



ZONING:
C-R-2 (REGIONAL COMMERCIAL)

REQUIRED BUILDING SETBACKS:
FRONT (E)= 20'
REAR (W)= 10'
SIDE (N)= 10'
SIDE (S)= 10'

SITE ACREAGE:
PANDA EXPRESS = 39,882.59 SF / 0.915 ACRES

FLOOR AREA RATIO:
PANDA EXPRESS = 2,300 SF BLDG / SITE AREA 39,882.59 = 5.77%

IMPERVIOUS SURFACE RATIO
PAVEMENT/SIDEWALKS = 26,421.66 SF
BUILDING = 2,300 SF
SITE SQ FEET = 39,882.59 SF
TOTAL = 11,160.93 SF / 39,882.59 = 27.96%

PARKING
6 SPACES PER 1000SF
PARKING REQUIRED = 14
TOTAL PARKING PROVIDED PANDA EXPRESS = 39
REQUIRED PARKING SETBACKS:
FRONT (E)= N/A
REAR (W)= N/A
SIDE (N)= N/A
SIDE (S)= N/A

FLOOD HAZARD:
F.I.R.M. MAP NO. 470983C026ZF, DATED 05/02/2007



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This image shows a blank sheet of white paper with horizontal ruling lines. A single vertical line runs down the left side, creating a narrow margin. The paper is otherwise empty of any text or markings.

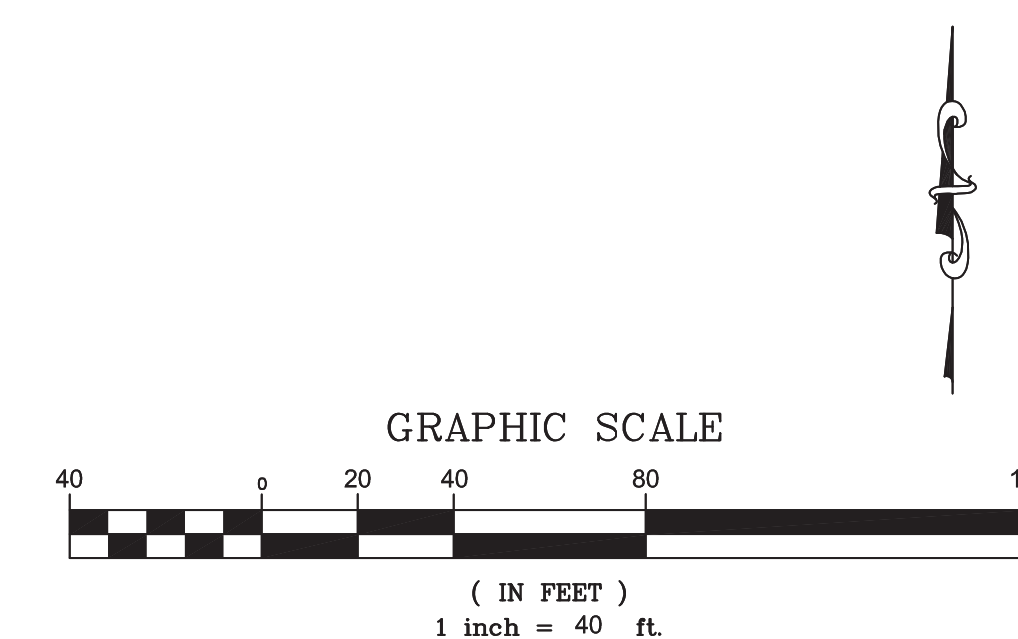
PANDA PROJECT #:	S8-20-D7892
ARCH PROJECT #:	XXX-XXX

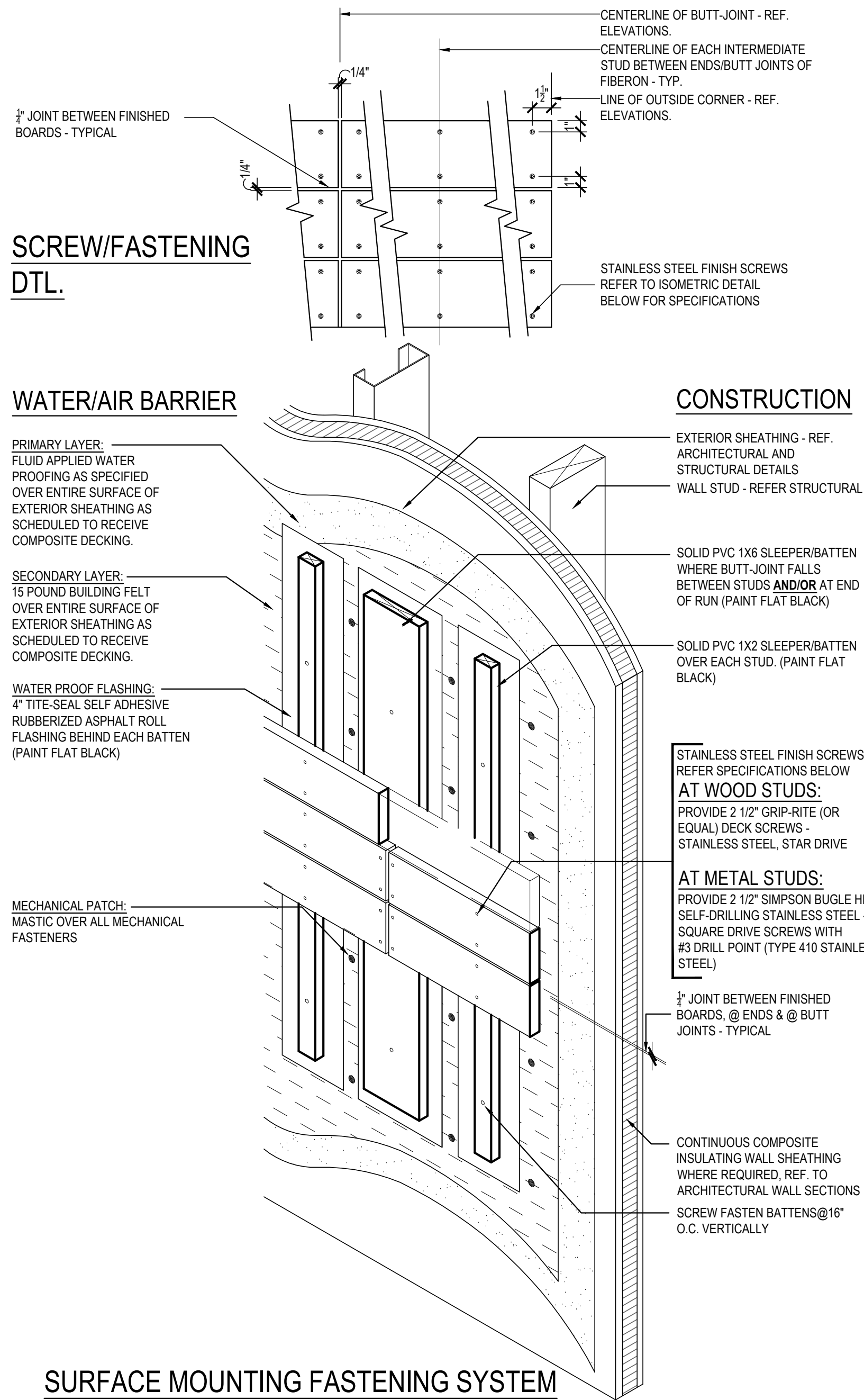
e-mail: ray@civilengineeringervices.net

9225 KINGSTON PIKE
KNOXVILLE, TN. 37922

TRUE WARM & WELCOME 2300-2020

C00.1





SURFACE MOUNTING FASTENING SYSTEM

COMPOSITE DECK FASTENING & WATER PROOFING

3

Scale= 1 1/2" = 1'-0"

A-201



File No.: 11-G-20-SU

Date submitted: 9/28/2020

These plans have not been reviewed by Planning Staff and may not be finalized.



*SEE SHEET A-200 FOR EXTERIOR FINISH SCHEDULE

WEST ELEVATION 2

Scale= 1/4" = 1'-0" A-201



*SEE SHEET A-200 FOR EXTERIOR FINISH SCHEDULE

EAST ELEVATION 1

Scale= 1/4" = 1'-0" A-201



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

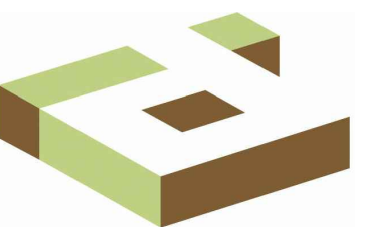
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REVISIONS:

ISSUE DATE:

DRAWN BY:

PANDA PROJECT #: -
PANDA STORE #: D7892
ARCH PROJECT #: 261-285



idGROUP

PANDA EXPRESS

TRUE WARM & WELCOME
N. CEDAR BLUFF RD. & KINGSTON PIKE
KNOXVILLE, TN 37922

A-201

EXTERIOR
ELEVATIONS

TRUE WARM & WELCOME 2300 R3



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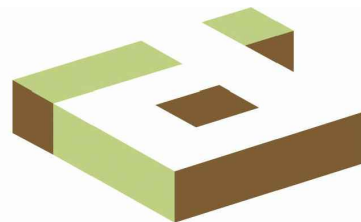
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REVISIONS:

ISSUE DATE:

DRAWN BY:

PANDA PROJECT #: -
PANDA STORE #: D7892
ARCH PROJECT #: 261-285



idGROUP

PANDA EXPRESS

TRUE WARM & WELCOME
N. CEDAR BLUFF RD. & KINGSTON PIKE
KNOXVILLE, TN 37922

A-202

EXTERIOR
PERSPECTIVES

TRUE WARM & WELCOME 2300 R3



FRONT PERSPECTIVE 2
NOT TO SCALE A-202



BACK PERSPECTIVE 1
NOT TO SCALE A-202



File No.: 11-G-20-SU
Date submitted: 9/28/2020

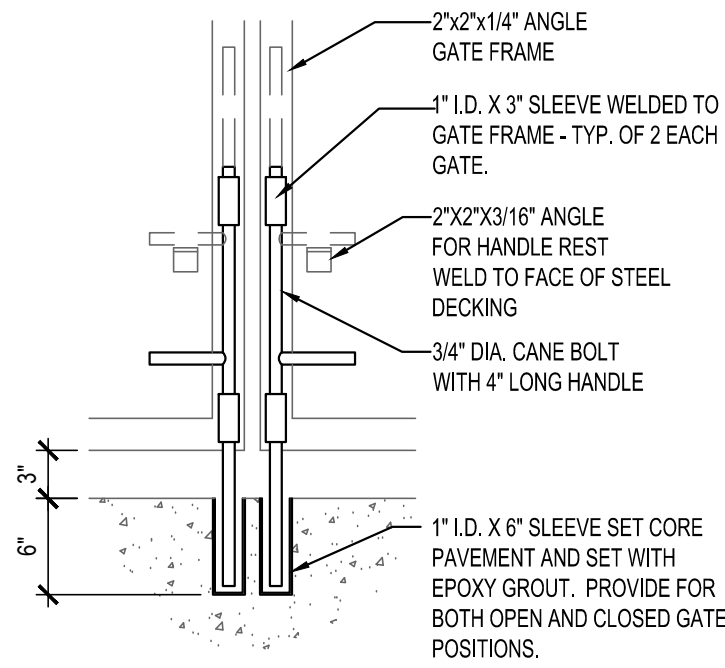
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Planning Staff and may not be finalized.



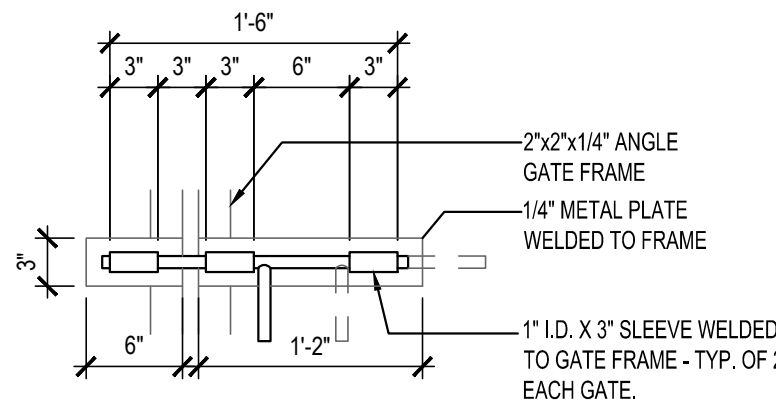
File No.: 11-G-20-SU

Date submitted: 9/28/2020

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A CANE BOLT DETAIL



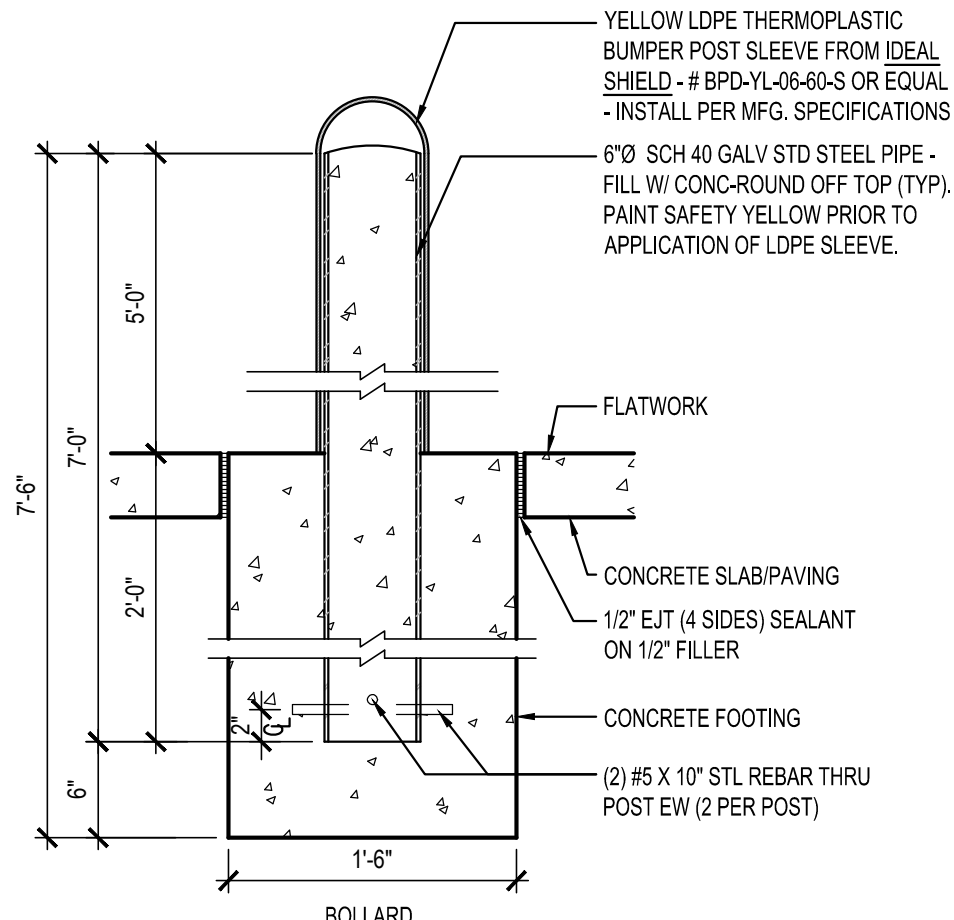
B GATE LATCH DETAIL

DUMPSTER GATE LATCH DETAILS

15

Scale= NTS

A-203

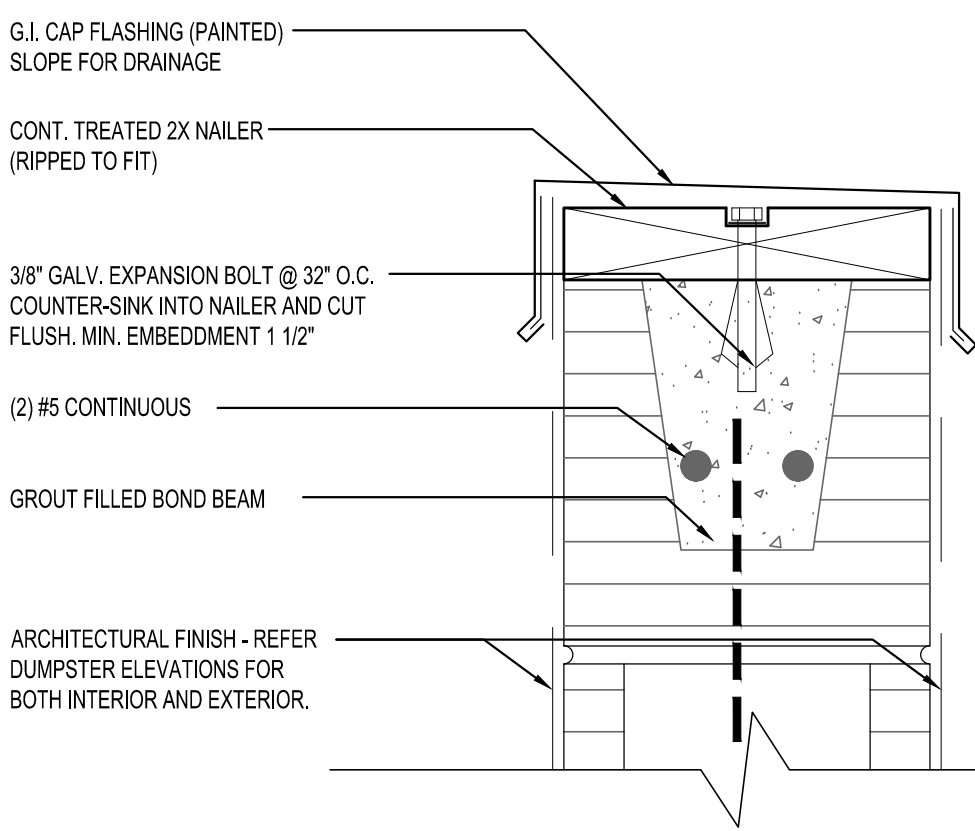


BOLLARD / POST BASE

18

Scale= 1" = 1'-0"

A-203

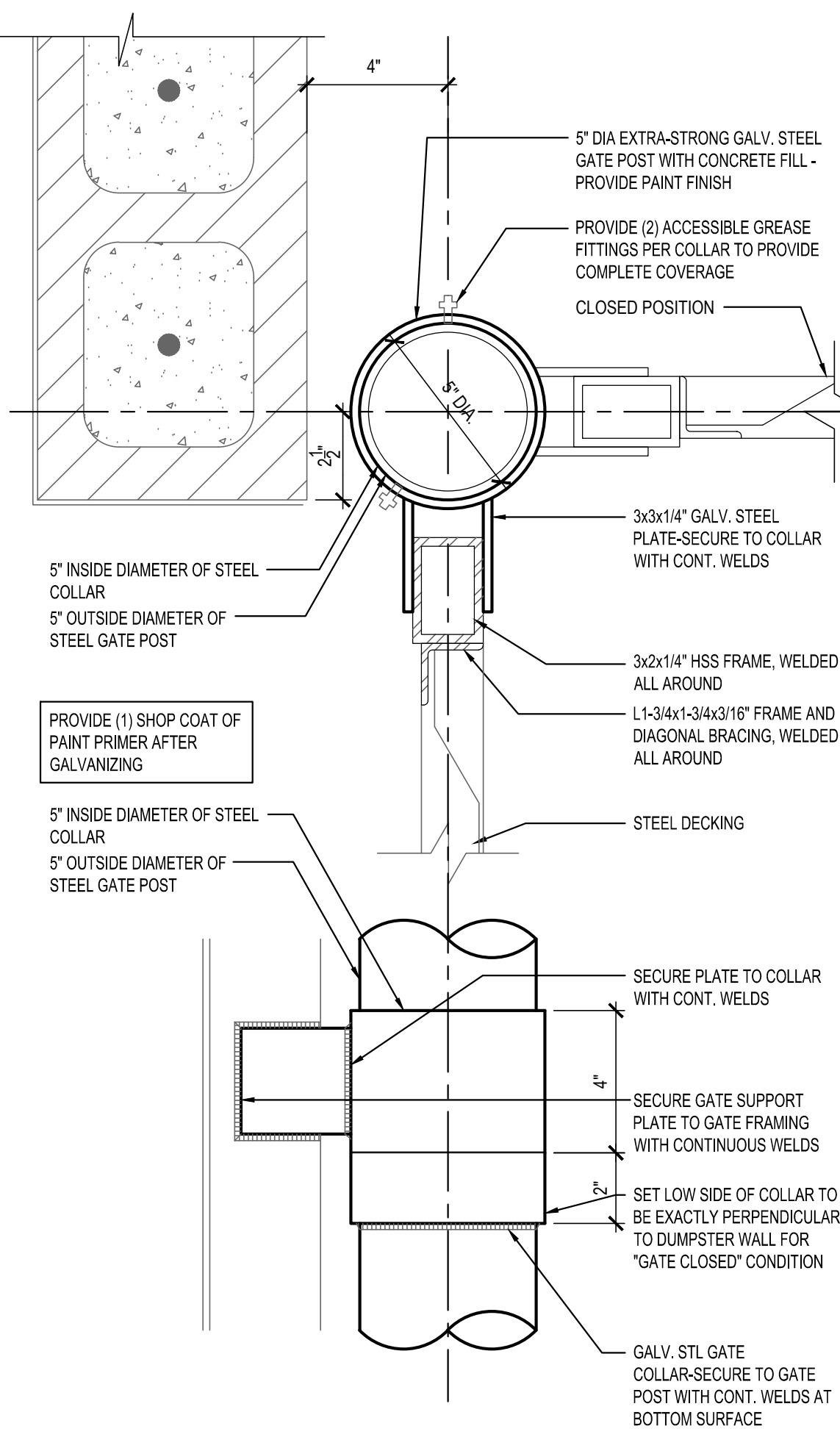


DUMPSTER CAP DETAIL

17

Scale= 3" = 1'-0"

A-203



HINGE DETAIL

13

Scale= 3" = 1'-0"

A-203

NOT USED

11

Scale= NTS

A-203

NOT USED

10

Scale=

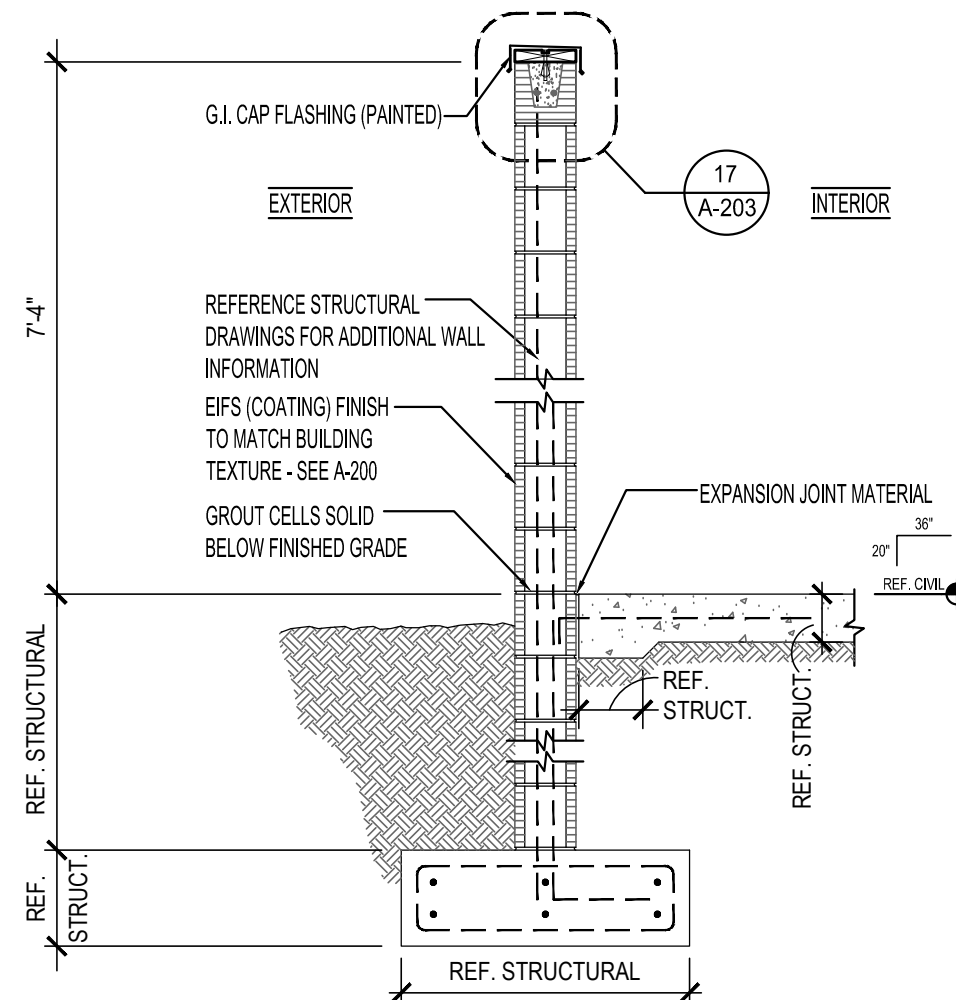
A-203

NOT USED

9

Scale=

A-203

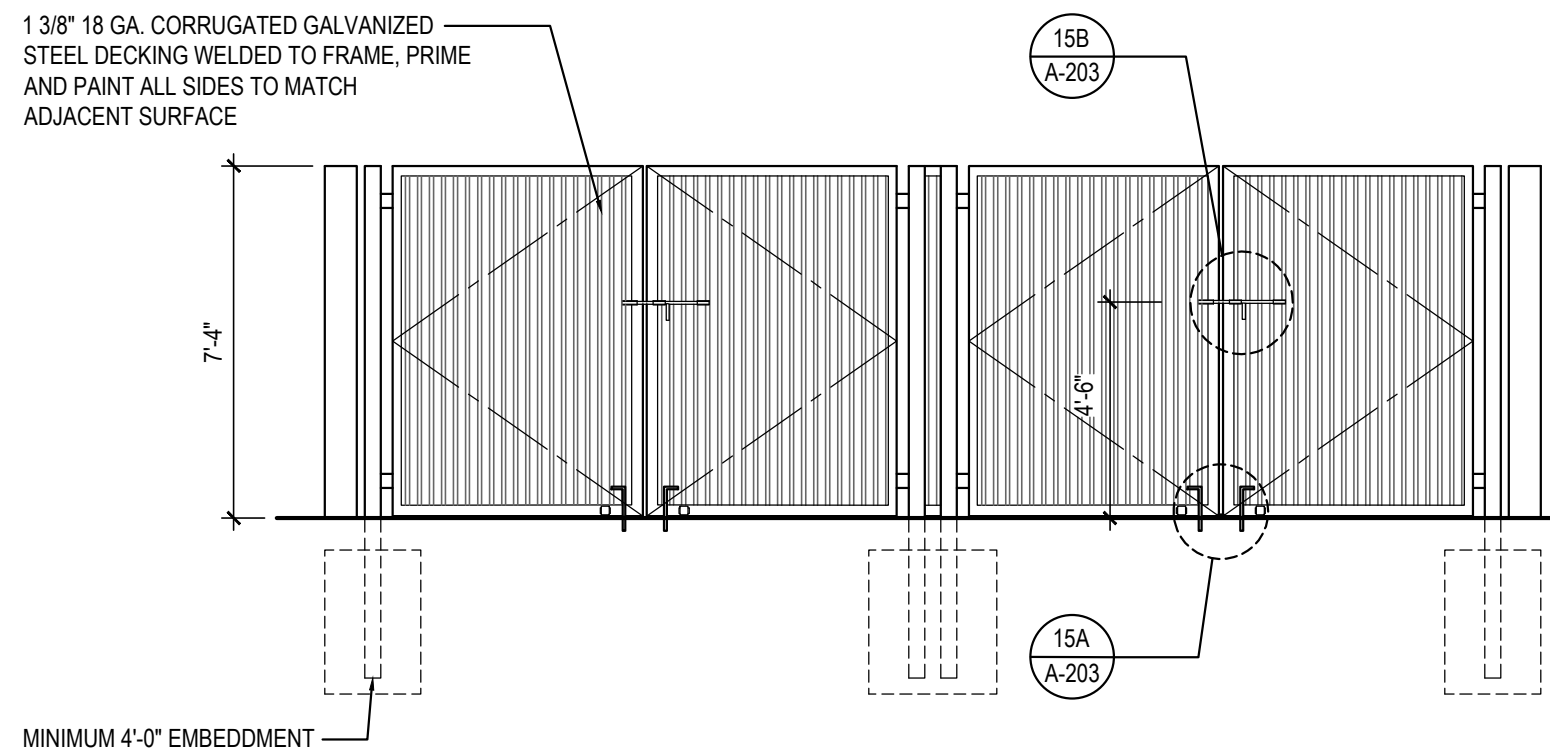


TRASH ENCLOSURE WALL SECTION

8

Scale= 1/2" = 1'-0"

A-203



FRONT ELEVATION

4

Scale= 1/4" = 1'-0"

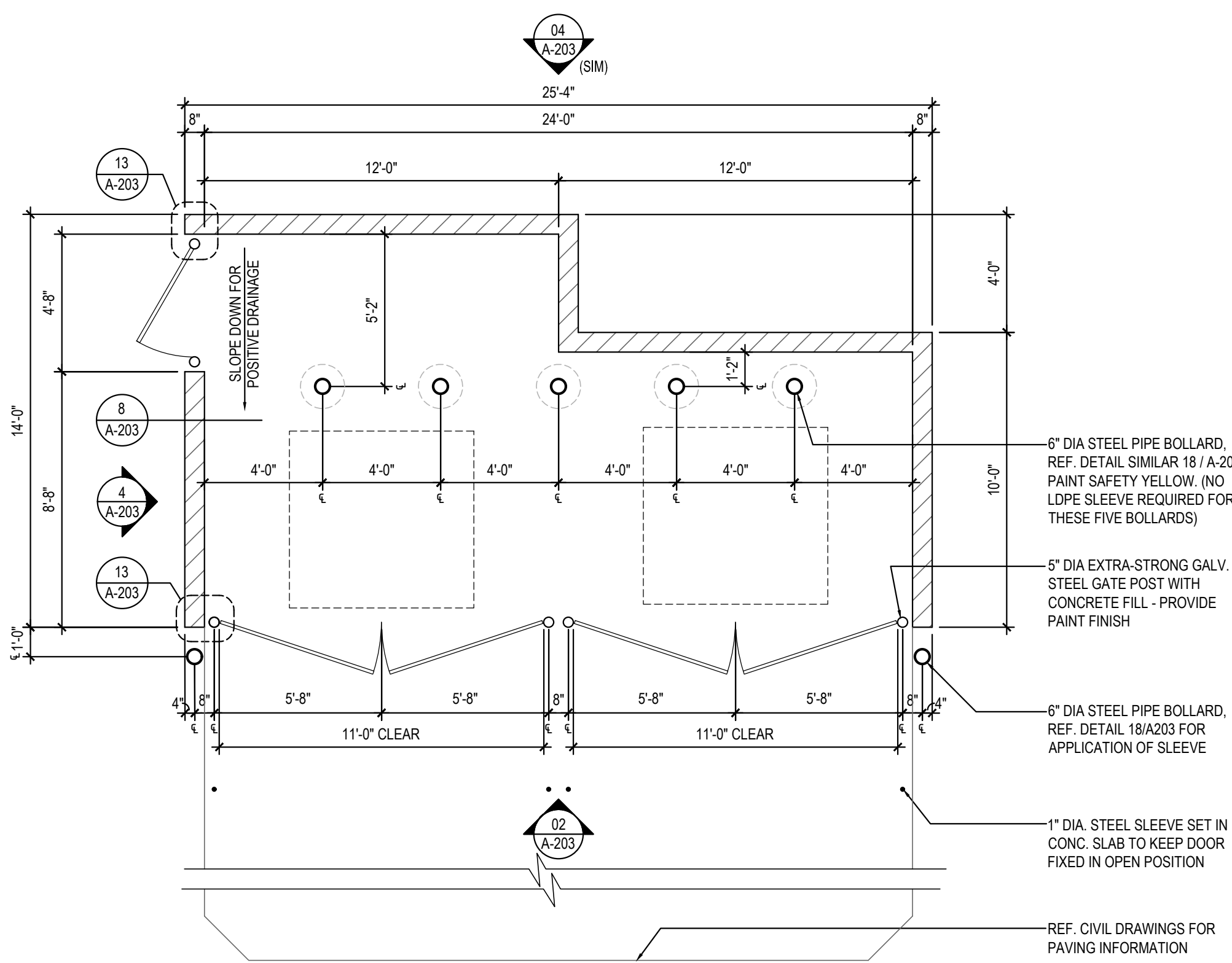
A-203

FRONT ELEVATION

2

Scale= 1/4" = 1'-0"

A-203



TRASH ENCLOSURE

1

Scale= 1/4" = 1'-0"

A-203



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REVISIONS:

NO.	DESCRIPTION

ISSUE DATE:

DRAWN BY:

PANDA PROJECT #: -
PANDA STORE #: D7892
ARCH PROJECT #: 261-285



PANDA EXPRESS

TRUE WARM & WELCOME
N. CEDAR BLUFF RD. & KINGSTON PIKE
KNOXVILLE, TN 37922

A-203

TRASH ENCLOSURE
DETAILS

TRUE WARM & WELCOME 2300 R3

SITE DATA TABLE

4 BIKE SPACES

ZONING:
C-R-2 (REGIONAL COMMERCIAL)

REQUIRED BUILDING SETBACKS:
FRONT (E) = 20'
REAR (W) = 10'
SIDE (N) = 10'
SIDE (S) = 10'

SITE ACREAGE:
PANDA EXPRESS = 39,882.59 SF / 0.915 ACRES

FLOOR AREA RATIO:
PANDA EXPRESS = 2,300 SF BLDG / SITE AREA 39,882.59 = 5.77%

IMPERVIOUS SURFACE RATIO
PAVEMENT/SIDEWALKS = 25,150.74 SF
BUILDING = 2,300 SF
SITE SQ FEET = 39,882.59 SF
TOTAL = 12,431.85 SF / 39,882.59 = 31.17%
12546.849 imperv
12431.84 115

PARKING
6 SPACES PER 1000SF
PARKING REQUIRED = 14
TOTAL PARKING PROVIDED PANDA EXPRESS = 39

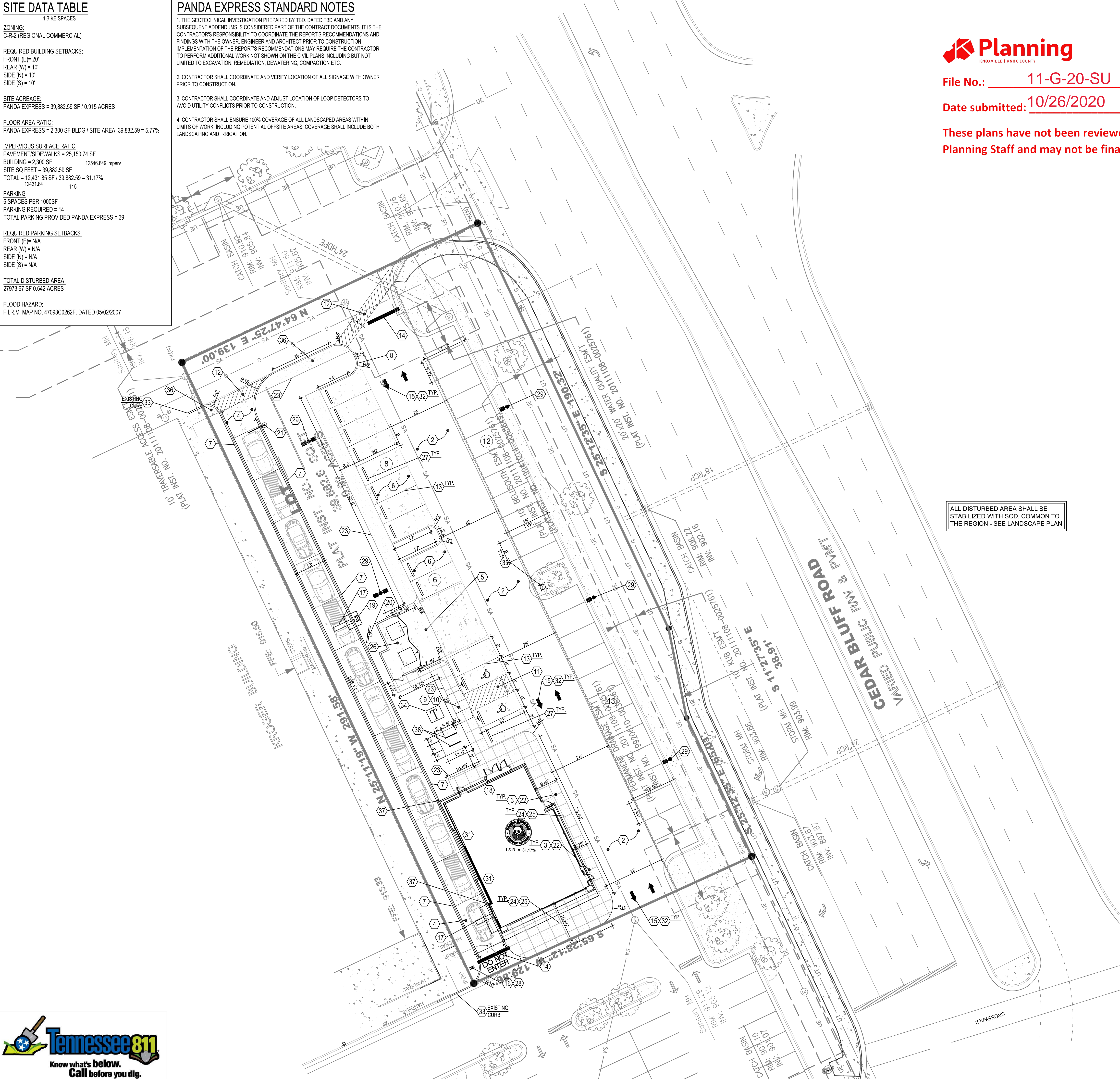
REQUIRED PARKING SETBACKS:
FRONT (E) = N/A
REAR (W) = N/A
SIDE (N) = N/A
SIDE (S) = N/A

TOTAL DISTURBED AREA
27973.67 SF 0.642 ACRES

FLOOD HAZARD:
F.I.R.M. MAP NO. 47093C0262F, DATED 05/02/2007

PANDA EXPRESS STANDARD NOTES

1. THE GEOTECHNICAL INVESTIGATION PREPARED BY TBD, DATED TBD AND ANY SUBSEQUENT ADDENDUMS IS CONSIDERED PART OF THE CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE REPORT'S RECOMMENDATIONS AND FINDINGS WITH THE OWNER, ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTION. IMPLEMENTATION OF THE REPORT'S RECOMMENDATIONS MAY REQUIRE THE CONTRACTOR TO PERFORM ADDITIONAL WORK NOT SHOWN ON THE CIVIL PLANS INCLUDING BUT NOT LIMITED TO EXCAVATION, REMEDIATION, DEWATERING, COMPACTION ETC.
2. CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL COORDINATE AND ADJUST LOCATION OF LOOP DETECTORS TO AVOID UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL ENSURE 100% COVERAGE OF ALL LANDSCAPED AREAS WITHIN LIMITS OF WORK INCLUDING POTENTIAL OFFSITE AREAS. COVERAGE SHALL INCLUDE BOTH LANDSCAPING AND IRRIGATION.



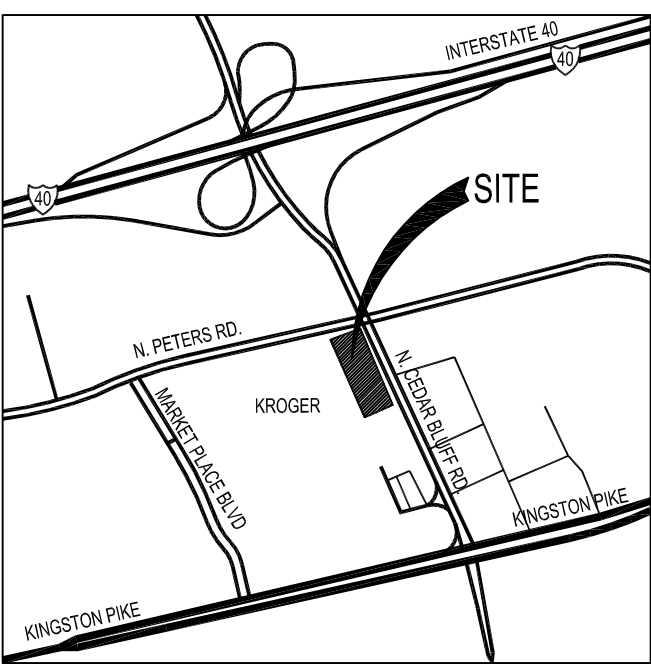
ALL DISTURBED AREA SHALL BE STABILIZED WITH SOD, COMMON TO THE REGION - SEE LANDSCAPE PLAN



File No.: 11-G-20-SU

Date submitted: 10/26/2020

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LOCATION MAP

NOT TO SCALE

PROPOSED SITE LEGEND

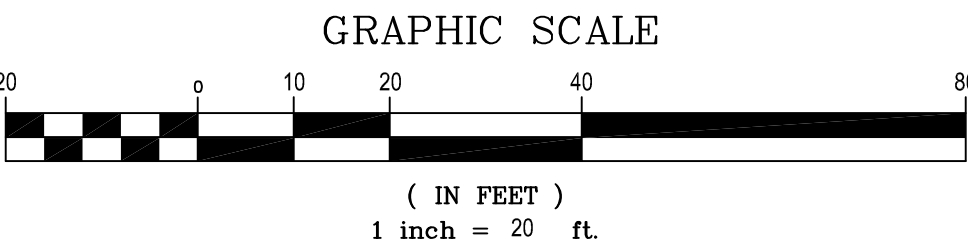
- (8) PARKING STALL COUNT - SEE PLANS
- LIGHT DUTY CONCRETE PAVING - SEE DETAIL SHEET SECTION (C03.1)
 - HEAVY DUTY CONCRETE PAVING - SEE DETAIL SHEET SECTION (C03.1)
 - CONCRETE SIDEWALK - SEE DETAIL SHEET (C03.2)
 - CONCRETE PAVING AT DUMPSTER ENCLOSURE, DRIVE THRU, AND PARKING ALONG BUILDING PER GEOTECHNICAL REPORT
 - ASPHALT PAVING - SEE DETAIL SHEET SECTION (C03.1)
 - CONCRETE PAVERS - SEE DETAIL SHEET SECTION (C03.2)
 - HANDICAP PARKING
 - DIRECTIONAL ARROWS
 - PROPOSED CURB AND GUTTER AT CONCRETE - MONOLITHIC AT CONCRETE PAVEMENT - SEE DETAIL SHEET (C03.1)

GENERAL NOTES

SEE NOTES ON SHEET C01.1

SITE BLOCK NOTES

- (1) LIGHT DUTY CONCRETE PAVING - SEE DETAIL SHEET (C03.1) & GEO-TECH REPORT
- (2) HEAVY DUTY CONCRETE PAVING - SEE DETAIL SHEET (C03.1) & GEO-TECH REPORT
- (3) CONCRETE SIDEWALK WITH INTEGRAL CURB AT BUILDING AND PARKING - ALL OTHER SIDEWALKS PER DETAIL SHEET (C03.2)
- (4) HEAVY DUTY CONCRETE PAVING AT DRIVE THRU ISLE - SEE DETAIL SHEET (C03.1) & GEO-TECH REPORT (GRAY COLOR, LIGHT BROOM FINISH)
- (5) NEW HEAVY DUTY CONCRETE APRON AT DUMPSTER ENCLOSURE - SEE ARCHITECTURAL DETAIL SHEET - SEE DETAIL SHEET (C03.1)
- (6) LIGHT DUTY CONCRETE PARKING AT BUILDING - SEE DETAIL SHEET (C03.1) AND GEOTECHNICAL REPORT
- (7) PROVIDE MONOLITHIC CURB AT CONCRETE PAVEMENT - SEE DETAIL SHEET (C03.2)
- (8) PROVIDE CURB AND GUTTER AT CONCRETE - MONOLITHIC CURB AT CONCRETE PAVEMENT - SEE DETAIL SHEET (C03.1)
- (9) ADA ACCESSIBLE RAMP AT HANDICAP PARKING - SEE GRADING PLAN FOR ELEVATIONS - SEE HANDICAP PARKING ON DETAIL SHEET (C03.1)
- (10) ADA DETECTABLE WARNING AT EDGE OF PAVEMENT - SEE HANDICAP PARKING DETAIL ON DETAIL SHEET (C03.1)
- (11) HANDICAP AND VAN ACCESSIBLE PARKING LAYOUT, SIGNAGE, AND STRIPING - SEE DETAIL SHEET (C03.1)
- (12) 4" WIDE DIAGONAL STRIPES PAINTED WHITE AT 2 FT. O.C. PER MUTCD SPECS.
- (13) 4" WIDE PARKING STRIPE PAINTED WHITE PER MUTCD SPECS.
- (14) STOP BAR PAINTED WHITE PER MUTCD SPECS.
- (15) TRAFFIC ARROW PAINTED WHITE - SEE DETAIL SHEET (C03.1)
- (16) "STOP" SIGN PER MUTCD/LOCAL MUNICIPALITY SPECIFICATIONS
- (17) DRIVE THRU LANE SENSOR LOOP SEE DETAIL - SEE ARCH DETAIL SHEET
- (18) NEW SWITCHGEAR LOCATION - SEE ELECTRICAL PLANS
- (19) ORDER CONFIRMATION BOARD - SEE ARCH DETAIL SHEET
- (20) DRIVE THROUGH MENU BOARD-INSTALLED BY GC. VERIFY WITH PANDA P.M. - SEE ARCH DETAIL SHEET
- (21) CLEARANCE BAR INSTALLED BY SIGN VENDOR - RE: ELECTRICAL DRAWING FOR REQUIREMENTS, G.C. TO COORDINATE LOCATION WITH PRG P.M.
- (22) SEALED CONC. SIDEWALK (AQUA MIX SEALER'S CHOICE GOLD), CONCRETE TO BE LIGHT BROOM TEXTURE FINISH. PROVIDE UNDER SLAB TREATMENT PER SOIL REPORT. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. AND ALL SIDE WALKS.
- (23) EDGE OF CONCRETE SIDEWALK AT PLANTER BED - SEE LANDSCAPE PLAN (L01.0)
- (24) EXPANSION JOINT - SEE SOILS REPORT FOR SPACING - SEE DETAIL SHEET (C03.1)
- (25) CONTROL JOINTS - SEE SOILS REPORT FOR SPACING - SEE DETAIL SHEET (C03.1)
- (26) TRASH ENCLOSURE. CONFIRM BIN SIZE WITH LOCAL WASTE MANAGEMENT COMPANY, (TYP. 6 YARD BIN) - SEE ARCH DETAIL SHEET
- (27) WHEEL STOP - GMR TECHNOLOGIES, "PARK-IT" 6" PARKING CURB #16201R (BLACK AND YELLOW) OR OWNER APPROVED EQUAL
- (28) DO NOT ENTER SIGN PER MUTCD / LOCAL SPECS.
- (29) LIGHT POLE - SEE PHOTO METRIC PLAN - SEE LIGHTPOLE BASE ON DETAIL SHEET (C03.1)
- (30) LOCATION OF POLE MOUNTED SIGN (SEE SIGN DESIGN BY OTHERS)
- (31) TIE TO ROOF DRAIN COLLECTOR FROM BUILDING - SEE PLUMBING PLANS FOR UNDERGROUND CONNECTION AT BUILDING - SEE ELEVATION THIS SHEET - OVERFLOW PIPE FROM ROOF DRAIN TO DAYLIGHT UNDER CONCRETE PLATWORK AT FACE OF CURB - SEE PLUMBING PLANS FOR LOCATION
- (32) ALL SITE DIRECTIONAL SIGNAGE, PAVEMENT STRIPING AND MARKINGS SHALL BE COORDINATED WITH PRG'S PROJECT MANAGER.
- (33) MATCH EXISTING GRADE
- (34) APPROXIMATE LOCATION OF PAD MOUNTED TRANSFORMER PAD PER SERVICE PROVIDER SPECS. - COORDINATE WITH SERVICE PROVIDER PRIOR TO CONSTRUCTION
- (35) EXISTING FIRE HYDRANT
- (36) SIDEWALK PER CITY SPECS - SEE GRADING PLAN FOR ELEVATIONS - SEE DETAIL SHEET (C03.2)
- (37) BOLLARD PLAN - SEE DETAIL (C03.2)
- (38) DUMOR, INC BIKE RACK -MODEL 125-30 - SEE DETAIL (C03.2)



FLOOD STATEMENT:
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE(S) X OF THE FLOOD INSURANCE RATE MAP NUMBER 47093C0262F WHICH BEARS AN EFFECTIVE DATE OF 05-02-2007 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND A FLOOD ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.



PANDA EXPRESS, INC.
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REVISIONS:

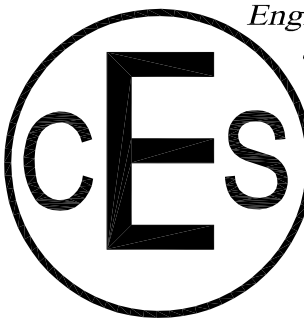
ISSUE DATE:

DRAWN BY: PTD

PANDA PROJECT #: S8-20-D7892

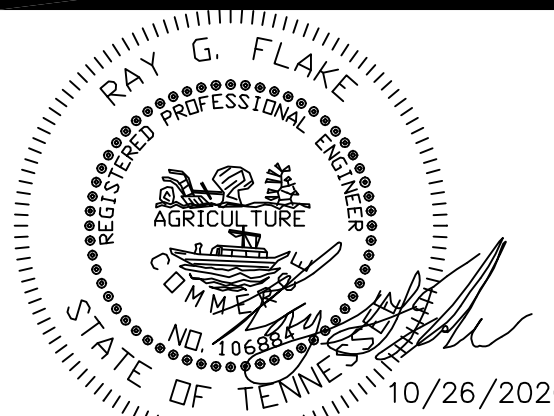
ARCH PROJECT #: XXX-XXX

Civil Engineering Services
Engineering, Land Planning,
and Environmental



7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401

e-mail: ray@civilengineeringservices.net



PANDA EXPRESS

9225 KINGSTON PIKE
KNOXVILLE, TN. 37922

TRUE WARM & WELCOME 2300-2020

SITE PLAN

C03.0



PANDA EXPRESS LANDSCAPE NOTES:

1. WHEN APPLICABLE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT EXISTING TREES TO REMAIN. NO HEAVY EQUIPMENT SHOULD BE PERMITTED TO OPERATE OR BE STORED, NOR ANY MATERIALS TO BE HANDLED OR STORED, WITHIN THE DRIPLINES OF TREES OUTSIDE THE LIMIT OF GRADING.
2. THE QUANTITIES INDICATED ON THE PLANT LIST AND PLAN ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATIONS AND THE LIABILITY WHICH PERTAINS TO THOSE QUANTITIES AND TO ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS. QUESTIONS SHOULD BE DIRECTED TO THE LANDSCAPE ARCHITECT.
3. ALL PLANT MATERIALS SHALL BE NURSERY GROWN, GRADE "A" QUALITY, UNLESS OTHERWISE NOTED AND SHALL COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK: ANSI Z-60.1; LATEST EDITION, FOR SIZE AND QUALITY.
4. NO SUBSTITUTIONS AS TO TYPE, SIZE, OR SPACING OF PLANT MATERIALS SPECIFIED ON THIS PLAN MAY BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT. KITA SUSTAINABLE DESIGNS, LLC (615) 469-1222.
5. THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TO PROTECT UTILITIES THAT ARE TO REMAIN. THE CONTRACTOR SHALL REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
6. STABILIZE ALL DISTURBED AREAS WITH SOD. PRIOR TO INSTALLATION, CONTRACTOR TO COORDINATE WITH PANDA EXPRESS PROJECT MANAGER TO VERIFY SOD TYPE TO BE USED. ROLL ALL SOD AFTER PLACING.
7. SOIL USED FOR PLANTING SHALL CONSIST OF (5) PARTS TOPSOIL, (1) PART SAND AND (2) PARTS ORGANIC MATTER, MIXED WITH 1 POUND OF FERTILIZER PER CUBIC YARD.
A. SAND SHALL BE CLEAN MASONRY SAND.
B. ORGANIC MATTER SHALL BE PEAT MOSS, OR WELL COMPOSTED PINE BARK, OR APPROVED EQUAL AND SHALL BE FINELY GROUND AND FREE OF WEEDS.
C. ALL FERTILIZER SHALL BE 10-10-10 WITH MINOR ELEMENTS. FERTILIZER SHALL HAVE 40-50% OF ITS TOTAL NITROGEN IN A WATER INSOLUBLE FORM.
8. PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANT BEDS AND SOD AREAS PRIOR TO INSTALLATION. TREEFLAN OR AN APPROVED EQUAL SHALL BE USED.
9. ALL PLANT BEDS SHALL HAVE A MINIMUM OF 3" DEEP MULCH. MULCH SHALL BE SHREDDED HARDWOOD MULCH (RED COLOR) INSTALLED OVER PERMEABLE WEED BARRIER.
10. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO CONFIRM MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT LIST.
11. PRIOR TO FINAL PAYMENT, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH COMPLETE WRITTEN INSTRUCTIONS ON PROPER CARE OF ALL SPECIFIED PLANT MATERIALS.
12. THE LANDSCAPE INSTALLATION SHALL BE COORDINATED WITH THE IRRIGATION INSTALLATION WHEN APPLICABLE. IRRIGATION TO BE DESIGN-BUILD BY THE G.C.
13. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES AND TAKE SPECIAL CARE TO INSURE THAT BED PREPARATION DOES NOT INHIBIT DRAINAGE.
14. ALL LAWN AREAS SHALL BE CULTIVATED TO A DEPTH OF 4" PRIOR TO SODDING. PREPARED TURF BEDS SHALL BE FREE FROM STONES OVER 2" DIAMETER, WEEDS AND OTHER DELETERIOUS MATERIAL.
15. THE LANDSCAPE CONTRACTOR SHALL RAKE SMOOTH ALL SOD AREAS PRIOR TO INSTALLATION.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFILLING BEHIND THE CURB SO GRADE IS LEVEL WITH TOP OF CURB.
17. CUT AWAY ROPES OR WIRES FROM B&B PLANTS. PULL BACK BURLAP FROM TOP OF ROOT BALL. DO NOT ALLOW BURLAP TO BE EXPOSED AT SURFACE. TOTALLY REMOVE BURLAP IF IT IS SYNTHETIC.
18. IF CONTAINER GROWN PLANTS SHOW SIGNS OF BEING ROOT BOUND, SCORE ROOTS VERTICALLY.
19. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
20. ALL REPLACEMENTS SHALL BE OF THE SAME TYPE, SIZE, AND QUALITY AS SPECIFIED ON THE PLANT LIST, UNLESS APPROVED OTHERWISE IN WRITING BY THE LANDSCAPE ARCHITECT.
21. ANY MATERIAL THAT IS DEEMED TO BE 25% DEAD OR MORE SHALL BE CONSIDERED DEAD, AND MUST BE REPLACED AT NO CHARGE. A TREE IS CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK, OR MORE THAN 25% OF THE CROWN IS DEAD.
22. REPLACEMENTS SHALL BE MADE DURING THE NEXT PLANTING SEASON UNLESS THE LANDSCAPE CONTRACTOR AGREES TO AN EARLIER DATE.
PLANTING DATES
SPRING: MARCH 15 - APRIL 15
FALL: OCTOBER 1 - NOVEMBER 30
23. THE LANDSCAPE CONTRACTOR WILL NOT BE RESPONSIBLE FOR PLANT MATERIAL THAT HAS BEEN DAMAGED BY VANDALISM, FIRE, RELOCATION, WILDLIFE, THEFT, OR OTHER ACTIVITIES BEYOND THE LANDSCAPE CONTRACTOR'S CONTROL.
24. GENERAL CONTRACTOR TO COORDINATE AND BE RESPONSIBLE FOR WATERING ALL PLANTS AND TURF AREAS AFTER PLANTING UNTIL IRRIGATION SYSTEM IS OPERABLE.
25. CONTRACTOR TO IRRIGATE ALL NEW LANDSCAPE PLANTINGS AND LAWN AREAS WITH AN AUTOMATED UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM TO BE DESIGN-BUILD BY G.C.
26. IRRIGATION TO HAVE A SEPARATE METER.
27. PLANT MATERIAL SHALL BE APPROPRIATE FOR THE APPLICABLE USDA PLANT HARDINESS ZONE.
28. SPECIES MUST MEET BOTH MINIMUM CALIPER OR GALLON SIZE AND HEIGHT IF LISTED.
29. LANDSCAPE CONTRACTOR TO MAINTAIN LANDSCAPING FOR 60 DAYS AFTER TURNOVER. MAINTENANCE SHALL INCLUDE MOWING, EDGING AND TRIMMING SHRUBS.

TREE PROTECTION NOTES:

1. THE TREE PROTECTION ZONE IS DETERMINED BY MEASURING ONE FOOT IN RADIUS AWAY FROM THE TRUNK OF THE TREE FOR EVERY ONE INCH IN DIAMETER AT 4.5 FEET IN HEIGHT. NO MORE THAN 10% OF THE TREE PROTECTION ZONE MAY BE DISTURBED WITH FILL OR GRADING WORK. ANY IMPERVIOUS AREA WITHIN THE EXISTING TREE PROTECTION ZONE DOES NOT NEED TO BE INCLUDED IN PRESERVATION MEASURES.
2. WITHIN THE TREE PROTECTION ZONE OF A TREE, THERE MAY BE NO CUT OR FILL MATERIAL UNLESS A CERTIFIED ARBORIST HAS EVALUATED AND DETERMINED THAT THE DISTURBANCE WILL NOT IMPACT THE HEALTH OF THE TREE.
3. PRIOR TO AND DURING CONSTRUCTION, TEMPORARY BARRIERS MUST BE ERECTED AROUND ALL PROTECTED TREES WITH BARRIERS A MINIMUM OF FOUR FEET IN HEIGHT. THERE MAY BE NO STORAGE OR MOVEMENT OF EQUIPMENT, MATERIAL, DEBRIS, OR FILL WITHIN THE FENCED, TREE-PROTECTION ZONE.
4. DURING CONSTRUCTION, THE APPLICANT MUST PREVENT THE CLEANING OF EQUIPMENT OR MATERIAL OR THE STORAGE AND DISPOSAL OF WASTE MATERIAL, SUCH AS PAINTS, OILS, SOLVENTS, ASPHALT, CONCRETE, MOTOR OIL, OR ANY OTHER MATERIAL, POTENTIALLY HARMFUL TO THE TREE WITHIN THE DRIP LINE OF ANY PROTECTED TREE. NOTHING WITHIN THIS SECTION IS INTERPRETED AS AN AUTHORIZATION TO IGNORE OR VIOLATE APPLICABLE FEDERAL OR STATE HAZARDOUS WASTE LAWS.
5. NO DAMAGING ATTACHMENT, WIRES, SIGNS, OR PERMITS MAY BE FASTENED TO ANY PROTECTED TREE.



File No.: 11-G-20-SU

Date submitted: 9/28/2020

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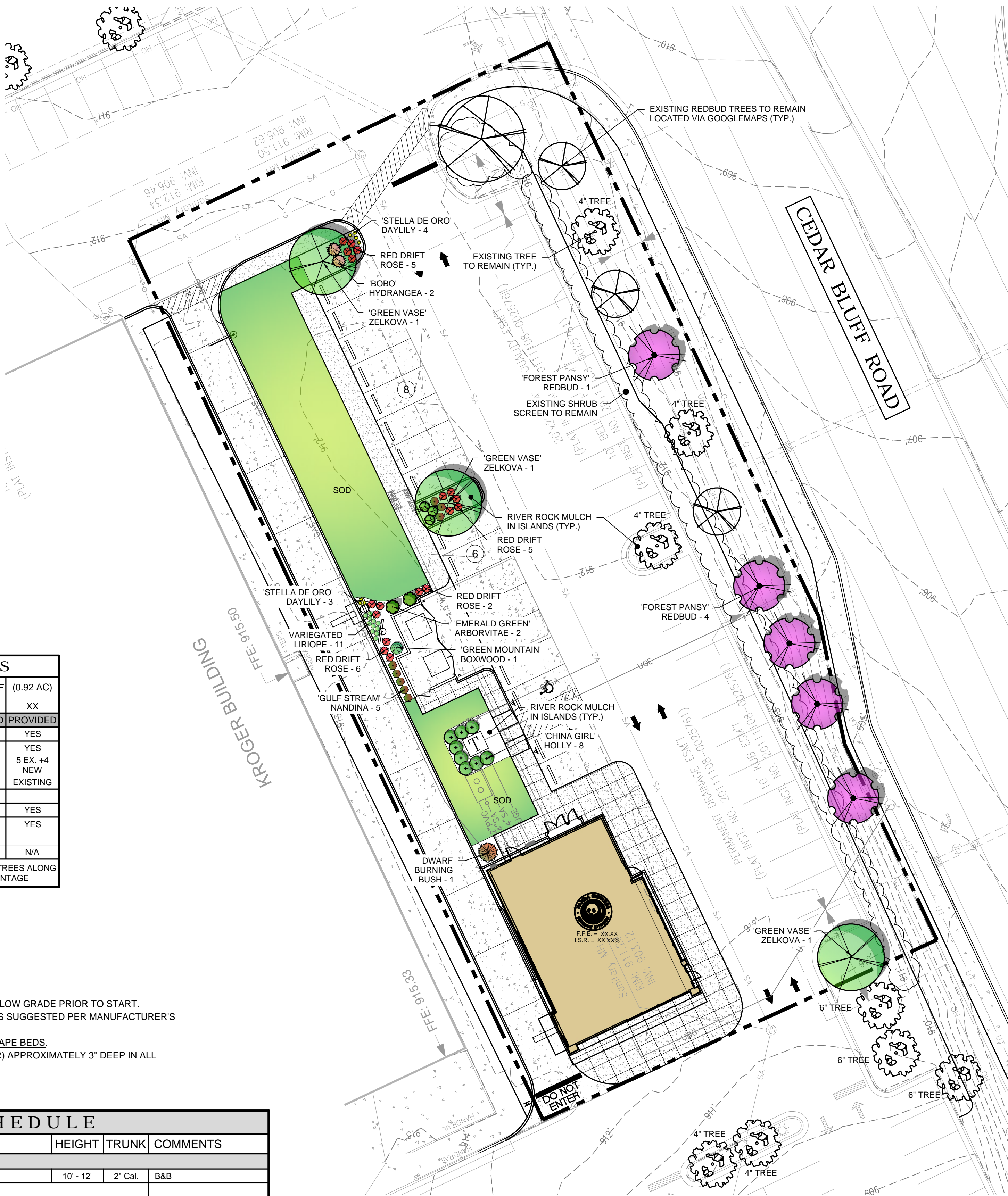
KNOXVILLE

LANDSCAPE CALCULATIONS		
SITE AREA:	39,883 SF	(0.92 AC)
ZONING:		XX
	REQUIRED	PROVIDED
SPECIES DIVERSITY:	YES	YES
PARKING PERIMETER: 10' MIN. WIDTH (294')	YES	YES
3 TREES/100'	8.8	5 EX. +4 NEW
10 SHRUBS/100' (MIN. 50% EVRGRN)	29.4	EXISTING
INTERIOR PARKING LOT LANDSCAPE:		
1 TREE IN EVERY ISLAND	YES	YES
MIN. 60% LANDSCAPING IN ISLANDS	YES	YES
STONE MULCH ACCPT.: 40% MAX.		
BUFFER YARDS:	N/A	N/A
TREE PRESERVATION:	EXISTING TREES ALONG FRONTAGE	
4" - 8" TREES = 2 TREE CREDITS		

LANDSCAPE BED NOTES:

1. ALL LANDSCAPE BEDS SHOULD BE PREPARED 3" BELOW GRADE PRIOR TO START.
2. APPLY PRE-EMERGENT TO ALL LANDSCAPE BEDS AS SUGGESTED PER MANUFACTURER'S SPECIFICATIONS. (SEE NOTE #8).
3. APPLY PERMEABLE WEED BARRIER TO ALL LANDSCAPE BEDS.
4. INSTALL SHREDDED HARDWOOD MUCH (RED COLOR) APPROXIMATELY 3" DEEP IN ALL LANDSCAPE BEDS OVER WEED BARRIER.

PLANT SCHEDULE					
QTY.	COMMON NAME	BOTANICAL NAME	HEIGHT	TRUNK	COMMENTS
CANOPY TREES					
3	'Green Vase' Japanese Zelkova	Zelkova serrata 'Green Vase'	10' - 12'	2" Cal.	B&B
3	TOTAL - CANOPY TREES				
UNDERSTORY/COLUMNAR TREES					
2	'Emerald Green' Arborvitae	Thuja occidentalis 'Smaragd'	6' - 7'	2" Cal.	Full to ground, well formed
5	'Forest Pansy' Redbud	Cercis canadensis 'Forest Pansy'	8' - 10'	2" Cal.	B&B
7	TOTAL - UNDERSTORY TREES				
10	TOTAL - ALL TREES				
SHRUBS					
2	'Bobo' Hydrangea	Hydrangea paniculata 'ILVOBO'	12" - 18"	3 Gal.	Container
8	China Girl Holly	Ilex x meserveae 'Mesog'	24" Min.	5 Gal.	Container
1	Dwarf Burning Bush	Euonymus alatus 'Compactus'	24" Min.	5 Gal.	Container
1	'Green Mountain' Boxwood	Buxus x 'Green Mountain'	24" Min.	5 Gal.	Container
3	'Green Velvet' Boxwood	Buxus 'Green Velvet'	24" Min.	5 Gal.	Container
8	'Gulf Stream' Nandina	Nandina domestica 'Gulf Stream'	12" Min.	3 Gal.	Container
23	TOTAL - SHRUBS				
GRASSES, PERENNIALS AND GROUND COVER					
7	Stella De Oro Daylily	Hemerocallis x 'Stella de Oro'		1 Gal.	
11	Variegated Liriope	Liriope muscari 'Variegata'		1 Gal.	
TURF					
	Hybrid Fescue Seed/Sod	Drought tolerant fescue blend			
MULCH					
-	River Rock Mulch or local equal	Rock size (1" - 1 1/2") 3" Deep			Install over permeable weed barrier

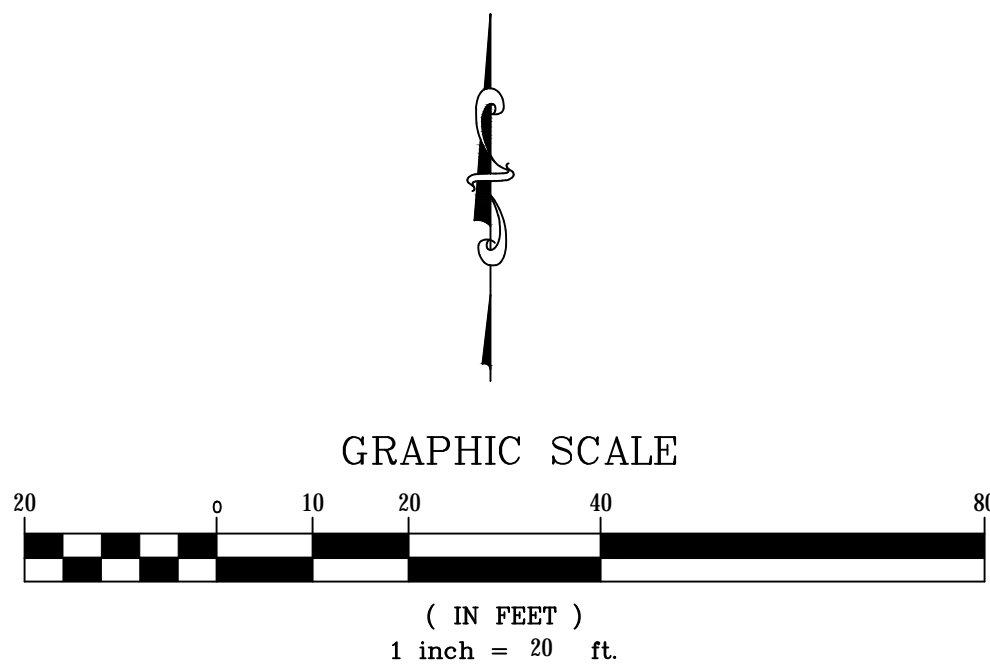


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REVISIONS:

ISSUE DATE:

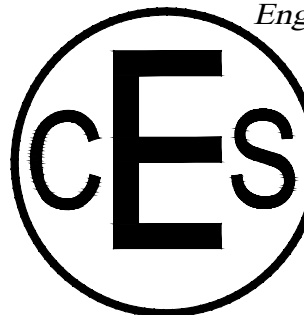
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PANDA PROJECT #: S8-20-D7892

ARCH PROJECT #: XXX-XXX

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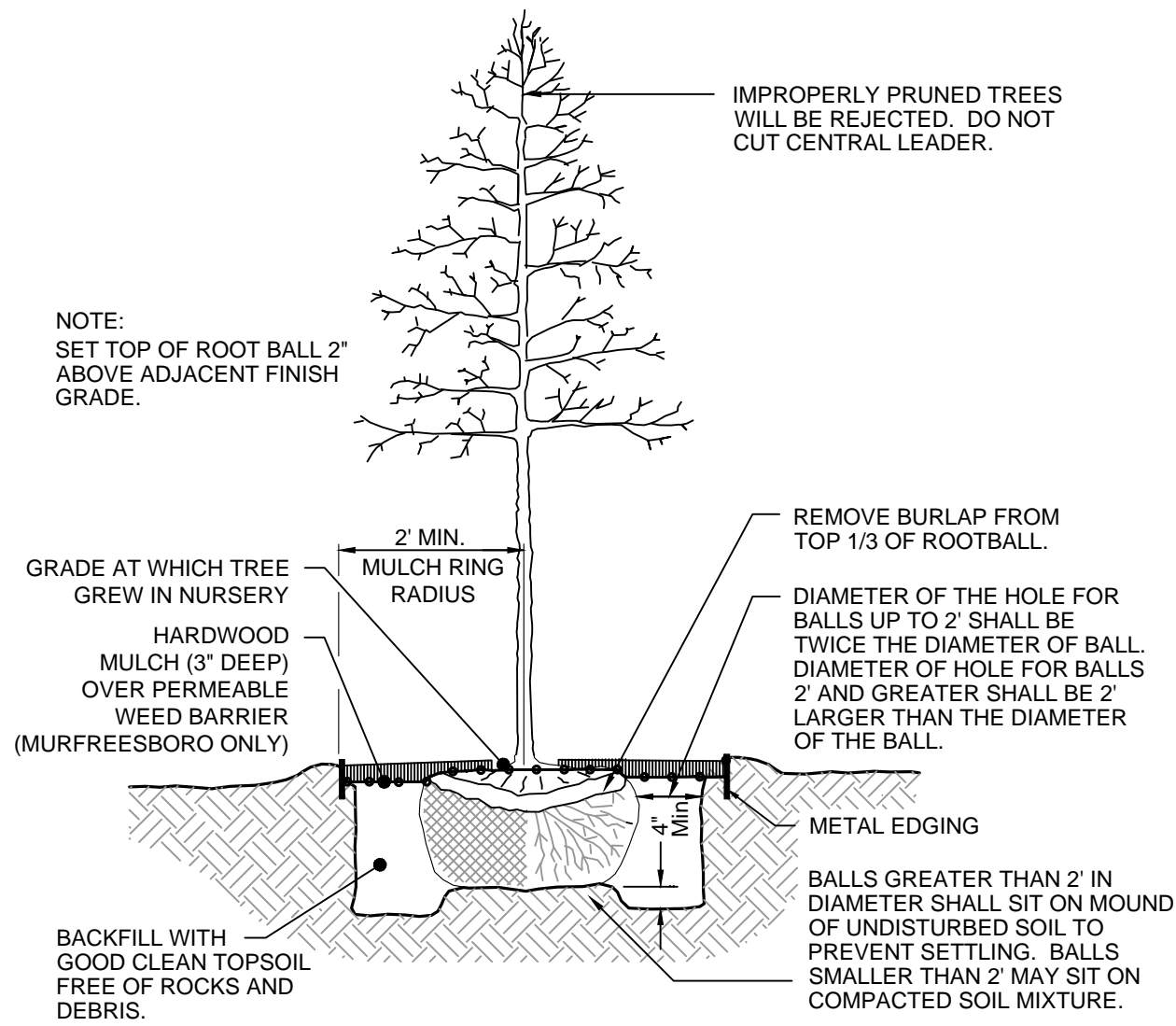
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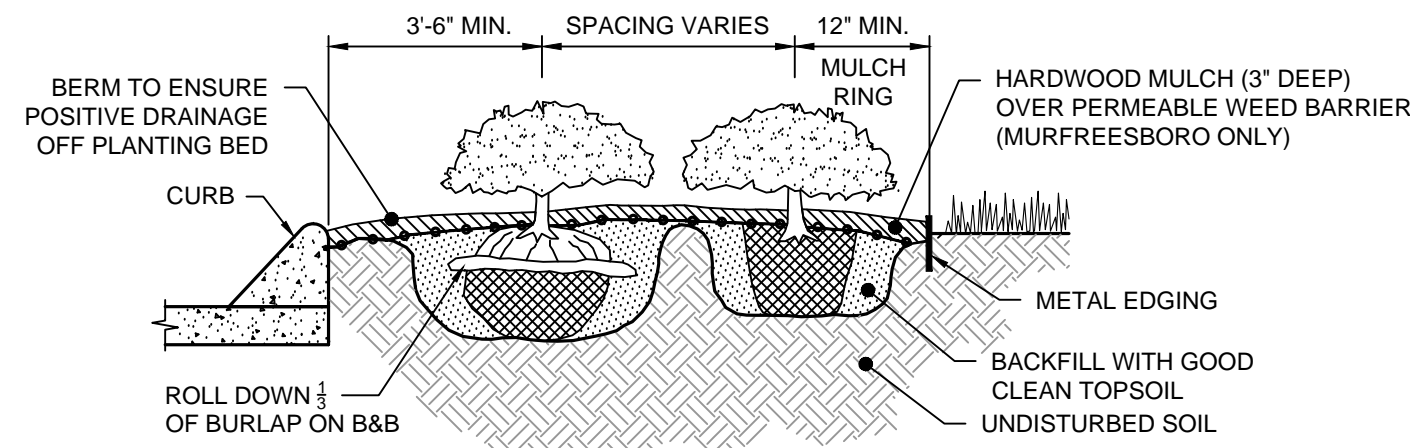
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LANDSCAPE PLAN

L01.0



DECIDUOUS TREE PLANTING
NOT TO SCALE



SHRUB / GROUNDCOVER PLANTING
NOT TO SCALE



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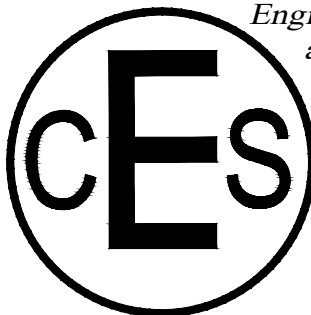
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ARCH PROJECT #: XXX-XXX

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KNOXVILLE, TN. 37922

TRUE WARM & WELCOME 2300-2020

LANDSCAPE DETAILS

L01.1



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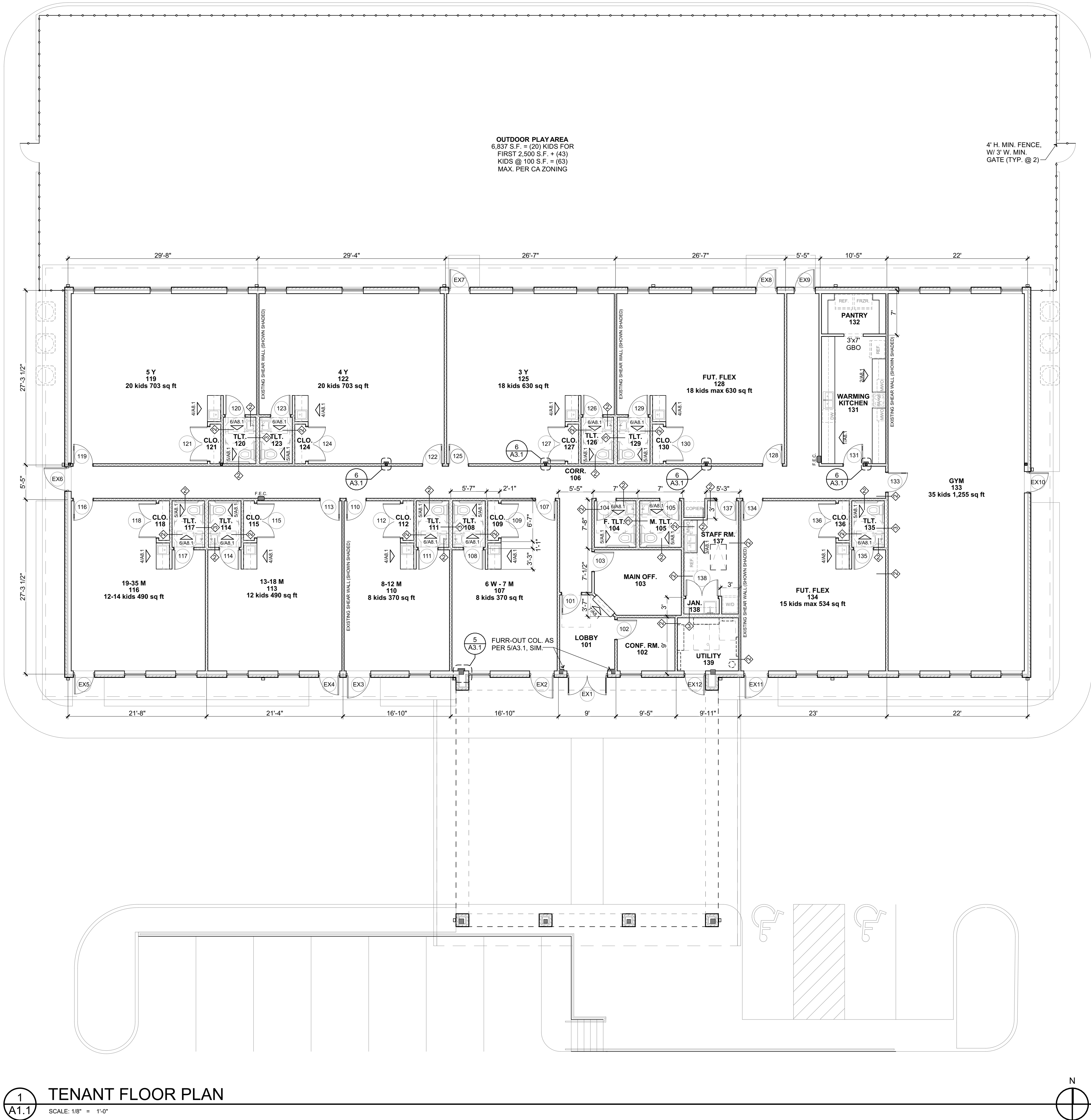
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KNOX COUNTY, TN 37932
(INTERIOR PACKAGE ONLY)



TENANT FLOOR PLAN

DATE: 23 OCT 2020
PROJECT NO.: 20080-B
PROJECT MGR.: STUART

A1.1



11-G-20-UR
Revised: 11/4/2020

FLOOR PLAN NOTES:

- FURNITURE PLACEMENT SHALL NOT RESTRICT ADA ACCESS REQUIRED.
- CONTRACTOR TO PROVIDE MIN. R-20 BATT INSULATION IN ALL FRAMED EXTERIOR WALLS IF NOT ALREADY PROVIDED.
- ALL NEW WALLS SHOULD BE WALL TYPE 1 (SEE A3.1 FOR DETAILS). U.N.O.
- TENANT TO PROVIDE BLINDS FOR SUN CONTROL TO ALL WINDOWS TO EXTERIOR.
- ALL DIMENSIONS TAKEN FROM STUD TO STUD.

FIRE EXTINGUISHER NOTE:

G.O. TO PROVIDE EXTINGUISHERS AS REQ'D BY LOCAL FIRE MARSHALL & VERIFY TYPE, #, AND LOCATION PRIOR TO INSTALLATION.

WALL LEGEND		
WALL ID	WALL TYPE	
1		3-5/8" STL STUD w/ 5/8" GYP BD EACH SIDE
2		3-5/8" STL STUD w/ 5/8" GYP BD EACH SIDE - SOUND ATT BLANKET
3		6" STL STUD w/ 5/8" GYP BD EACH SIDE - SOUND ATT BLANKET

PARTITION NOTES:

- REFER TO SHEET A3.1 FOR PARTITION DETAILS.
- UNLESS OTHERWISE NOTED, ALL PARTITIONS ARE TYPE "1" - CONTACT ARCHITECT FOR CLARIFICATION IF REQUIRED.
- ALL WALLS ARE TO BE CONSTRUCTED IN STRICT CONFORMANCE WITH REFERENCE TEST DESIGNS FOR FIRE AND SOUND RATING. REFER TO LAB DESIGN DATA FOR ADDITIONAL INFO INCLUDING FASTENING, JOINT FINISHING, ETC.
- ALL PENETRATIONS OF ANY LAYER OF FIRE AND SOUND RATED PARTITIONS ARE TO BE SEALED AT THE PERIMETER WITH APPROVED MATERIALS. THROUGH PENETRATIONS ARE TO BE SEALED IN ACCORDANCE WITH APPROPRIATE UL DESIGN AS LISTED IN UL DESIGN RESISTANCE DIRECTORY. CONTRACTOR SHALL SUBMIT THE DESIGN NO. TO ARCHITECT FOR APPROVAL OF EACH TYPE/SYSTEM DESIGN.
- ALL FIRE RATED PARTITIONS ARE TO BE EXTENDED TO AND BE SEALED AT STRUCTURAL DECK ABOVE AND ARE TO HAVE GYPSUM BOARD INSTALLED CONTINUOUS AND INTERRUPTED AT INTERSECTING PARTITIONS AND TO FACE OF MASONRY WHERE CONTIGUOUS. SEAL AT MASONRY.
- ALL FIRE RATED WALLS ARE TO BE PROVIDED WITH PAINTED STENCILING OR SIGNS ABOVE THE CEILING AS APPROVED BY GOVERNING CODE OFFICIALS STATING "FIRE AND SMOKE BARRIER - PROTECT ALL OPENINGS."
- PROVIDE WOOD BLOCKING IN WALLS FOR SUPPORT OF CABINETS, EQUIP., RAILINGS, ACCESSORIES, CURTAIN TRACKS, RECESSED ITEMS, ETC. AS REQUIRED. VERIFY LOCATION OF EQUIP. WITH ARCH. PRIOR TO INSTALLATION. HANDRAILS, GRAB BARS AND WALL-MOUNTED TOILET FIXTURES ARE TO BE INSTALLED TO WITHSTAND A MIN. VERT. OR HORIZ. FORCE OF 250 POUNDS.