

2 ASPHALT PAVEMENT SECTION
C1 N.T.S.



1. THE TOPOGRAPHIC & BOUNDARY DATA WAS TAKEN FROM KGIS. EXISTING CONTOURS ARE AT 2-FT INTERVALS. VERTICAL DATUM IS BASED ON NAVD88.
2. CONSTRUCTION, AND TESTING REQUIREMENTS OF THESE DRAWINGS, AND THE KNOX COUNTY DEPARTMENT OF ENGINEERING STANDARD SPECIFICATIONS.
3. CONCRETE CURB AND PAVEMENT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. CONCRETE CURB AND PAVEMENT SHALL MEET THE MATERIALS, EQUIPMENT, AND CONSTRUCTION REQUIREMENTS OF THE KNOX COUNTY DEPARTMENT OF ENGINEERING STANDARD SPECIFICATIONS.
4. TRAFFIC CONTROL DEVICES AND PAVEMENT MARKING SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATIONS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
5. PROPERTY CONCERNED REFLECTS PARCEL 073172 AS SHOWN IN KNOX COUNTY CLT MAP 73. ZONING FOR THE PROPERTY IS PR, PLANNED RESIDENTIAL ZONE. TOTAL AREA = 10.90± AC.
6. BUILDING SETBACKS INTERNAL TO SUBDIVISION ARE 20'-FT. IN FRONT, 5'-FT. ON SIDE, 15'-FT. REAR, AND 25'-FT. AT THE PERIPHERY.
7. ACCESS TO LOTS IS RESTRICTED TO INTERNAL STREETS.
8. PROPOSED IMPROVEMENTS INCLUDE 26' WIDE PUBLIC ROAD, ROLL-OVER CURB, STORM SEWER, SANITARY SEWER, WATER, GAS, ELECTRIC, TELEPHONE, AND CABLE TV.
9. ROOF DRAIN AND FRONT YARD FOR ALL PROPOSED LOTS WILL BE CONNECTED TO PROPOSED STORM DRAINAGE SYSTEM.



1. REDUCE ROAD "A" STA 0+75.00 K-VALUE FROM 25 TO 15.
2. REDUCE HORIZ CURVE LENGTH (C-1) FROM 250'-FT TO 125'-FT.
3. REDUCE HORIZ CURVE LENGTH (C-2) FROM 250'-FT TO 125'-FT.
4. REDUCE HORIZ CURVE LENGTH (C-3) FROM 250'-FT TO 125'-FT.
5. REDUCE HORIZ CURVE LENGTH (C-4) FROM 250'-FT TO 125'-FT.
6. REDUCE CUL-DE-SAC RETURN RADIUS FROM 75'-FT TO 50'-FT.

WAIVER APPROVED BY MPC:

1. REDUCE PERIPHERAL SETBACK FROM 35-FT TO 25-FT.

**WAIVER APPROVED BY KNOX COUNTY ENGINEERING
AND PUBLIC WORKS:**

1. INTERSECTION GRADE ROAD "B" FROM 1% TO 2%.



1. PREFORMED 1/2" EXPANSION JOINTS SHALL BE EQUALLY SPACED AT 25' MAXIMUM CENTERS. EQUALLY SPACE 1/4" CONTRACTION JOINTS AT 5' MAXIMUM CENTERS BETWEEN EXPANSION JOINTS.
2. EXPANSION JOINT MATERIAL REQUIRED FOR GRASS MEDIANS.
3. EXACT CURB DIMENSIONS MAY BE ALTERED SLIGHTLY TO FIT STANDARD EXTRUDED CURB MACHINES, BUT SUCH VARIANCES MUST BE APPROVED BY THE ENGINEER.
4. IMMEDIATELY AFTER THE CONCRETE HAS SUFFICIENTLY SET, BACKFILL BEHIND CURBS TO PREVENT PONDING OF SURFACE WATER.

4 EXTRUDED CURB
C1 NTS

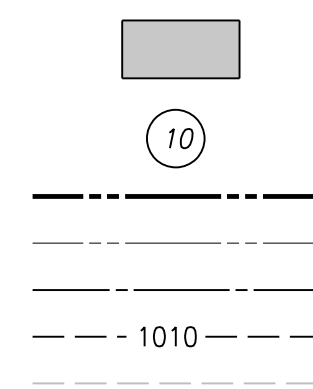
HORIZONTAL CURVE DATA TABLE							
CURVE NO.	P.I. COORDINATES		STATION	DELTA ANGLE	RADIUS	TANGENT	LENGTH
	NORTHING	EASTING					
C-1	621,542.5135	2,633,682.3738	4+54.67	43° 57' 41" (LT)	125.00	50.45	95.91
C-2	621,608.6489	2,633,531.0946	6+14.77	43° 31' 10" (RT)	125.00	49.89	94.94
C-3	621,990.1620	2,633,370.1978	10+23.98	37° 50' 04" (LT)	125.00	42.84	82.54
C-4	622,117.1367	2,633,143.9201	12+80.31	43° 57' 41" (LT)	125.00	41.95	80.94

11-SB-18-C
11-E-18-UR
Revised: 10/30/2018

I HEREBY CERTIFY THAT I AM A ENGINEER, LICENSED TO DO ENGINEERING UNDER THE LAWS OF THE STATE OF TENNESSEE. I FURTHER CERTIFY THAT THE PLAN AND ACCOMPANYING DRAWINGS, DOCUMENTS, AND STATEMENTS CONFORM TO ALL APPLICABLE PROVISIONS OF THE KNOXVILLE-KNOX COUNTY SUBDIVISION REGULATIONS EXCEPT AS HAS BEEN ITEMIZED AND DESCRIBED IN ACCORDANCE WITH THE METROPOLITAN PLANNING COMMISSION.


ENGINEER
TENNESSEE CERTIFICATE NO. 108410

LEGEND:



PROPOSED ASPHALT PAVEMENT
PROPOSED LOT NUMBER
PROPOSED PROPERTY/ROW LINE
EXISTING PROPERTY LINE
PROPOSED ROAD CENTER LINE
EXISTING CONTOUR LINE (KGIS)
PROPERTY SETBACKS

UTILITY OWNERS:

WATER & SEWER

KNOXVILLE UTILITIES BOARD (KUB)
P.O. BOX 59017
KNOXVILLE, TN 37950-9017
CONTACT: MR. CHRIS McCORMICK
OFFICE PHONE: 865.558.2123

ELECTRIC

KNOXVILLE UTILITIES BOARD (KUB)
P.O. BOX 59017
KNOXVILLE, TN 37950-9017
CONTACT: MR. CHRIS McCORMICK
OFFICE PHONE: 865.558.2123

GAS

KNOXVILLE UTILITIES BOARD (KUB)
P.O. BOX 59017
KNOXVILLE, TN 37950-9017
CONTACT: MR. CHRIS McCORMICK
OFFICE PHONE: 865.558.2123

TELEPHONE

AT&T
9733 PARKSIDE DRIVE
KNOXVILLE, TN 37922
CONTACT: MS. VICKIE DAILEY
OFFICE PHONE: 865.539.8571

**FULGHUM
FM
MACINDOE
& ASSOCIATES, INC.**

10330 HARDIN VALLEY ROAD
SUITE 201
KNOXVILLE, TN 37932
OFFICE: 865.690.6419
FAX: 865.690.6448
www.fulghummacindoe.com

PRELIMINARY
NOT FOR
CONSTRUCTION

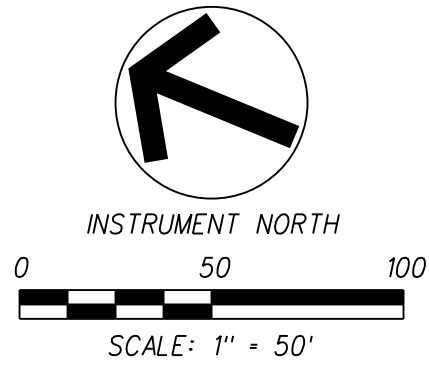
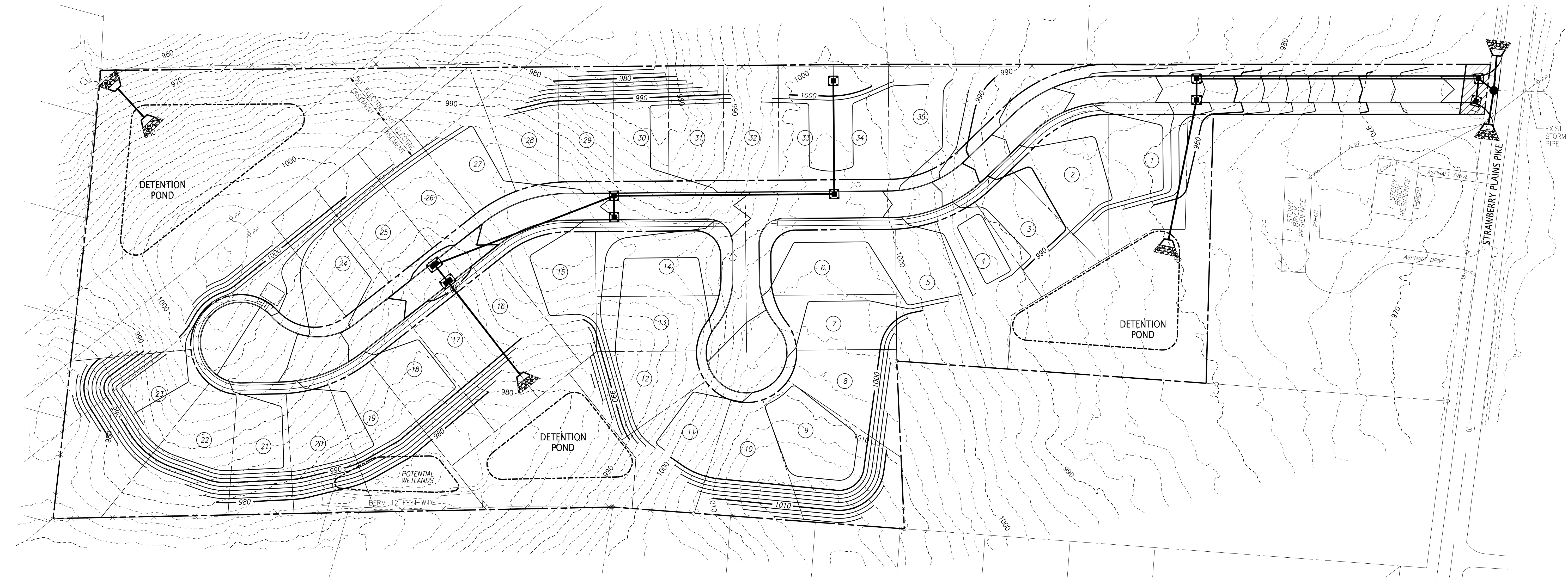
STRAWBERRY PLAINS
SUBDIVISION
STRAWBERRY PLAINS PIKE
KNOXVILLE, TENNESSEE 37924

**KNOXVILLE HABITAT
FOR HUMANITY**
1501 WASHINGTON AVENUE
KNOXVILLE, TN 37917
CONTACT: BILL TERRY
TELEPHONE NO.: 865.523.3539
EMAIL: BTERRY@KHFH.COM

CONCEPT PLAN

Project 620.001 Date 08/20/18 Scale 1"=50'		PROJ. MGR.	DESIGNED BY AMG	DRAWN BY RLP
		REV PER KNOX COUNTY & MPC COMMENTS 10/26/18		
		REV PER KNOX COUNTY & MPC COMMENTS 10/22/18		
		ISSUED FOR CONCEPT PLAN 08/20/18 No. Revision/Issue		

File Name: \\F\620\620.001\DWG\620001-CP002.dgn
Plot Date: 10/22/2018



11-SB-18-C
11-E-18-UR
Revised: 10/30/2018

LEGEND:

— 1010 — PROPOSED CONTOUR
- - - 1010 - - - EXISTING CONTOUR



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CONCEPT GRADING
AND DRAINAGE PLAN

PROJ. NO.	DESIGNED BY	DRAWN BY	DATE
	AMG	RLP	
REV PER KNOX COUNTY & MPC COMMENTS			10/22/18
ISSUED FOR CONCEPT PLAN			08/20/18
No.	Revision/Issue		Date
Project		Sheet	
620.001		C2	
Date			
08/20/18			
Scale			
1"=50'			