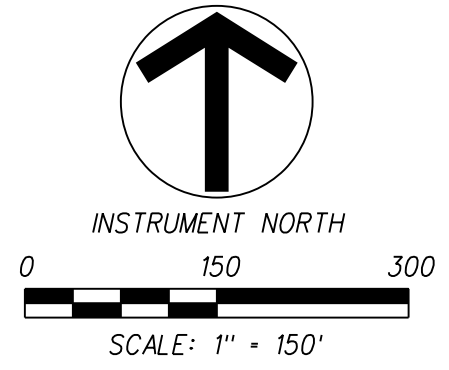




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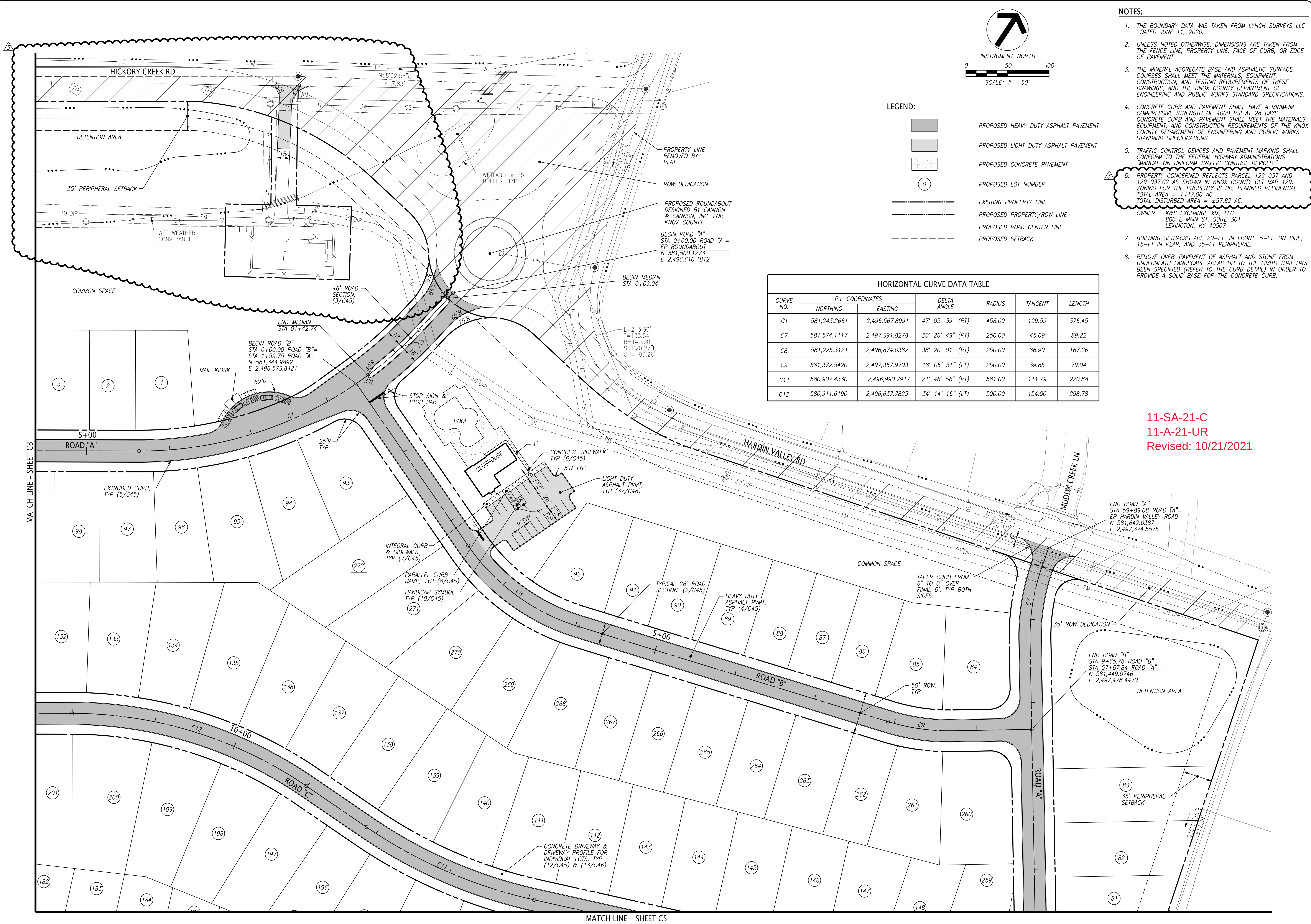
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SUITE 201
KNOXVILLE, TN 37932
OFFICE: 865.690.6419
FAX: 865.690.6448
www.fulghummacindoe.com

BALL HOMES, LLC
3609 WALDEN DRIVE
LEXINGTON, KY 40517
CONTACT: MR. BRIAN STEPHENS, P.E.
TELEPHONE NO.: 859.268.1191
EMAIL: bstephens@ballhomes.com

OVERALL CONCEPT PLAN
1-SA-21-C/ 11-A-21-UR



Project 592.006		Sheet	
Date 07/27/20		C1A	
Scale 1"=150'			
FROL MGR.	WCF	DESIGNED BY	DRAWN BY
		CHG	JMW
	ISSUED FOR REVIEW		10/21/21
No.	Revision / Issue		Date

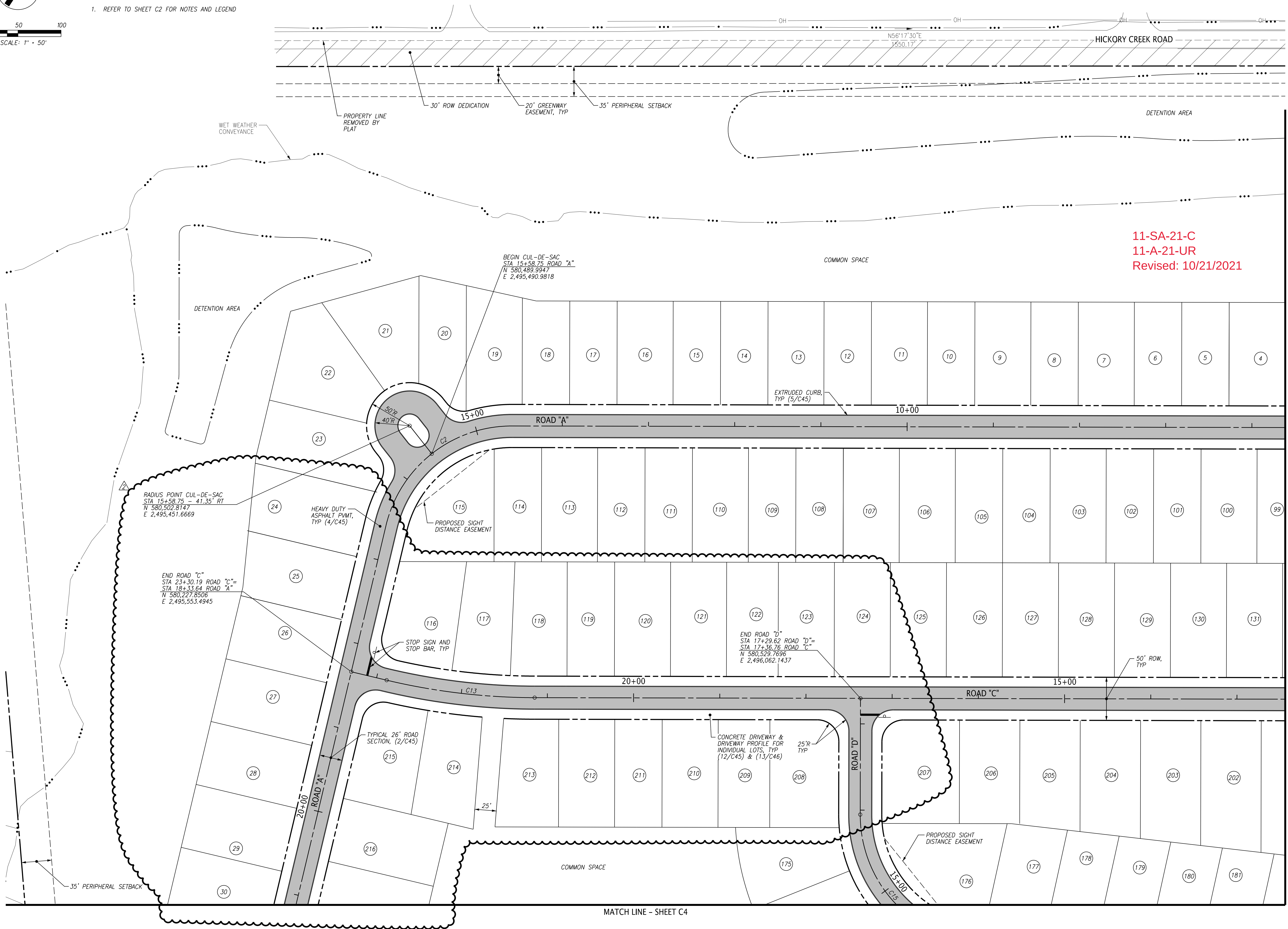




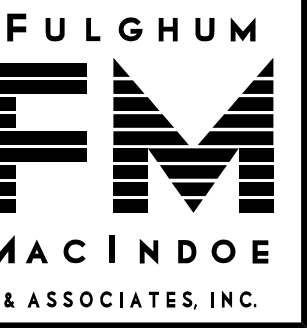
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SCALE: 1" = 50'

NOTES:

1. REFER TO SHEET C2 FOR NOTES AND LEGEND



11-SA-21-C
11-A-21-UR
Revised: 10/21/2021



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SUITE 201
KNOXVILLE, TN 37932
OFFICE: 865.690.6419
FAX: 865.690.6448
www.fulghummacindoe.com



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KNOXVILLE, TENNESSEE 37932

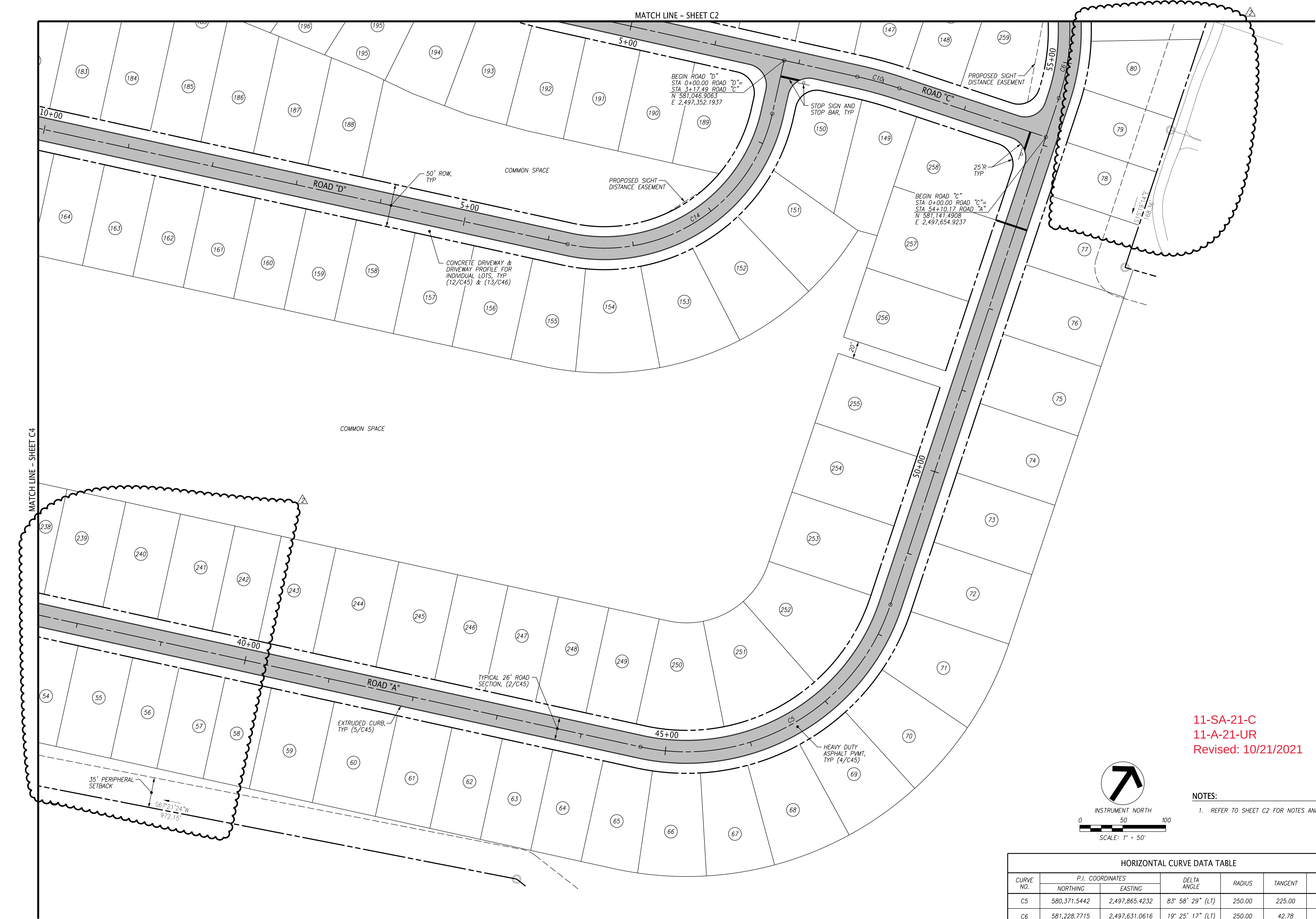
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3609 WALDEN DRIVE
LEXINGTON, KY 40517
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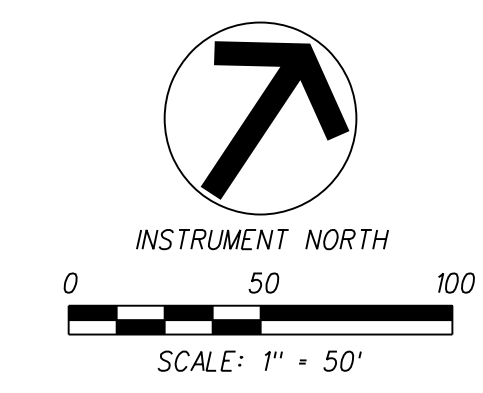
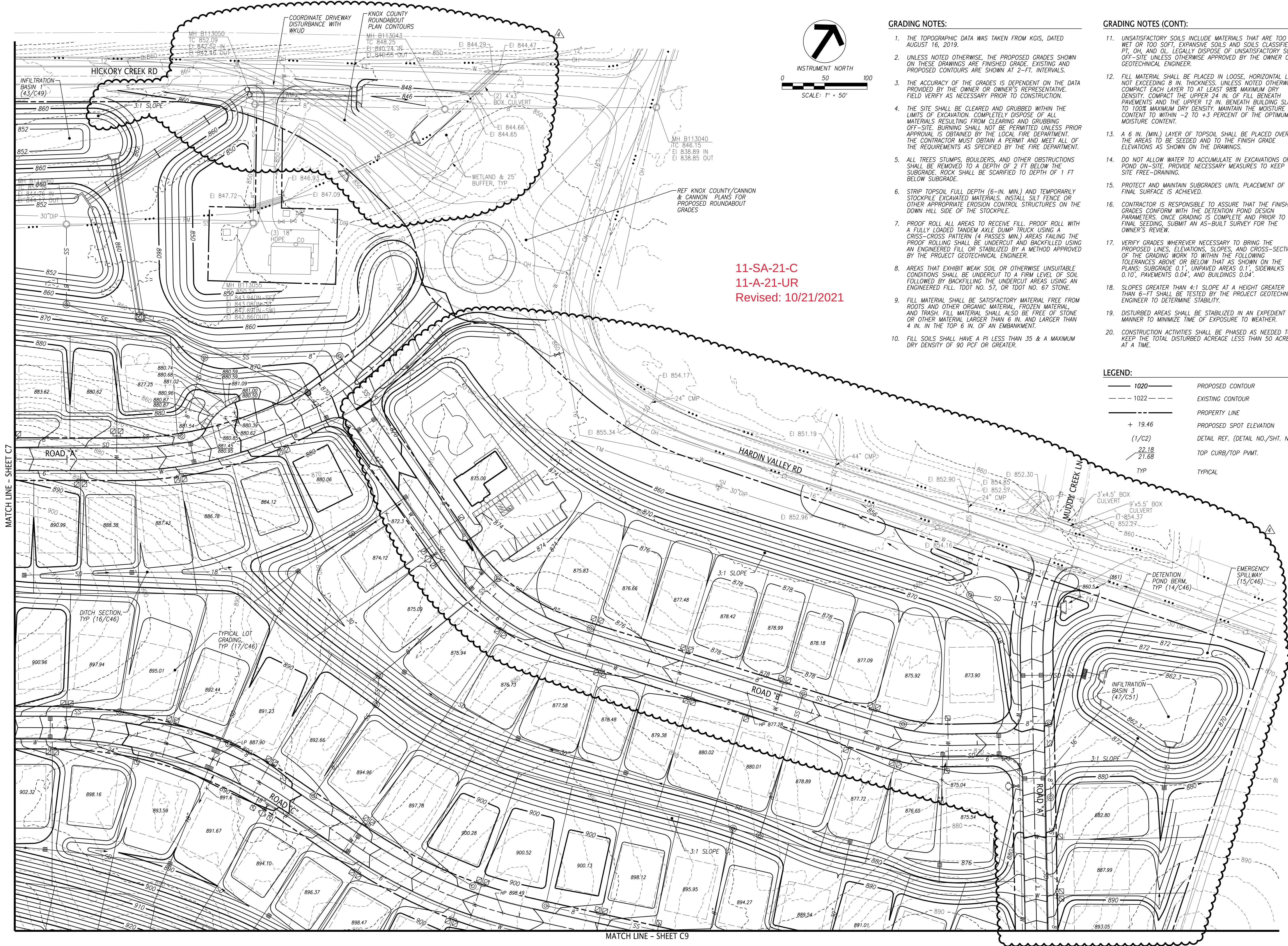
LAYOUT AND
PAVING PLAN

PROJ. NO.	DESIGNED BY	DRAWN BY	DATE
592.006	WCF	JMW	09/01/21
			12/22/20
			10/19/20

Project	Sheet
592.006	C3
Date	10/19/20
Scale	1"=50'

File Name: \\15921592.0061\DWG\1592006-006.dgn
Plot Date: 9/7/2021





- GRADING NOTES:**
1. THE TOPOGRAPHIC DATA WAS TAKEN FROM KGIS, DATED AUGUST 16, 2019.
 2. UNLESS NOTED OTHERWISE, THE PROPOSED GRADES SHOWN ON THESE DRAWINGS ARE FINISHED GRADE. EXISTING AND PROPOSED CONTOURS ARE SHOWN AT 2-FT. INTERVALS.
 3. THE ACCURACY OF THE GRADES IS DEPENDENT ON THE DATA PROVIDED BY THE OWNER OR OWNER'S REPRESENTATIVE. FIELD VERIFY AS NECESSARY PRIOR TO CONSTRUCTION.
 4. THE SITE SHALL BE CLEARED AND GRUBBED WITHIN THE LIMITS OF EXCAVATION. COMPLETELY DISPOSE OF ALL MATERIALS RESULTING FROM CLEARING AND GRUBBING OFF-SITE. BURNING SHALL NOT BE PERMITTED UNLESS PRIOR APPROVAL IS OBTAINED BY THE LOCAL FIRE DEPARTMENT. THE CONTRACTOR MUST OBTAIN A PERMIT AND MEET ALL OF THE REQUIREMENTS AS SPECIFIED BY THE FIRE DEPARTMENT.
 5. ALL TREES STUMPS, BOULDERS, AND OTHER OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF 2 FT BELOW THE SUBGRADE. ROCK SHALL BE SCARIFIED TO DEPTH OF 1 FT BELOW SUBGRADE.
 6. STRIP TOPSOIL FULL DEPTH (6-IN. MIN.) AND TEMPORARILY STOCKPILE EXCAVATED MATERIALS. INSTALL SILT FENCE OR OTHER APPROPRIATE EROSION CONTROL STRUCTURES ON THE DOWN HILL SIDE OF THE STOCKPILE.
 7. PROOF ROLL ALL AREAS TO RECEIVE FILL. PROOF ROLL WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK USING A CRISS-CROSS PATTERN (4 PASSES MIN.) AREAS FAILING THE PROOF ROLLING SHALL BE UNDERCUT AND BACKFILLED USING AN ENGINEERED FILL OR STABILIZED BY A METHOD APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
 8. AREAS THAT EXHIBIT WEAK SOIL OR OTHERWISE UNSUITABLE CONDITIONS SHALL BE UNDERCUT TO A FIRM LEVEL OF SOIL FOLLOWED BY BACKFILLING THE UNDERCUT AREAS USING AN ENGINEERED FILL. TDOT NO. 57, OR TDOT NO. 67 STONE.
 9. FILL MATERIAL SHALL BE SATISFACTORY MATERIAL FREE FROM ROOTS AND OTHER ORGANIC MATERIAL, FROZEN MATERIAL, AND TRASH. FILL MATERIAL SHALL ALSO BE FREE OF STONE OR OTHER MATERIAL LARGER THAN 6 IN. AND LARGER THAN 4 IN. IN THE TOP 6 IN. OF AN EMBANKMENT.
 10. FILL SOILS SHALL HAVE A PI LESS THAN 35 & A MAXIMUM DRY DENSITY OF 90 PCF OR GREATER.

- GRADING NOTES (CONT):**
11. UNSATISFACTORY SOILS INCLUDE MATERIALS THAT ARE TOO WET OR TOO SOFT, EXPANSIVE SOILS AND SOILS CLASSIFIED PT, OH, AND OL. LEGALLY DISPOSE OF UNSATISFACTORY SOILS OFF-SITE UNLESS OTHERWISE APPROVED BY THE OWNER OR GEOTECHNICAL ENGINEER.
 12. FILL MATERIAL SHALL BE PLACED IN LOOSE, HORIZONTAL LIFTS NOT EXCEEDING 8 IN. THICKNESS. UNLESS NOTED OTHERWISE, COMPACT EACH LAYER TO AT LEAST 98% MAXIMUM DRY DENSITY. COMPACT THE UPPER 24 IN. OF FILL BENEATH PAVEMENTS AND THE UPPER 12 IN. BENEATH BUILDING SLABS TO 100% MAXIMUM DRY DENSITY. MAINTAIN THE MOISTURE CONTENT TO WITHIN -2 TO +3 PERCENT OF THE OPTIMUM MOISTURE CONTENT.
 13. A 6 IN. (MIN.) LAYER OF TOPSOIL SHALL BE PLACED OVER THE AREAS TO BE SEEDED AND TO THE FINISH GRADE ELEVATIONS AS SHOWN ON THE DRAWINGS.
 14. DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS OR POND ON-SITE. PROVIDE NECESSARY MEASURES TO KEEP THE SITE FREE-DRAINING.
 15. PROTECT AND MAINTAIN SUBGRADES UNTIL PLACEMENT OF THE FINAL SURFACE IS ACHIEVED.
 16. CONTRACTOR IS RESPONSIBLE TO ASSURE THAT THE FINISHED GRADES CONFORM WITH THE DETENTION POND DESIGN PARAMETERS. ONCE GRADING IS COMPLETE AND PRIOR TO FINAL SEEDING, SUBMIT AN AS-BUILT SURVEY FOR THE OWNER'S REVIEW.
 17. VERIFY GRADES WHEREVER NECESSARY TO BRING THE PROPOSED LINES, ELEVATIONS, SLOPES, AND CROSS-SECTIONS OF THE GRADING WORK TO WITHIN THE FOLLOWING TOLERANCES ABOVE OR BELOW THAT AS SHOWN ON THE PLANS: SUBGRADE 0.1', UNPAVED AREAS 0.1', SIDEWALKS 0.10', PAVEMENTS 0.04', AND BUILDINGS 0.04'.
 18. SLOPES GREATER THAN 4:1 SLOPE AT A HEIGHT GREATER THAN 6-FT SHALL BE TESTED BY THE PROJECT GEOTECHNICAL ENGINEER TO DETERMINE STABILITY.
 19. DISTURBED AREAS SHALL BE STABILIZED IN AN EXPEDIENT MANNER TO MINIMIZE TIME OF EXPOSURE TO WEATHER.
 20. CONSTRUCTION ACTIVITIES SHALL BE PHASED AS NEEDED TO KEEP THE TOTAL DISTURBED ACREAGE LESS THAN 50 ACRES AT A TIME.

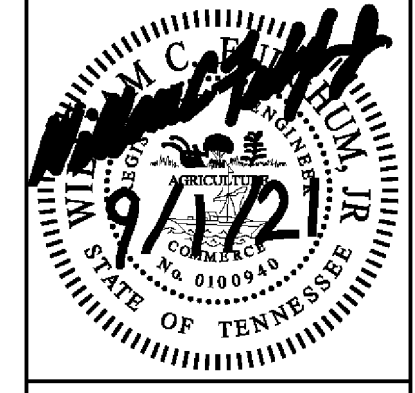
LEGEND:

1020	PROPOSED CONTOUR
1022	EXISTING CONTOUR
	PROPERTY LINE
+ 19.46	PROPOSED SPOT ELEVATION
(1/C2)	DETAIL REF. (DETAIL NO./SHT. NO.)
22.18	TOP CURB/TOP P.V.M.T.
21.68	
TYP	TYPICAL

11-SA-21-C
11-A-21-UR
Revised: 10/21/2021

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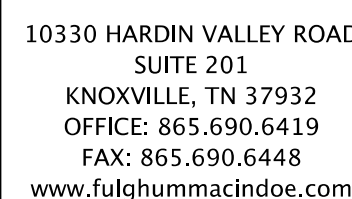
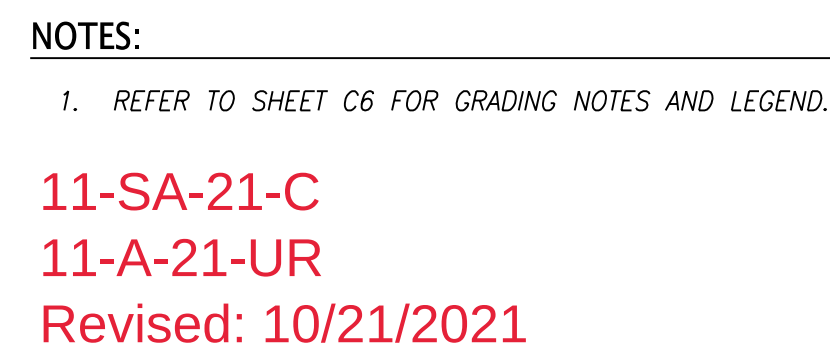
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SUITE 201
KNOXVILLE, TN 37932
OFFICE: 865.690.6419
FAX: 865.690.6448
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12140 HARDIN VALLEY ROAD
KNOXVILLE, TENNESSEE 37932

BALL HOMES, LLC
3609 WALDEN DRIVE
LEXINGTON, KY 40517
CONTACT: MR. BRIAN STEPHENS, P.E.
TELEPHONE NO.: 859.268.1191
EMAIL: bstephens@ballhomes.com

GRADING PLAN						
PROJ. MGR.		WCF	DESIGNED BY	CHG	DRAWN BY	JMW
A		LOT LINE REVISION				09/01/21
A		REVISED INFILTRATION BASIN 1 OULET PIPE				01/04/21
A		REVISED BYPASS AND DITCH GRADING				12/22/20
A		REVISED TO ADD PHASING NOTE				10/27/20
A		ISSUED FOR CONSTRUCTION				10/19/20
No.		Revision/Issue				Date
Project		Sheet				C6
592.006						
Date						
10/19/20						
Scale						1"=50'



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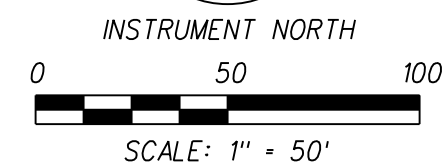
BALL HOMES, LLC
3609 WALDEN DRIVE
LEXINGTON, KY 40517
CONTACT: MR. BRIAN STEPHENS, P.E.
TELEPHONE NO.: 859.268.1191
EMAIL: bstephens@ballhomes.com

GRADING PLAN

Project	592.006	Sheet C7
Date	10/19/20	
Scale	1"=50'	
PROJ. MGR. DESIGNED BY WCF CHG DRAWN BY JMW LOT LINE REVISIONS REVISED INFILTRATION BASIN 1 OUTLET PIPE 01/04/21 ISSUED FOR CONSTRUCTION 10/19/20 Revision/Issue No. Date 		

File Name: J:\592\592.006\DWGS\592006c007.dgn
Plot Date: 9/1/2021

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1. REFER TO SHEET C6 FOR GRADING NOTES AND LEGEND.

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SUITE 201
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OFFICE: 865.690.6419
FAX: 865.690.6448
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12140 HARDIN VALLEY ROAD
KNOXVILLE, TENNESSEE 37932

BALL HOMES, LLC
3609 WALDEN DRIVE
LEXINGTON, KY 40517
CONTACT: MR. BRIAN STEPHENS, P.E.
TELEPHONE NO.: 859.268.1191
EMAIL: bstephens@ballhomes.com

GRADING PLAN

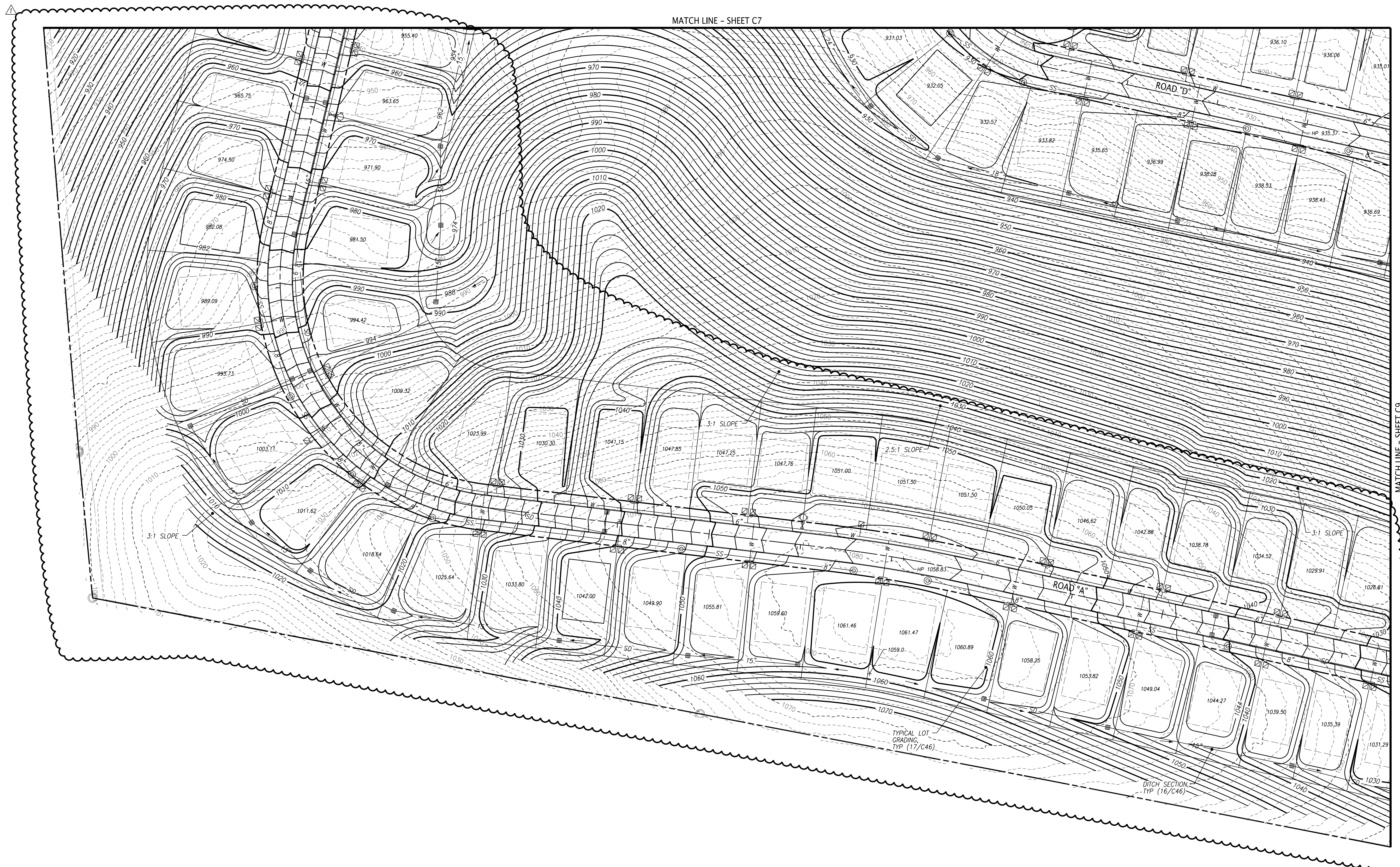
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Project		

Date
10/19/20

Scale

C8



File Name: J:\592\592.006\DWGS\592006c008.dgn
Plot Date: 9/1/2021

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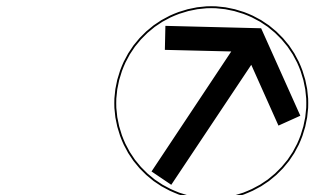


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3609 WALDEN DRIVE
LEXINGTON, KY 40517
CONTACT: MR. BRIAN STEPHENS, P.E.
TELEPHONE NO.: 859.268.1191
EMAIL: bstephens@ballhomes.com

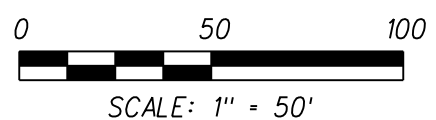
GRADING PLAN

PROJ. MGR.	DESIGNED BY	DRAWN BY
	WCF	CHG
Project	Date	
592.006	10/19/20	
Scale	1"=50'	

11-SA-21-C
11-A-21-UR
Revised: 10/21/2021



INSTRUMENT NORTH



NOTES:

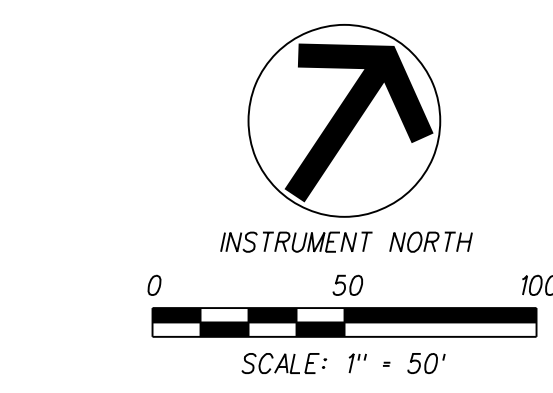
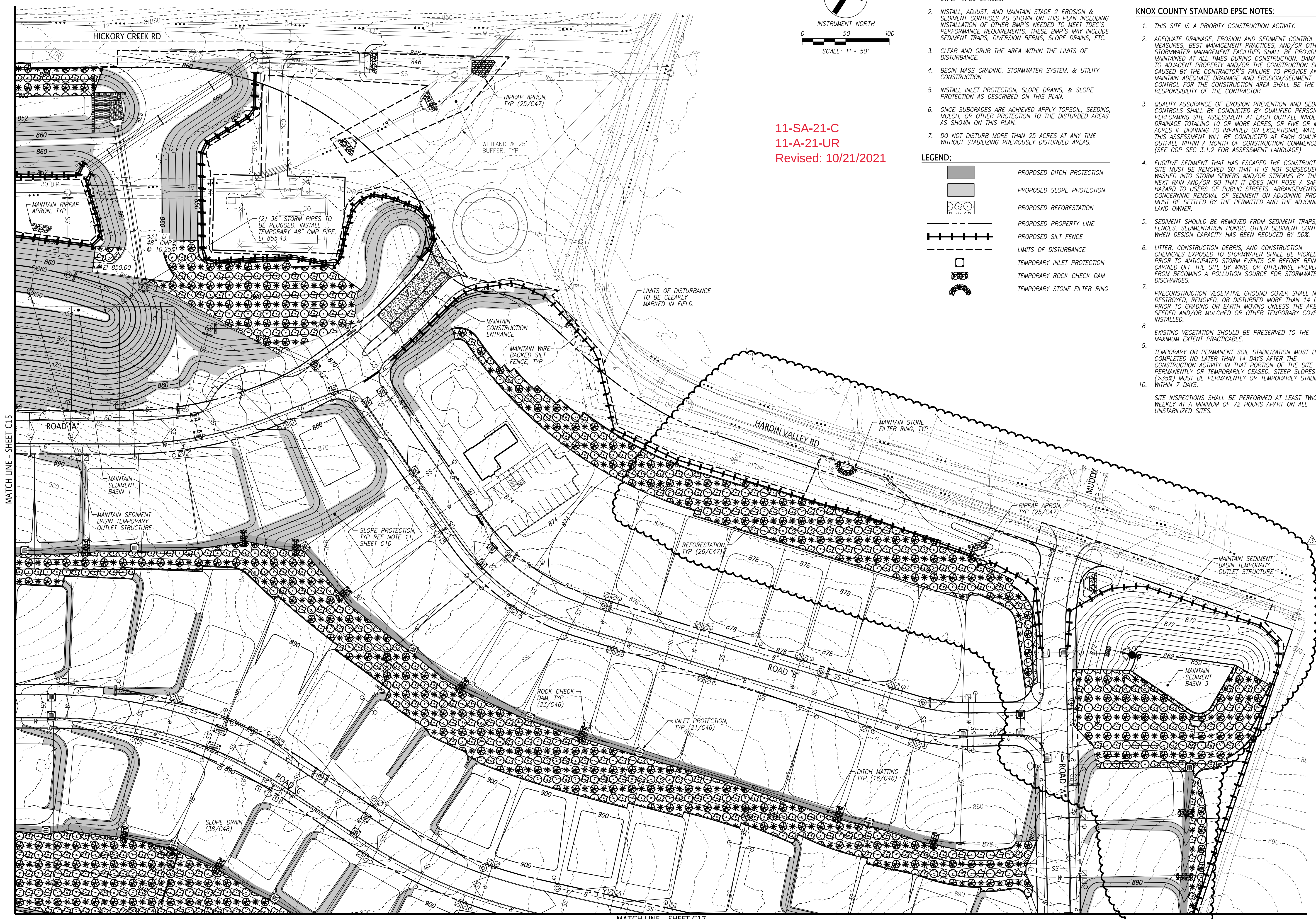
1. REFER TO SHEET C6 FOR GRADING NOTES AND LEGEND.

MATCH LINE - SHEET C6

MATCH LINE - SHEET C8

File Name: J:\592\592.006\DWGS\592006c009.dgn
Plot Date: 9/1/2021

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11-A-21-UR
Revised: 10/21/2021

EPSC – STAGE 2 SEQUENCING NOTES:

1. MAINTAIN STAGE 1 CONSTRUCTION ENTRANCE/EXIT & OTHER EPSC DEVICES.
2. INSTALL, ADJUST, AND MAINTAIN STAGE 2 EROSION & SEDIMENT CONTROLS AS SHOWN ON THIS PLAN INCLUDING INSTALLATION OF OTHER BMP'S NEEDED TO MEET TDEC'S PERFORMANCE REQUIREMENTS. THESE BMP'S MAY INCLUDE SEDIMENT TRAPS, DIVERSION BERMS, SLOPE DRAINS, ETC.
3. CLEAR AND GRUB THE AREA WITHIN THE LIMITS OF DISTURBANCE.
4. BEGIN MASS GRADING, STORMWATER SYSTEM, & UTILITY CONSTRUCTION.
5. INSTALL INLET PROTECTION, SLOPE DRAINS, & SLOPE PROTECTION AS DESCRIBED ON THIS PLAN.
6. ONCE SUBGRADES ARE ACHIEVED APPLY TOPSOIL, SEEDING, MULCH, OR OTHER PROTECTION TO THE DISTURBED AREAS AS SHOWN ON THIS PLAN.
7. DO NOT DISTURB MORE THAN 25 ACRES AT ANY TIME WITHOUT STABILIZING PREVIOUSLY DISTURBED AREAS.

LEGEND:

- PROPOSED DITCH PROTECTION
- PROPOSED SLOPE PROTECTION
- PROPOSED REFORESTATION
- PROPOSED PROPERTY LINE
- PROPOSED SILT FENCE
- LIMITS OF DISTURBANCE
- TEMPORARY INLET PROTECTION
- TEMPORARY ROCK CHECK DAM
- TEMPORARY STONE FILTER RING

EPSC NOTES:

1. REFER TO SHEET C10 FOR EPSC NOTES.
2. ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED & MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. QUALITY ASSURANCE OF EROSION PREVENTION AND SEDIMENT CONTROLS SHALL BE CONDUCTED BY QUALIFIED PERSONNEL PERFORMING SITE ASSESSMENT AT EACH OUTFALL INVOLVING DRAINAGE TOTALING 10 OR MORE ACRES, OR FIVE OR MORE ACRES IF DRAINING TO IMPAIRED OR EXCEPTIONAL WATERS. THIS ASSESSMENT WILL BE CONDUCTED AT EACH QUALIFYING OUTFALL WITHIN A MONTH OF CONSTRUCTION COMMENCEMENT. (SEE COP SEC 3.1.2 FOR ASSESSMENT LANGUAGE)
4. FUGITIVE SEDIMENT THAT HAS ESCAPED THE CONSTRUCTION SITE MUST BE REMOVED SO THAT IT IS NOT SUBSEQUENTLY WASHED INTO STORM SEWERS AND/OR STREAMS BY THE NEXT RAIN AND/OR SO THAT IT DOES NOT POSE A SAFETY HAZARD TO USERS OF PUBLIC STREETS. ARRANGEMENTS CONCERNING REMOVAL OF SEDIMENT ON ADJOINING PROPERTY MUST BE SETTLED BY THE PERMITTED AND THE ADJOINING LAND OWNER.
5. SEDIMENT SHOULD BE REMOVED FROM SEDIMENT TRAPS, SILT FENCES, SEDIMENTATION PONDS, OTHER SEDIMENT CONTROLS WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
6. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORMWATER SHALL BE PICKED UP PRIOR TO ANTICIPATED STORM EVENTS OR BEFORE BEING CARRIED OFF THE SITE BY WIND, OR OTHERWISE PREVENTED FROM BECOMING A POLLUTION SOURCE FOR STORMWATER DISCHARGES.
7. PRECONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED, REMOVED, OR DISTURBED MORE THAN 14 DAYS PRIOR TO GRADING OR EARTH MOVING UNLESS THE AREA IS SEEDED AND/OR MULCHED OR OTHER TEMPORARY COVER IS INSTALLED.
8. EXISTING VEGETATION SHOULD BE PRESERVED TO THE MAXIMUM EXTENT PRACTICABLE.
9. TEMPORARY OR PERMANENT SOIL STABILIZATION MUST BE COMPLETED NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS PERMANENTLY OR TEMPORARILY CEASED. STEEP SLOPES (>35%) MUST BE PERMANENTLY OR TEMPORARILY STABILIZED WITHIN 7 DAYS.
10. SITE INSPECTIONS SHALL BE PERFORMED AT LEAST TWICE WEEKLY AT A MINIMUM OF 72 HOURS APART ON ALL UNSTABILIZED SITES.



10330 HARDIN VALLEY ROAD
SUITE 201
KNOXVILLE, TN 37932
OFFICE: 865.690.6419
FAX: 865.690.6448
www.fulghummacindoe.com

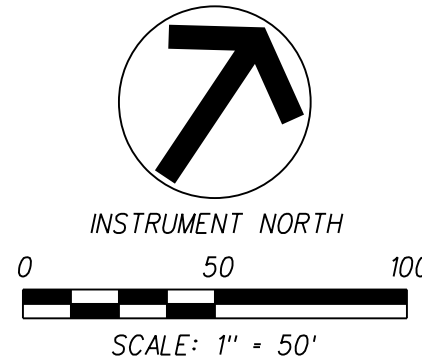


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12140 HARDIN VALLEY ROAD
KNOXVILLE, TENNESSEE 37932

BALL HOMES, LLC
3609 WALDEN DRIVE
LEXINGTON, KY 40517
CONTACT: MR. BRIAN STEPHENS, P.E.
TELEPHONE NO.: 859.268.1191
EMAIL: bstephens@ballhomes.com

EPSC PLAN – STAGE 2

Project 592.006		Sheet C14		Date 10/19/20		Scale 1"=50'					
PROJ. MGR.		WCF		DESIGNED BY		CHKD		DRAWN BY		JMW	
A		A		LOT LINE REVISIONS		A		09/01/21			
A		A		REVISED INFILTRATION BASIN 1 OUTLET PIPE		A		01/04/21			
A		A		REVISED BYPASS EPSC		A		12/22/20			
A		A		ISSUED FOR CONSTRUCTION		A		10/19/20			
No.				Revision/Issue				Date			



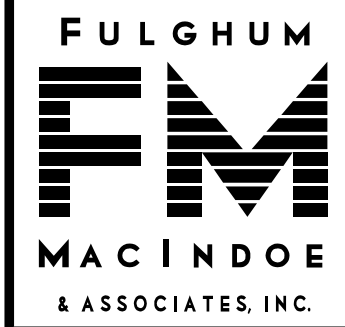
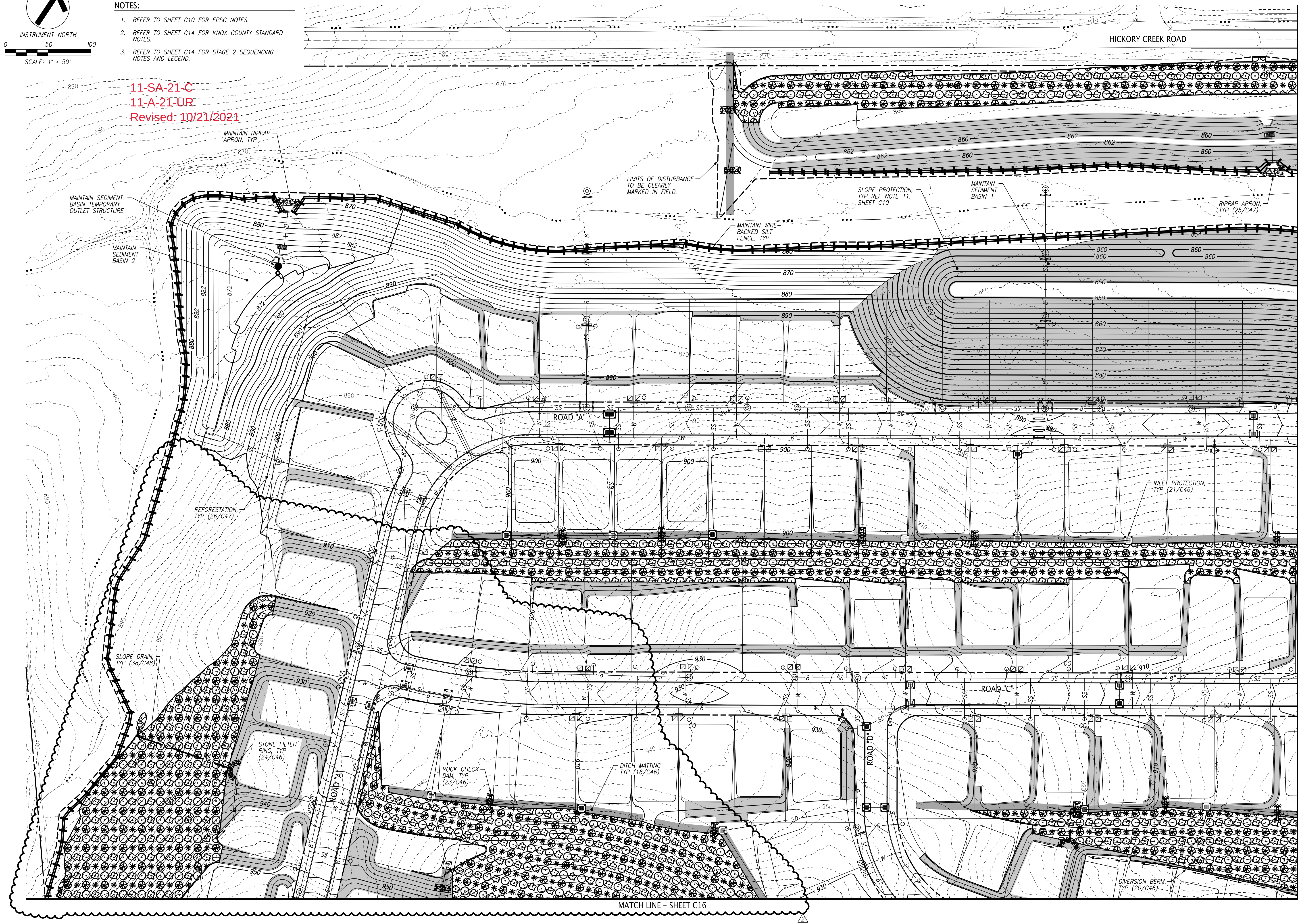
NOTES:

1. REFER TO SHEET C10 FOR EPSC NOTES.
2. REFER TO SHEET C14 FOR KNOX COUNTY STANDARD NOTES.
3. REFER TO SHEET C14 FOR STAGE 2 SEQUENCING NOTES AND LEGEND.

11-SA-21-C

11-A-21-UR

Revised: 10/21/2021



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SUITE 201
KNOXVILLE, TN 37932
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FAX: 865.690.6448
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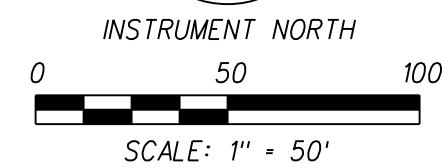


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KNOXVILLE, TENNESSEE 37932

BALL HOMES, LLC
3609 WALDEN DRIVE
LEXINGTON, KY 40517
CONTACT: MR. BRIAN STEPHENS, P.E.
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EPSC PLAN - STAGE 2

PROJ. NO.	WCF	DESIGNED BY	DRAWN BY	DATE
592.006	JMW	CHG	JMW	10/19/20
LOT LINE REVISIONS				DATE
1	REVISION	REVISION	REVISION	09/01/21
2	REVISION	REVISION	REVISION	01/04/21
3	REVISION	REVISION	REVISION	10/19/20
ISSUED FOR CONSTRUCTION				10/19/20
Revision/Issue				No.
Project				Sheet
592.006				C15
Date				10/19/20
Scale				1"=50'



NOTES:

1. REFER TO SHEET C10 FOR EPSC NOTES.
2. REFER TO SHEET C14 FOR KNOX COUNTY STANDARD NOTES.
3. REFER TO SHEET C14 FOR STAGE 2 SEQUENCING NOTES AND LEGEND.

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FAX: 865.690.6448
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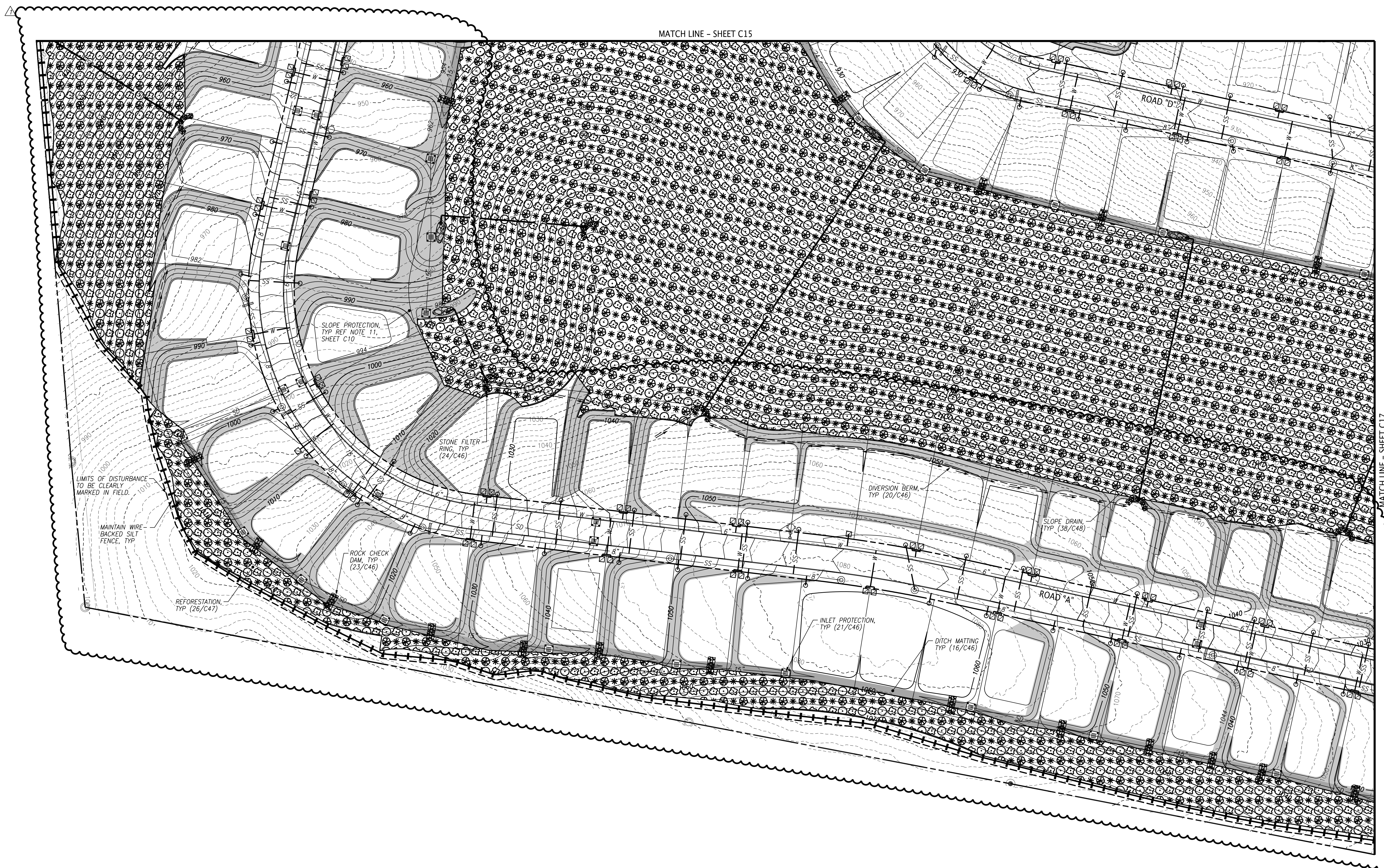


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12140 HARDIN VALLEY ROAD
KNOXVILLE, TENNESSEE 37932

BALL HOMES, LLC
3609 WALDEN DRIVE
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CONTACT: MR. BRIAN STEPHENS, P.E.
TELEPHONE NO.: 859.268.1191
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EPSC PLAN - STAGE 2

Project	592.006	PROJ. MGR.	DESIGNED BY	CHG	DRAWN BY	JMW
Date	10/19/20					
Scale	1"=50'					
C16		LOT LINE REVISIONS ISSUED FOR CONSTRUCTION				
		No. 1				
		Decision / Issue				
		09/01/21 10/19/20				
		Date				

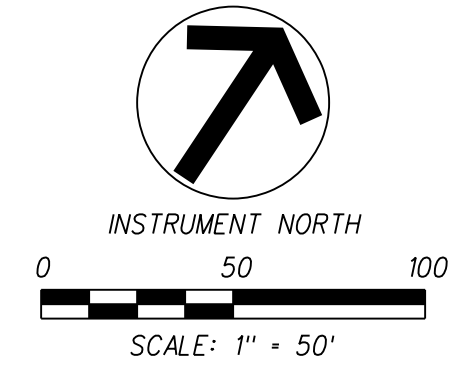
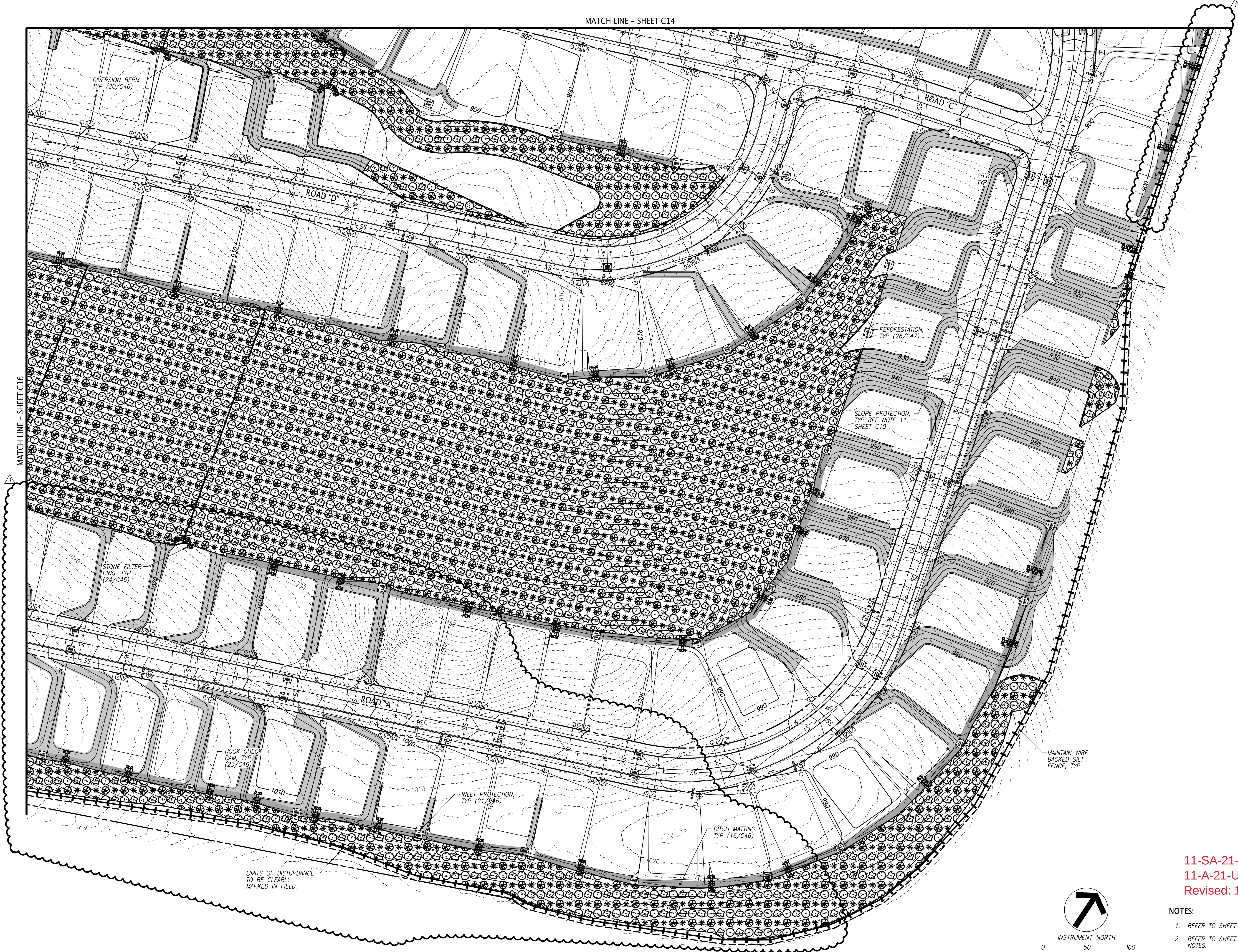


File Name: J:\592\592.006\DWGS\592006c016.dgn
Plot Date: 9/1/2021

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File Name: A:\592\592.006\DWG\592006-017.dwg
Plot Date: 9/1/2021

MATCH LINE - SHEET C14

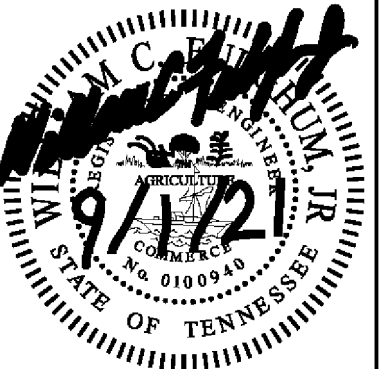


11-SA-21-C
11-A-21-UR
Revised: 10/21/2021

- NOTES:
1. REFER TO SHEET C10 FOR EPSC NOTES.
 2. REFER TO SHEET C14 FOR KNOX COUNTY STANDARD NOTES.
 3. REFER TO SHEET C14 FOR STAGE 2 SEQUENCING NOTES AND LEGEND.



10330 HARDIN VALLEY ROAD
SUITE 201
KNOXVILLE, TN 37932
OFFICE: 865.690.6419
FAX: 865.690.6448
www.fulghummacindoe.com



SEAL PROPERTY SUBDIVISION
12140 HARDIN VALLEY ROAD
KNOXVILLE, TENNESSEE 37932

BALL HOMES, LLC
3609 WALDEN DRIVE
LEXINGTON, KY 40517
CONTACT: MR. BRIAN STEPHENS, P.E.
TELEPHONE NO.: 859.268.1191
EMAIL: bstephens@ballhomes.com

EPSC PLAN - STAGE 2

PROJ. NO.	DESIGNED BY	DRAWN BY	DATE
592.006	CHG	JMW	09/01/21
LOT LINE REVISIONS	ISSUED FOR CONSTRUCTION	Revision/Issue	Date
1	2	3	4
10/19/20	10/19/20		
Scale	Sheet	C17	
1"=50'			