:

AS DRAWN IN PLANTING DETAIL WITH "ARBOR-TIE" SYSTEM. VISIBLE SUPPORTS SUCH AS NYLON STRAPS SHALL BE REMOVED AT CONTRACTORS EXPENSE AFTER ONE YEAR OF INSTALLATION COMPLETION.

MULCH:

MULCHES SHALL BE SHREDDED HARDWOOD BARK AT A DEPTH OF 3". SPECIFIED MULCHES SHALL BE FREE FROM MATURED SEED, NOXIOUS WEEDS, HARMFUL INSECTS, OR ANY SPECIFIC OR GENERAL DISEASES THAT COULD BE SUPPORTED AND THE DEVELOPMENT OF PLANTS. TREATED OR DYED "BLACK MULCH" NOT ACCEPTABLE.

CLEAN-UP:

DURING PLANTING, EXCESS AND WASTE SHALL BE PROMPTLY AND CONTINUOUSLY REMOVED. LAWN AREAS AND PAVED SURFACES KEPT CLEAR AND ALL REASONABLE PRECAUTIONS SHALL BE MADE TO AVOID DAMAGE TO EXISTING STRUCTURES, PLANTS AND GRASS. WALKS AND PAVED AREAS SHALL BE HOSED DOWN AND CLEANED TO APPEAR AS THEY HAD PRIOR TO BEGINNING OF WORK.

LANDSCAPE ORDINANCE NOTES

- NO EXISTING TREES TO BE REMOVED FROM THE SITE.
- PROPOSED PLANTING SHOWS (5) GOLD RUSH DAWN REDWOODS @ 3" CALIPER AND (6) NATCHEZ CREPE MYRTLE (MULTI-STEMMED W/ EACH STALK MIN. 1.25" CALIPER).
- GOLD RUSH DAWN REDWOOD HEIGHT AT MATURITY = 60' +.
- NATCHEZ CREPE MYRTLE HEIGHT AT MATURITY = 20'.
- THIS SATISFIES THE LANDSCAPE ORDINANCE REQUIRING (8) TREES PER ACRE.

DRAWING REVISIONS		DESCRIPTION
NO.	DATE	
01	14SEP20	LANDSCAPE ORDINANCE



PLANTING PLAN

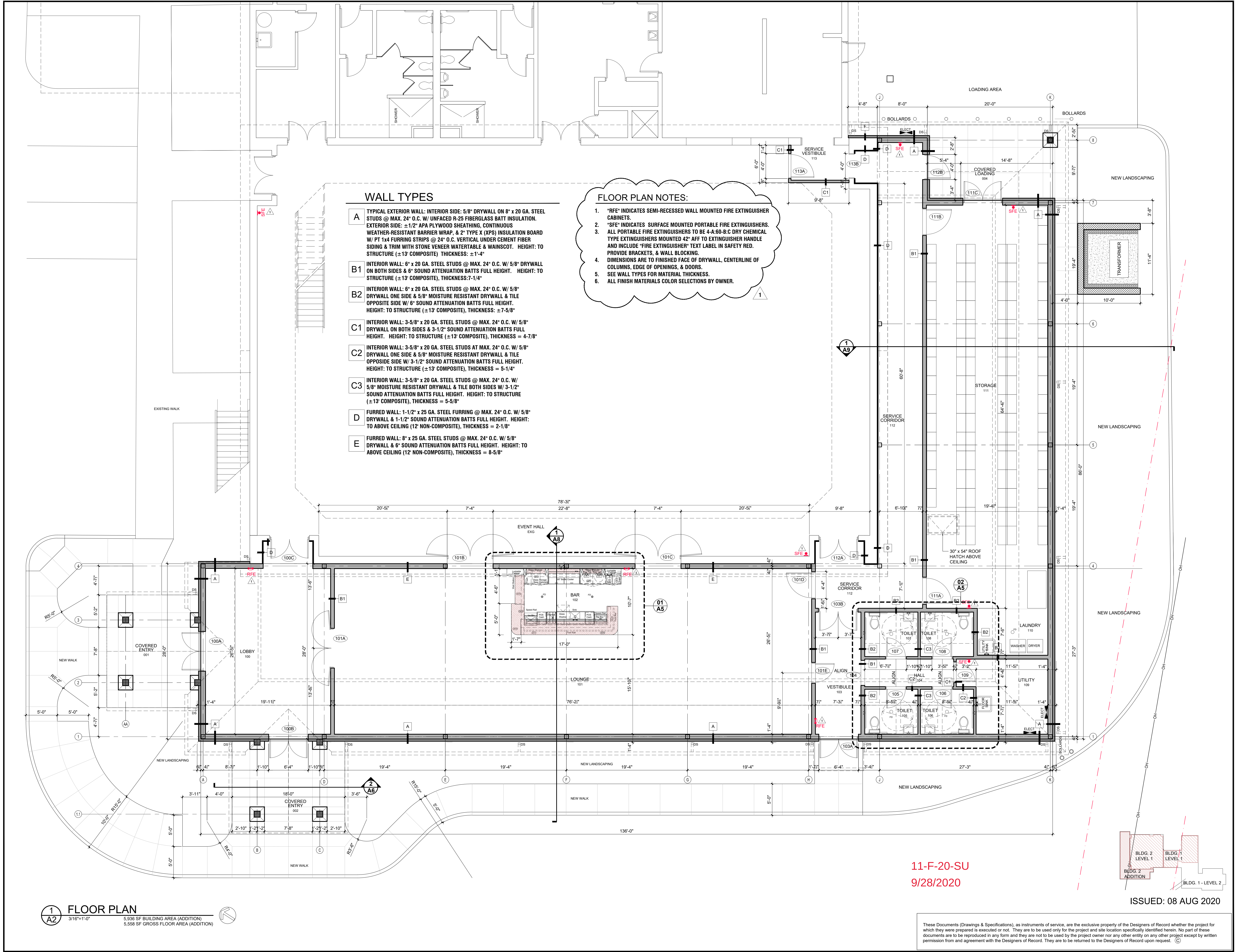
BRIDGEWATER PLACE - BUILDING 2 ADDITION

205 BRIDGEWATER ROAD
KNOXVILLE, TENNESSEE

Hess-White
PROPERTIES, LLC
205 BRIDGEWATER ROAD
KNOXVILLE, TENNESSEE 37923

DRAWN:	GLM
CHECKED:	GLM
JOB NO:	
SCALE:	1" = 20'
DATE:	31 JULY 20
SHEET NO:	

LA1



WALL TYPES

- A** TYPICAL EXTERIOR WALL: INTERIOR SIDE: 5/8" DRYWALL ON 8" x 20 GA. STEEL STUDS @ MAX. 24" O.C. W/ UNFACED R-25 FIBERGLASS BATT INSULATION. EXTERIOR SIDE: ±1/2" APA PLYWOOD SHEATHING, CONTINUOUS WEATHER-RESISTANT BARRIER WRAP, & 2" TYPE X (XPS) INSULATION BOARD W/ PT 1x4 FURRING STRIPS @ 24" O.C. VERTICAL UNDER CEMENT FIBER SIDING & TRIM WITH STONE VENEER WATERTABLE & WAINSCOT. HEIGHT: TO STRUCTURE (±13' COMPOSITE), THICKNESS: ±1'-4"
- B1** INTERIOR WALL: 6" x 20 GA. STEEL STUDS @ MAX. 24" O.C. W/ 5/8" DRYWALL ON BOTH SIDES & 6" SOUND ATTENUATION BATTS FULL HEIGHT. HEIGHT: TO STRUCTURE (±13' COMPOSITE), THICKNESS: 7'-1/4"
- B2** INTERIOR WALL: 6" x 20 GA. STEEL STUDS @ MAX. 24" O.C. W/ 5/8" DRYWALL ONE SIDE & 5/8" MOISTURE RESISTANT DRYWALL & TILE OPPOSITE SIDE W/ 6" SOUND ATTENUATION BATTS FULL HEIGHT. HEIGHT: TO STRUCTURE (±13' COMPOSITE), THICKNESS: ±7'-5/8"
- C1** INTERIOR WALL: 3-5/8" x 20 GA. STEEL STUDS @ MAX. 24" O.C. W/ 5/8" DRYWALL ON BOTH SIDES & 3-1/2" SOUND ATTENUATION BATTS FULL HEIGHT. HEIGHT: TO STRUCTURE (±13' COMPOSITE), THICKNESS = 4'-7/8"
- C2** INTERIOR WALL: 3-5/8" x 20 GA. STEEL STUDS AT MAX. 24" O.C. W/ 5/8" DRYWALL ONE SIDE & 5/8" MOISTURE RESISTANT DRYWALL & TILE OPPOSITE SIDE W/ 3-1/2" SOUND ATTENUATION BATTS FULL HEIGHT. HEIGHT: TO STRUCTURE (±13' COMPOSITE), THICKNESS = 5'-1/4"
- C3** INTERIOR WALL: 3-5/8" x 20 GA. STEEL STUDS @ MAX. 24" O.C. W/ 5/8" MOISTURE RESISTANT DRYWALL & TILE BOTH SIDES W/ 3-1/2" SOUND ATTENUATION BATTS FULL HEIGHT. HEIGHT: TO STRUCTURE (±13' COMPOSITE), THICKNESS = 5'-5/8"
- D** FURRED WALL: 1-1/2" x 25 GA. STEEL FURRING @ MAX. 24" O.C. W/ 5/8" DRYWALL & 1-1/2" SOUND ATTENUATION BATTS FULL HEIGHT. HEIGHT: TO ABOVE CEILING (12' NON-COMPOSITE), THICKNESS = 2'-1/8"
- E** FURRED WALL: 8" x 25 GA. STEEL STUDS @ MAX. 24" O.C. W/ 5/8" DRYWALL & 8" SOUND ATTENUATION BATTS FULL HEIGHT. HEIGHT: TO ABOVE CEILING (12' NON-COMPOSITE), THICKNESS = 8'-5/8"

FLOOR PLAN NOTES:

- "RFE" INDICATES SEMI-RECESSED WALL MOUNTED FIRE EXTINGUISHER CABINETS.
- "SFE" INDICATES SURFACE MOUNTED PORTABLE FIRE EXTINGUISHERS.
- ALL PORTABLE FIRE EXTINGUISHERS TO BE 4-A:60-B:C DRY CHEMICAL TYPE EXTINGUISHERS MOUNTED 42" AFF TO EXTINGUISHER HANDLE AND INCLUDE "FIRE EXTINGUISHER" TEXT LABEL IN SAFETY RED. PROVIDE BRACKETS, & WALL BLOCKING.
- DIMENSIONS ARE TO FINISHED FACE OF DRYWALL, CENTERLINE OF COLUMNS, EDGE OF OPENINGS, & DOORS.
- SEE WALL TYPES FOR MATERIAL THICKNESS.
- ALL FINISH MATERIALS COLOR SELECTIONS BY OWNER.

DRAWING REVISIONS

NO.	DATE	DESCRIPTION
01	15SEP20	ADD FIRE EXTINGUISHERS

DARRELL CAMERON ARCHITECTS

REGISTERED ARCHITECT

NO. 00000000

STATE OF TENNESSEE

hw

Hess-White Properties, LLC

FLOOR PLAN

BRIDGEWATER PLACE ADDITION

205 BRIDGEWATER ROAD

KNOXVILLE, TENNESSEE

Hess-White PROPERTIES, LLC

205 BRIDGEWATER ROAD

KNOXVILLE, TENNESSEE 37923

DRAWN: DCG

CHECKED: DCG

JOB NO: 20-1005

SCALE: 3/16" = 1'-0"

DATE: 25 AUG 20

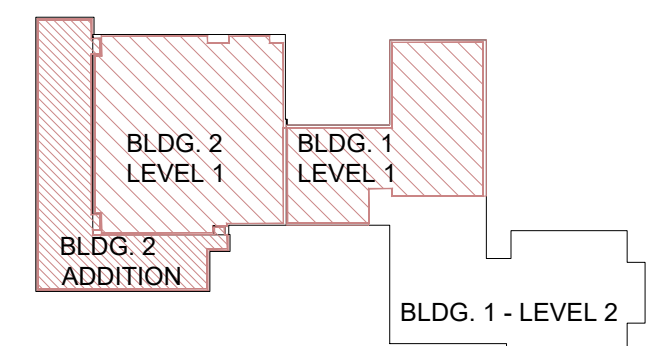
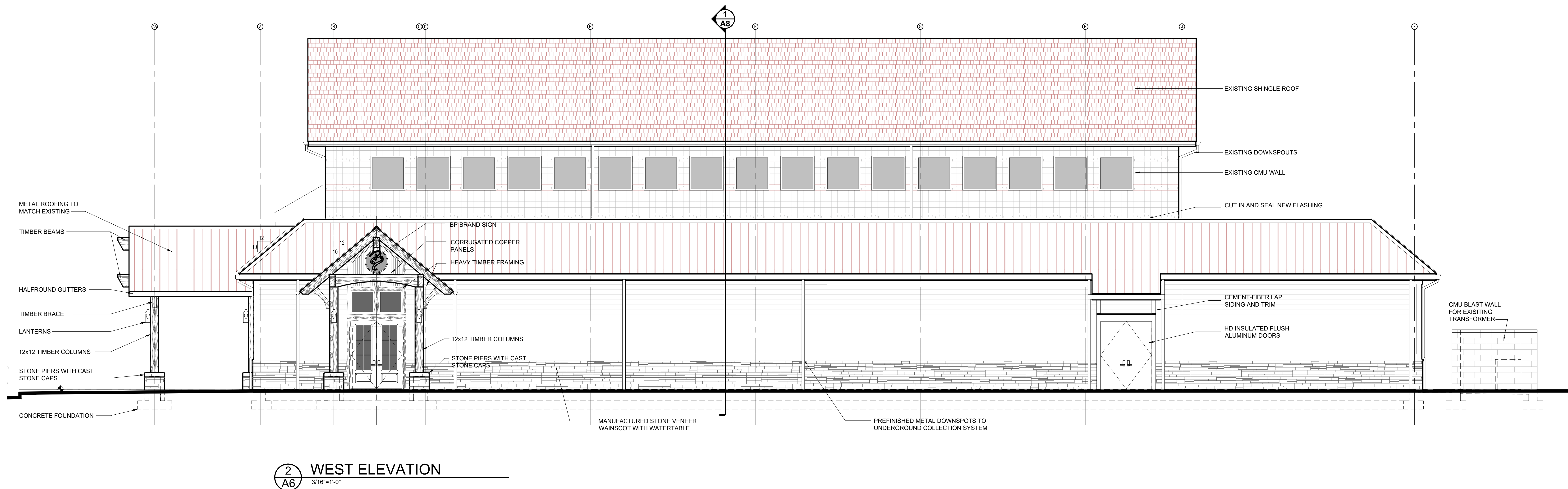
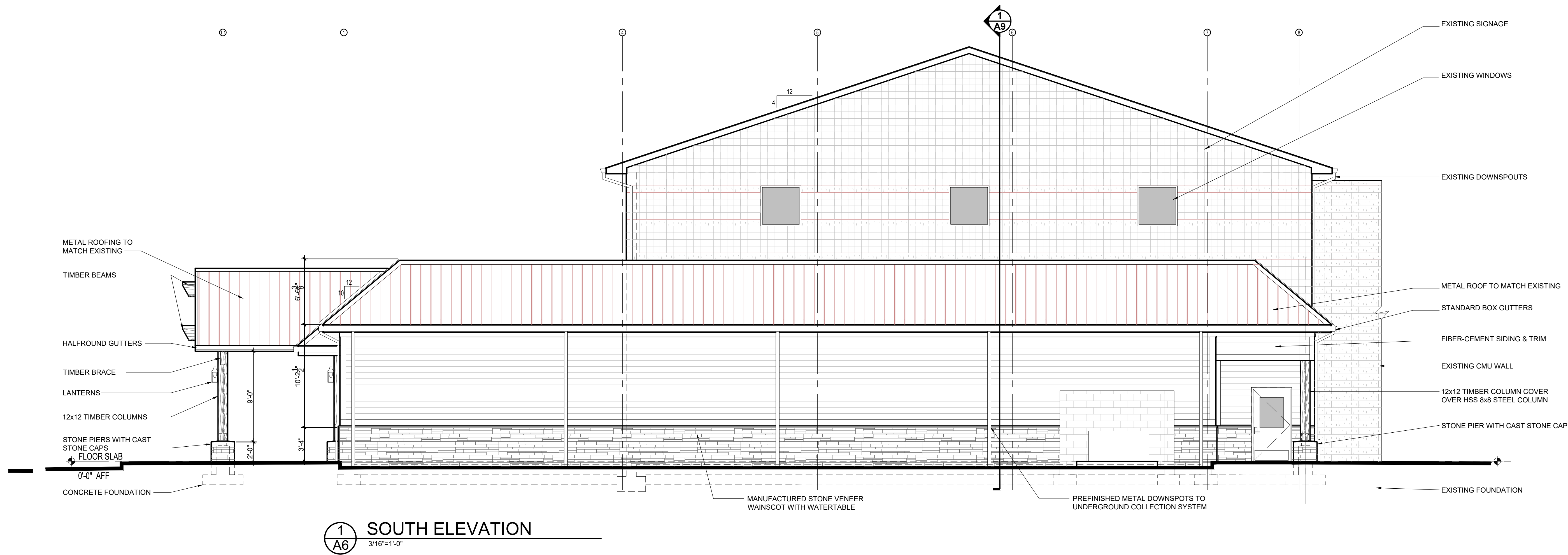
SHEET NO:

A2

11-F-20-SU
9/28/2020

ISSUED: 08 AUG 2020

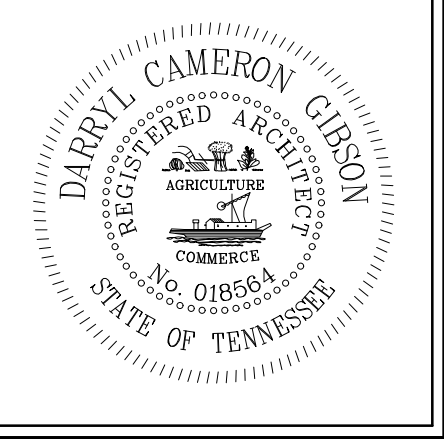
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9/28/2020

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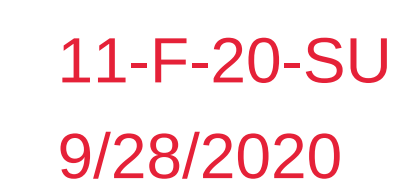
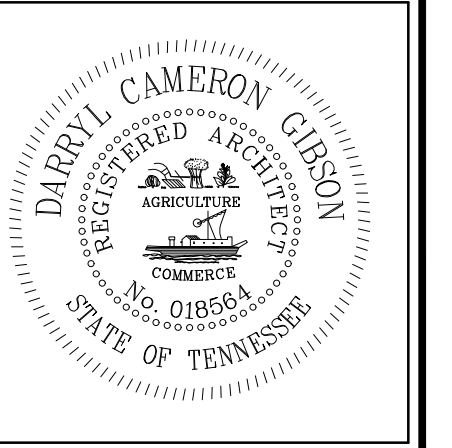
DRAWING REVISIONS	
NO.	DESCRIPTION



SOUTH & WEST ELEVATIONS
BRIDGEWATER PLACE ADDITION
205 BRIDGEWATER ROAD
KNOXVILLE, TENNESSEE

Hess-White
PROPERTIES, LLC
205 BRIDGEWATER ROAD
KNOXVILLE, TENNESSEE 37923

DRAWN:	DCG
CHECKED:	DCG
JOB NO:	20-1005
SCALE:	3/16" = 1'-0"
DATE:	25 AUG 20
SHEET NO:	A6

[illegible]

NORTH & EAST ELEVATIONS
BRIDGEWATER PLACE ADDITION
205 BRIDGEWATER ROAD
KNOXVILLE, TENNESSEE

Hess-White
PROPERTIES, LLC

200 BIRDSEIGHT LANE
KNOXVILLE, TENNESSEE 37923

DRAWN:	DCG
CHECKED:	DCG
JOB NO:	20-1005
SCALE:	VARIES
DATE:	25 AUG 20
SHEET NO:	

A7