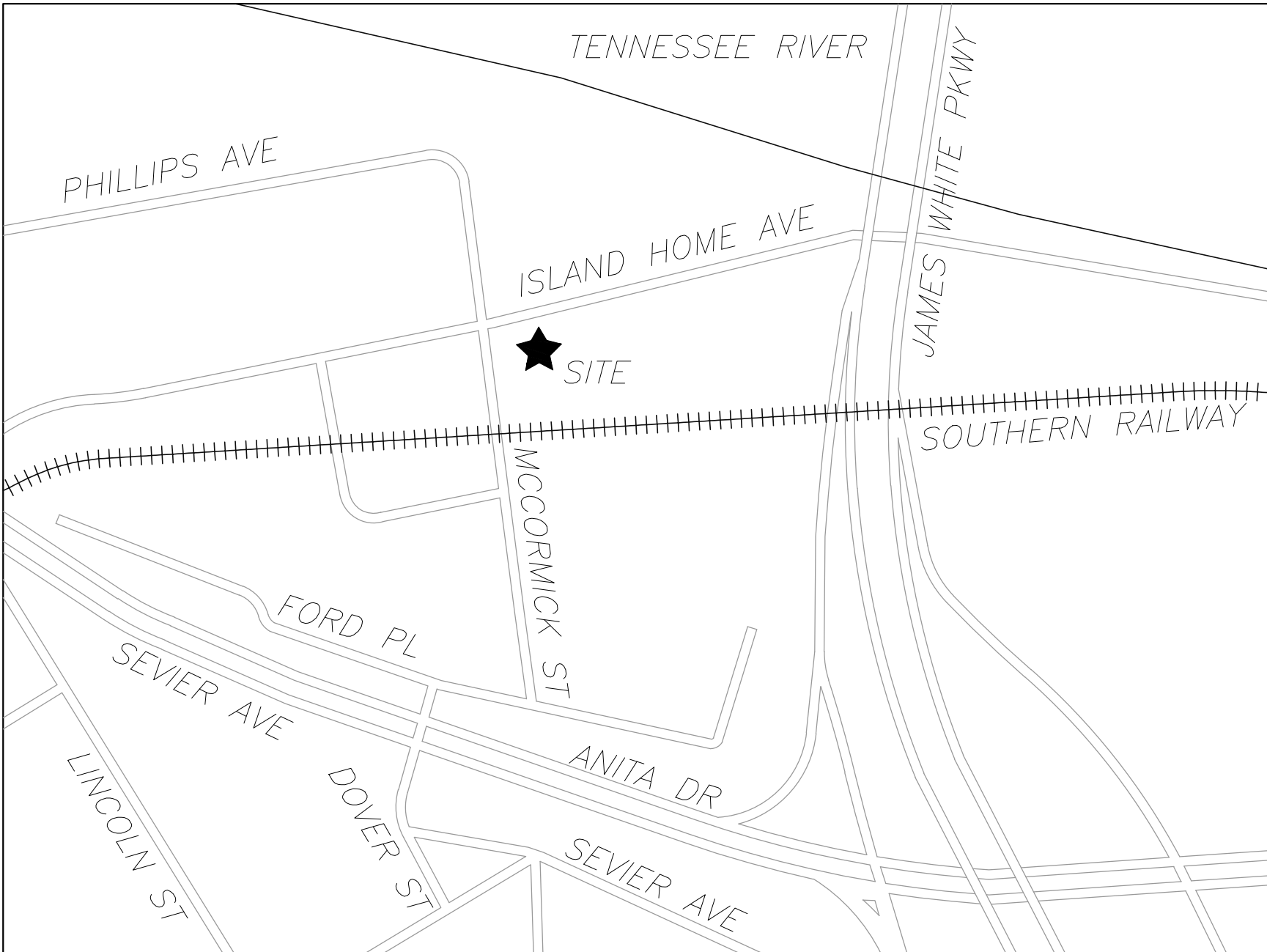


CONCEPT PLAN

U.E.I. PROJECT NO. 2102003

STATION SOUTH

SITE ADDRESS: ISLAND HOME AVENUE, KNOXVILLE, TENNESSEE 37920  
WARD NO. 26, CITY BLOCK NO. 26026  
CLT MAP 95, PARCELS 1,2,3



LOCATION MAP

OWNER:  
TAILWATER SOUTH, LLC.  
813 SOUTH NORTHSORE DRIVE, SUITE 104  
KNOXVILLE, TN 37919  
(865) 588-8663

 SITE ENGINEER:  
URBAN ENGINEERING, INC.  
CHRIS SHARP  
11852 KINGSTON PIKE  
FARRAGUT, TENNESSEE 37934  
(865) 966-1924

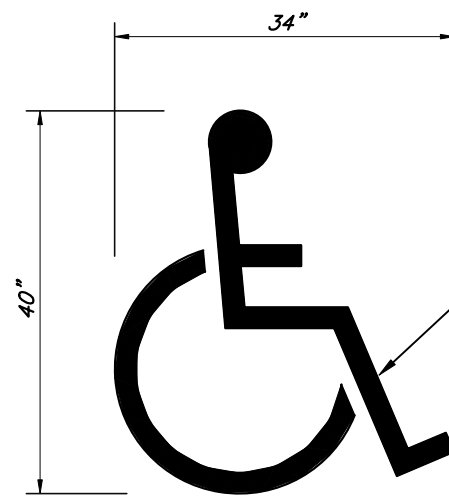
**SPECIFICATIONS**  
EXCEPT WHERE DIRECTED OTHERWISE BY THE PLANS, WORKMANSHIP  
AND MATERIAL (BUT NOT MEASUREMENT AND PAYMENT) FOR THIS  
PROJECT SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS  
AND STANDARDS.  
  
ELECTRICAL - AS DIRECTED BY KUB  
GAS - AS DIRECTED BY KUB  
WATER - AS DIRECTED BY KUB  
CABLE TV - AS DIRECTED BY COMCAST  
TELEPHONE - AS DIRECTED BY AT&T  
CITY OF KNOXVILLE - AS PER CITY OF KNOXVILLE  
STANDARDS AND SPECIFICATIONS

SHEET INDEX

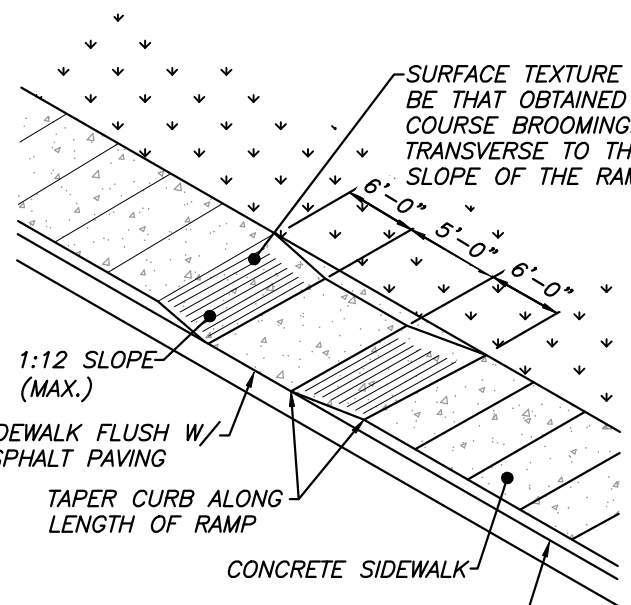
TITLE	SHEET
TITLE SHEET	C-1
SITE PLAN	C-2
GRADING PLAN	C-3
PAVER & DRAINAGE PLAN	C-4
TURNING TEMPLATES & LOT LAYOUT	C-5
ARCHITECTURAL RENDERINGS	A-1 THROUGH A-4

MPC FILE# 11-SB-21-C

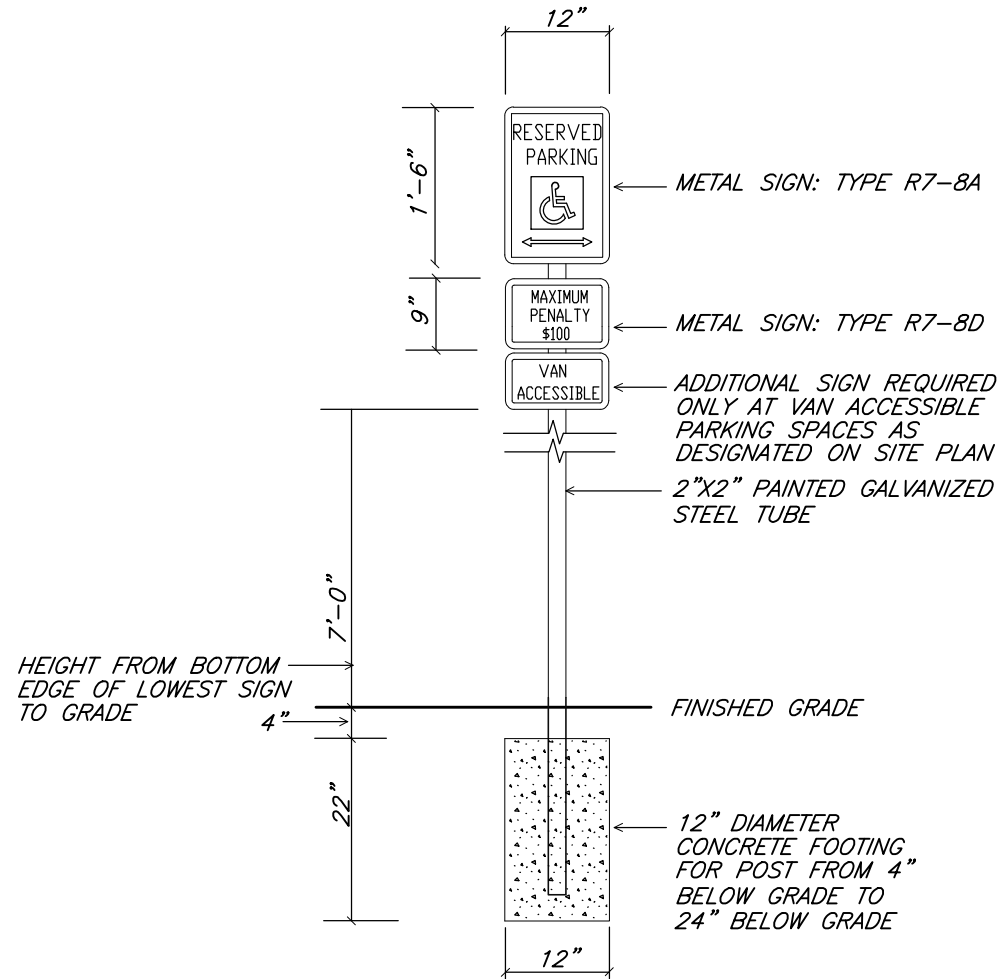

ISSUE NO.	DATE	DESCRIPTION
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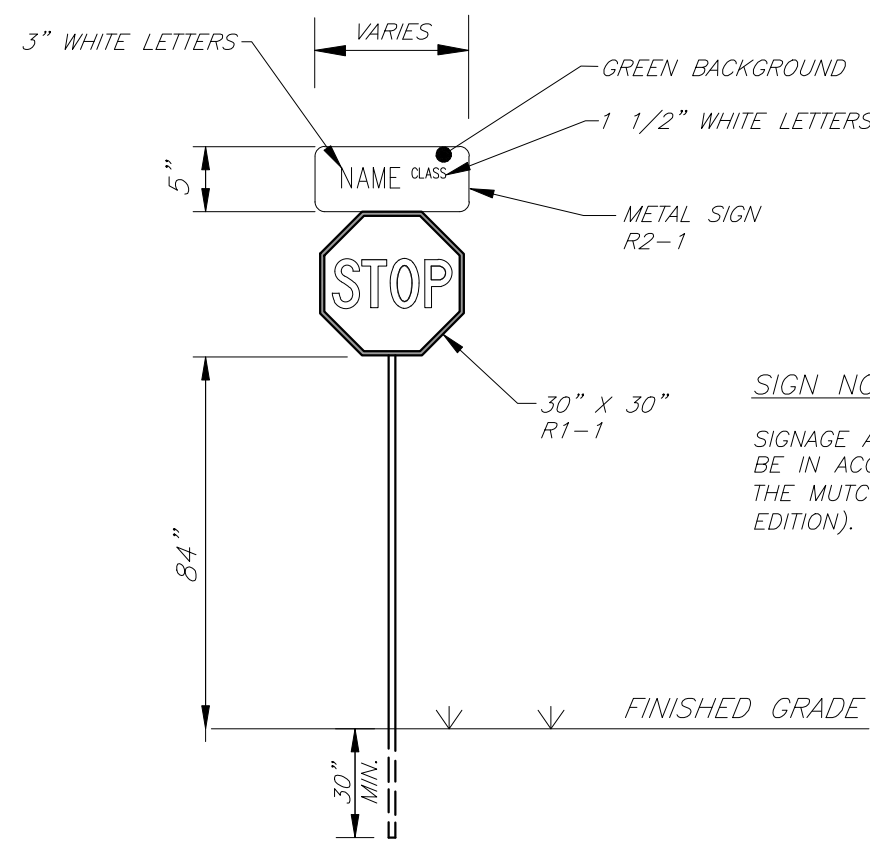
PAINTED HANDICAPPED SYMBOL  
N.T.S.



HANDICAPPED RAMP  
N.T.S.



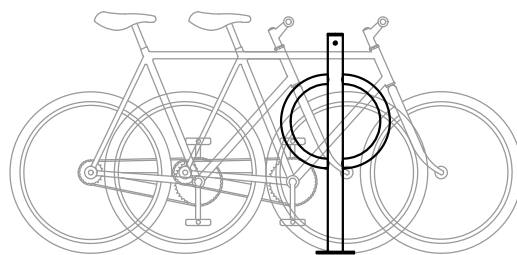
HANDICAPPED SIGN DETAIL  
N.T.S.



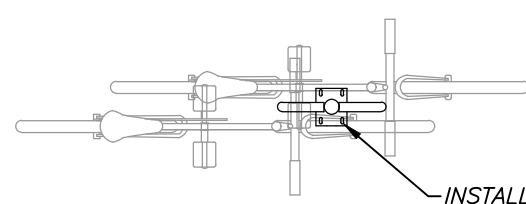
COMBINATION STOP SIGN /  
STREET NAME SIGN DETAIL

#### BIKE RACK NOTES:

- 2-BIKE 'BOLLARD BIKE RACK', AS MANUFACTURED BY THE PARK AND FACILITIES CATALOG, OR APPROVED EQUAL.
- REFER TO C.O.K. ZONING ORDINANCE (ARTICLE 11.9) FOR BIKE RACK SPECIFICATIONS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.



SIDE VIEW



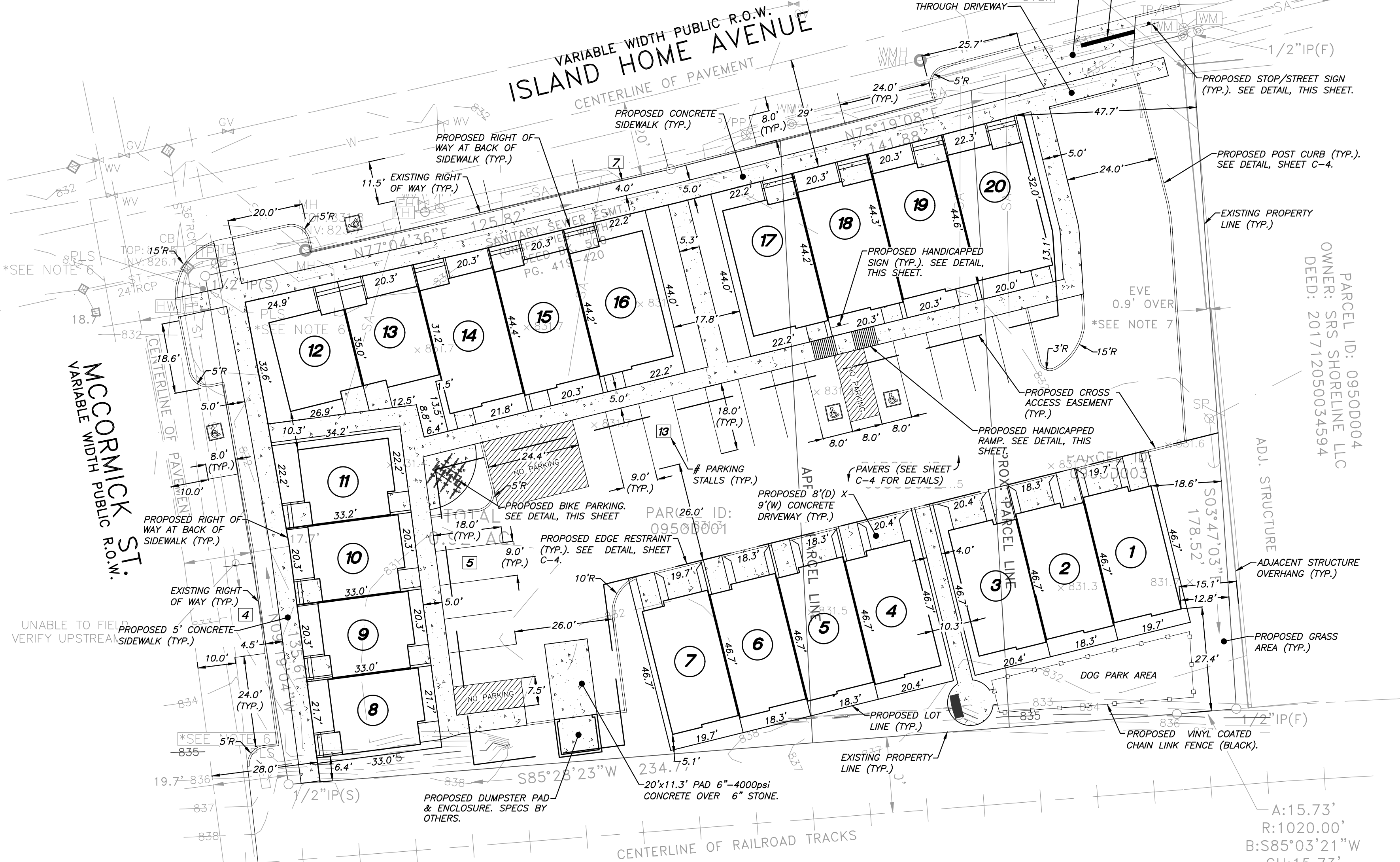
PLAN VIEW

INSTALL ANCHOR BOLTS,  
PER MANUFACTURER'S  
RECOMMENDATION.

BOLLARD BIKE RACK DETAIL  
N.T.S.

#### SUBDIVISION VARIANCE REQUEST:

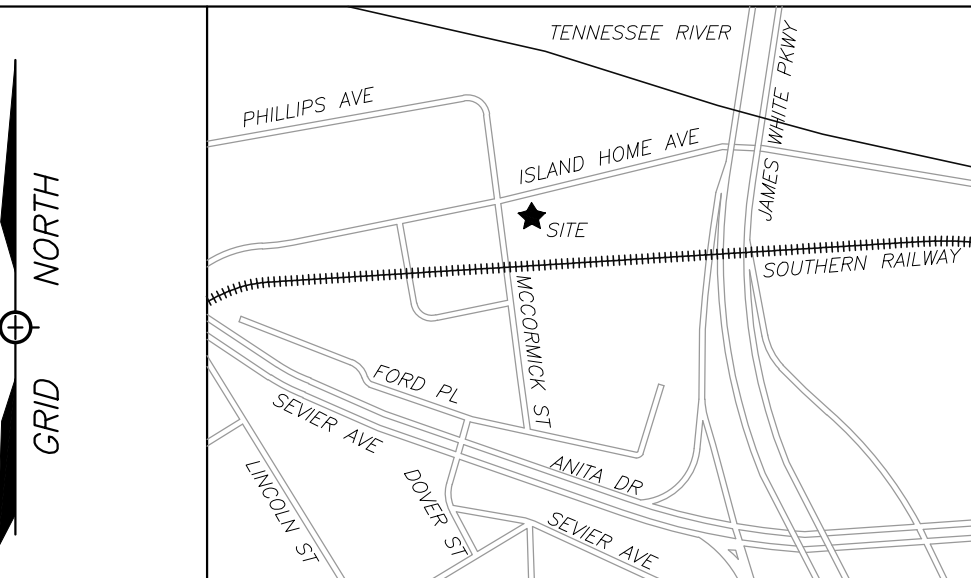
- REDUCE THE MINIMUM LOT WIDTH FROM 20' TO 18'.



LOT SUMMARY (OVERALL)	
TOTAL AREA	0.92-ACRE (40,075 S.F.)
RIGHT OF WAY DEDICATION	0.09 ACRE (3,705 S.F.)
TOTAL AREA AFTER DEDICATION	0.83 ACRE (36,370 S.F.)
TOTAL FEE SIMPLE LOTS AREA	0.40 ACRE (17,330 S.F.)
PRIVATE RIGHT OF WAY AREA	0.28 ACRE (12,195 S.F.)
OPEN SPACE*	0.44 ACRE (19,040 S.F.)-52.4%

\*OPEN SPACE AREA SHOWN IS THE  
AREA OUTSIDE OF THE PROPOSED LOTS.

SITE SUMMARY	
CURRENT USE	VACANT
PROPOSED USE	RESIDENTIAL
ZONING	SW-4
TOTAL AREA	0.92-ACRE
RIGHT OF WAY DEDICATION	0.09 ACRE
TOTAL AREA AFTER DEDICATION	0.83 ACRE
BUILDING COVERAGE	11,901 S.F.
PERMEABLE PAVER AREA	10,650 S.F.
TOTAL FLOOR AREA	29,555 S.F.
FLOOR AREA RATIO	0.82
FLATWORK / CONCRETE	4,633 S.F.
GRASS AREA	8,946 S.F.
TOTAL IMPERVIOUS AREA	16,534 S.F.
PERCENT IMPERVIOUS	45.7%
TOTAL NUMBER OF LOTS	20
TOTAL BIKE PARKING SPOTS	7



LOCATION MAP  
N.T.S.

#### SITE PLAN NOTES:

- THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC., AND COMPLYING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TENN ONE-CALL PRIOR TO ANY EXCAVATION WORK, TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.

- SIGNAGE AND STRIPING TO BE IN ACCORDANCE WITH THE MUTCD (LATEST EDITION).

- SETBACKS ARE PER CITY OF KNOXVILLE SW-4 ZONING AND ARE AS FOLLOWS:

FRONT (MAX) - 10'

FRONTAGE AT SETBACK (MIN.) - 50%

SIDE (MAX) - 25'

REAR (MIN.) - 3'

- BOUNDARY INFORMATION PER SURVEY PREPARED BY MATTHEW DAWSON RLS NO. 3050, DATED AUGUST 30, 2019.

- ALL CONCRETE WALKS SHALL BE BROOM FINISHED AND COMPLY WITH CURRENT ADA REQUIREMENTS.

- IT IS THE RESPONSIBILITY OF THE DEVELOPER TO ATTAIN PERMISSION FOR OFFSITE WORK.

- ANY NON ADA COMPLIANT RAMPS OR DAMAGED SIDEWALKS WILL BE REPLACED WITH COMPLIANT SIDEWALKS AS SHOWN. ALL NEW WALKS SHALL BE ADA COMPLIANT.

- NO LANDSCAPING SHALL BE INSTALLED WITHIN PUBLIC RIGHT OF WAY UNTIL A PERMISSIVE USE AGREEMENT HAS BEEN DRAFTED AND APPROVED BY THE CITY OF KNOXVILLE. ALL LANDSCAPING SHALL COMPLY WITH ALL ASPECTS OF THE KNOXVILLE TREE PROTECTION ORDINANCE.

- ALL PROPOSED SIDEWALKS WITHIN THE R.O.W. SHALL COMPLY WITH THE CITY OF KNOXVILLE'S SPECIFICATIONS. ALL WALKS ON PRIVATE PROPERTY SHALL BE PER PROJECT SPECIFICATIONS.

- ALL ASPHALT DAMAGED WITHIN PUBLIC R.O.W. SHALL BE REPAIRED PER THE CITY'S SPECIFICATIONS.

- A PLAT WILL BE RECORDED DURING THE PERMITTING PROCESS TO MOVE PROPERTY LINES AND TO DEDICATE THE PEDESTRIAN ACCESS EASEMENT SHOWN HEREON.

- PARKING SUMMARY: RESERVED AND SHARED

MAXIMUM OF 3 PARKING SPACES PER 1,000 SQUARE FEET AND  
MAXIMUM OF 2 PARKING SPACES PER RESIDENTIAL UNIT.

TOTAL UNITS = 20  
TOTAL BUILDING AREA = 24,140 S.F.  
REQUIRED BICYCLE PARKING SPACES = 3  
TOTAL VEHICULAR SPACES PROVIDED (ONSITE) = 25 (INCLUDING GARAGES)

TOTAL VEHICULAR SPACES PROVIDED (STREET PARKING) = 11

- LANDSCAPING SHALL COMPLY WITH THE CITY OF KNOXVILLE'S TREE PROTECTION ORDINANCE.

- REFER TO C.O.K. ZONING ORDINANCE (ARTICLE 11.9) FOR BIKE RACK SPECIFICATIONS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

#### APPROVED VARIANCES:

THE FOLLOWING CASE NUMBERS WERE APPROVED AT THE MAY 18, 2021 CITY OF KNOXVILLE BZA MEETING:

#### CASE NUMBERS:

BZ05K21VA, BZ05L21VA, BZ05M21VA, BZ05N21VA, BZ05O21VA, BZ05P21VA, BZ05Q21VA, BZ05R21VA, BZ05S21VA

#### DESCRIPTION:

REDUCE THE MINIMUM REQUIRED PERCENTAGE OF TRANSPARENT GLASS AT THE GROUND LEVEL ON A PRINCIPAL FRONTAGE FROM 70% TO 31.8%.

#### CASE NUMBERS:

BZ05U21VA, BZ05V21VA, BZ05W21VA

#### DESCRIPTION:

REDUCE THE MINIMUM REQUIRED PERCENTAGE OF TRANSPARENT GLASS AT THE GROUND LEVEL ON A PRINCIPAL FRONTAGE FROM 70% TO 22.8%.

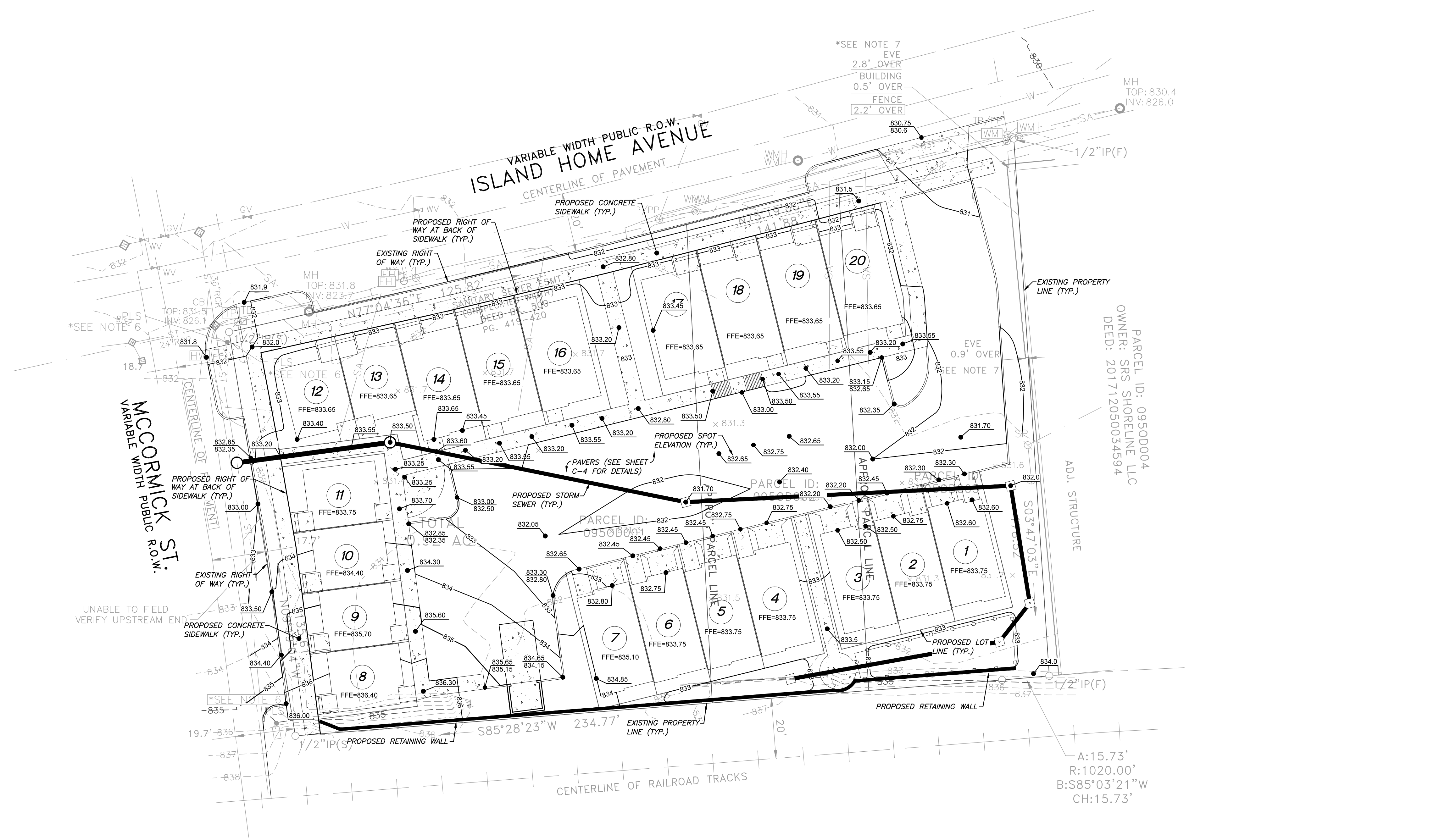
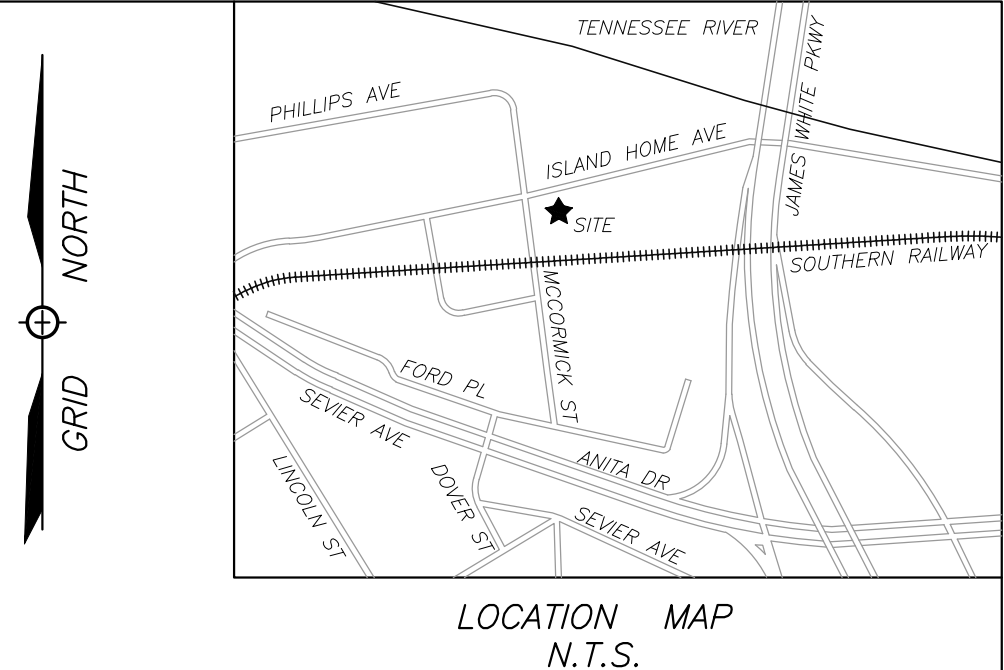
## MPC FILE# 11-SB-21-C

### SHEET C-2

SITE PLAN	
STATION SOUTH	
SITE ADDRESS: ISLAND HOME AVENUE, KNOXVILLE, TN 37920	
CITY OF KNOXVILLE	KNOX CO., TN.
WARD NO. 26	CITY BLOCK NO. 26062
CLT MAP 95 INSERT O GROUP D	PARCELS 1,2,3
SCALE: 1"=20'	AUGUST 19, 2021
OWNER/DEVELOPER:	
TAILWATER SOUTH, LLC.	
813 SOUTH NORTHSHORE DRIVE, SUITE 104	
KNOXVILLE, TN 37919	
(865) 588-8663	
URBAN ENGINEERING, INC.	
11852 KINGSTON PIKE	
FARRAGUT, TENNESSEE 37922	
(865) 966-1924	
DWN: CLM	CHK: CAS
DWG. NO. 2102003	







- GRADING PLAN NOTES:**
1. THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC., AND COMPLYING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TENN ONE-CALL PRIOR TO ANY EXCAVATION WORK TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.
  2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF KNOXVILLE'S SPECIFICATIONS FOR SITE DEVELOPMENT.
  3. ALL WORK SHALL BE SEQUENCED AND COMPLETED IN ACCORDANCE WITH RELATED PERMITS ISSUED BY THE CITY OF KNOXVILLE.
  4. CLEAR AND GRUB PER SPECS. REMOVE TREES, BRUSH, DEBRIS, AND STUMPS FROM THE WORK AREA. REMOVE ALL BUILDINGS, DRIVES, CROSS FENCES, AND MISCELLANEOUS EQUIPMENT.
  5. STRIP AND STOCKPILE TOPSOIL NEEDED FOR RESREADING AND SEEDING. SURROUND TOPSOIL PILE WITH SILT FENCE, STRAW BALES, TEMPORARY SEEDING OR ADDITIONAL MEASURES AS NEEDED TO PREVENT EROSION/SEDIMENTATION.
  6. AFTER STRIPPING AND REMOVAL, PROOF ROLL ENTIRE DISTURBED AREA WITH TANDEM TRUCK FULLY LOADED WITH EARTH. REMOVE ANY AREAS WHICH ARE SORT OR YIELDING UNDER LOAD AND REPLACE WITH NEW MATERIAL MEETING PROJECT SPECIFICATIONS.
  7. IF UNSUITABLE SUBGRADE MATERIALS ARE ENCOUNTERED, THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT WITH APPROVED MATERIAL FROM ONSITE OR APPROVED OFFSITE BORROW AREA. UNSUITABLE MATERIALS ARE THOSE CLASSIFIED AS MH, OH, OL AND PEAT IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM.
  8. COMPACTION REQUIREMENTS ARE SUMMARIZED AS FOLLOWS: (PLACE IN 8" LIFTS)
    - a. TOP 24 INCHES OF SUBGRADE UNDER PAVED AREAS 100 PERCENT STANDARD PROCTOR - LOWER THAN 24 INCHES BELOW PAVED AREA 95 PERCENT STANDARD PROCTOR.
    - b. AREAS WITHIN THE BUILDING ENVELOPE TO BE PREPARED IN ACCORDANCE WITH RECOMMENDATIONS IN REPORT OF GEOTECHNICAL INVESTIGATION AND/OR AS DIRECTED BY THE SOILS ENGINEER.
  9. ALL FINISHED YARD AREAS SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL. YARD FINISHED GRADES SHOWN ARE AFTER PLACEMENT OF 4 INCHES OF TOPSOIL. ALL FINISHED YARD SURFACES SHALL BE SMOOTHLY AND UNIFORMLY GRADED, FREE FROM IRREGULARITIES AND SHALL BE FULLY FUNCTIONAL TO PROVIDE POSITIVE DRAINAGE AT ALL LOCATIONS.
  10. THE TOTAL AREA DISTURBED AS PART OF THIS PROJECT (0.9± ACRES).
  11. PROPOSED SPOT ELEVATIONS AND PROPOSED CONTOURS ARE AFTER THE INSTALLATION OF TOPSOIL IN GRASSED AREAS, PAVING WITHIN DRIVES AND FLATWORK.
  12. A FINAL PLAT SHALL BE RECORDED TO CREATE STORM WATER DETENTION AND WATER QUALITY EASEMENTS.
  13. IT IS THE RESPONSIBILITY OF THE OWNER TO ATTAIN PERMISSION FROM THE NEIGHBOR TO WORK ON HIS OR HER PROPERTY.
  14. THE VERTICAL DATUM IS NAVD88. THE BASIS FOR HORIZONTAL INFORMATION IS NAD83.
  15. TOP AND BOTTOM OF WALL ELEVATIONS ARE AT EXISTING AND FINISHED GRADES AND EXCLUDE BURIED BLOCK OR CAP BLOCKS.



MPC FILE# 11-SB-21-C

REVISION	DATE	DESCRIPTION	BY

**SHEET C-3**

**GRADING PLAN**

**STATION SOUTH**

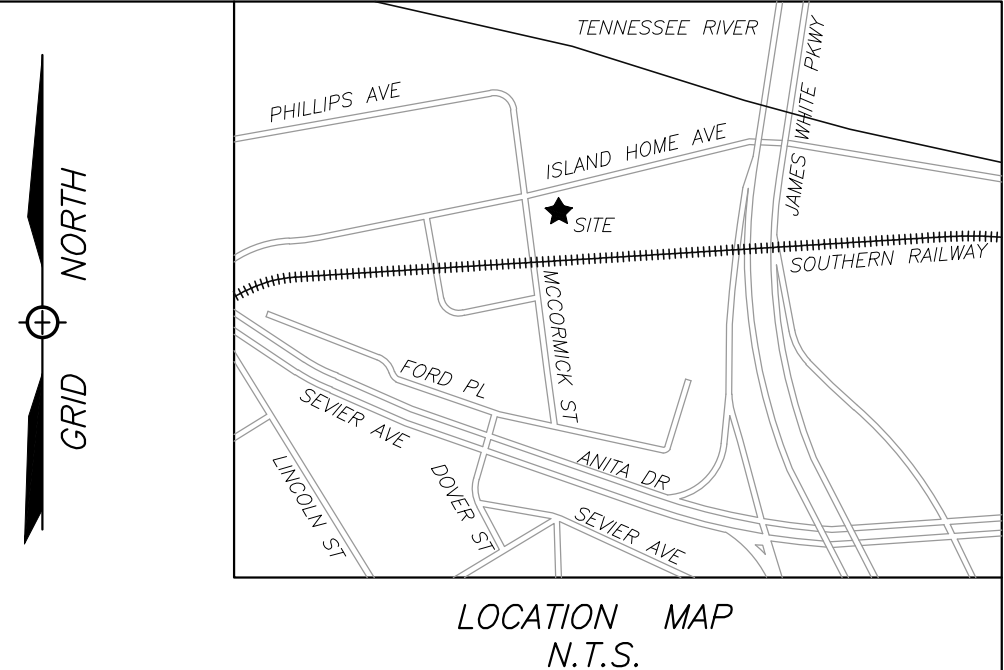
SITE ADDRESS: ISLAND HOME AVENUE, KNOXVILLE, TN 37920

CITY OF KNOXVILLE KNOX CO., TN.  
WARD NO. 26 CITY BLOCK NO. 26062  
CLT MAP 95 INSERT 0 GROUP D PARCELS 1,2,3  
SCALE: 1"=20' AUGUST 19, 2021

OWNER/DEVELOPER:  
TAILWATER SOUTH, LLC.  
813 SOUTH NORTHSHORE DRIVE, SUITE 104  
KNOXVILLE, TN 37919  
(865) 588-8663

URBAN ENGINEERING, INC.  
11852 KINGSTON PIKE  
FARRAGUT, TENNESSEE 37922  
(865) 966-1924

DWN: CLM CHK: CAS DWG. NO. 2102003

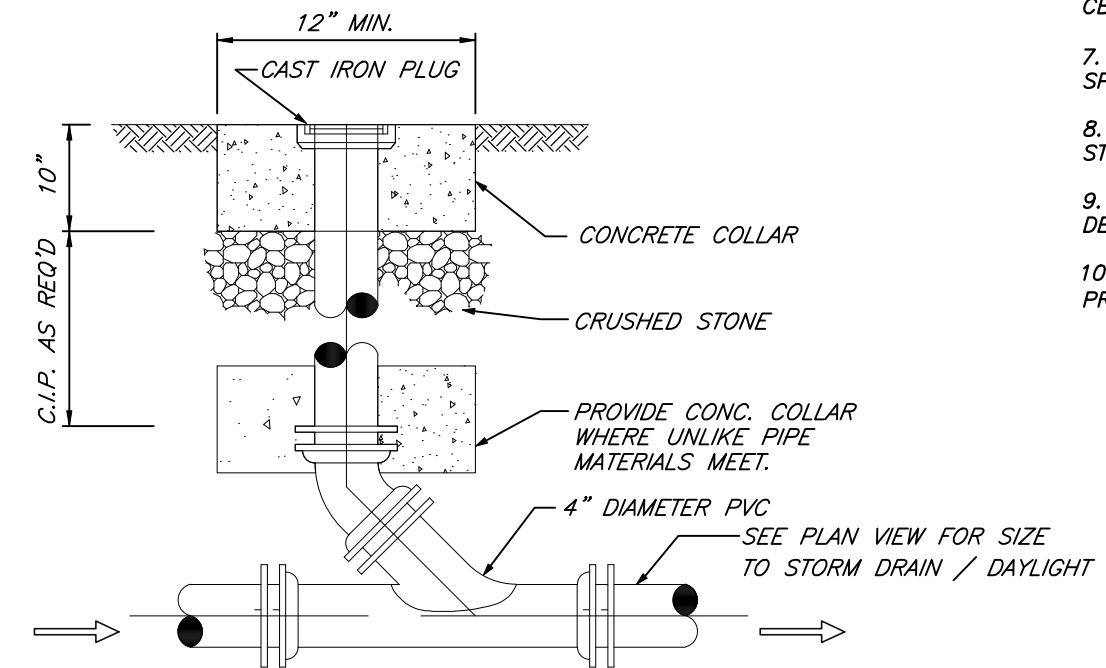


PERMEABLE PAVER NOTES:

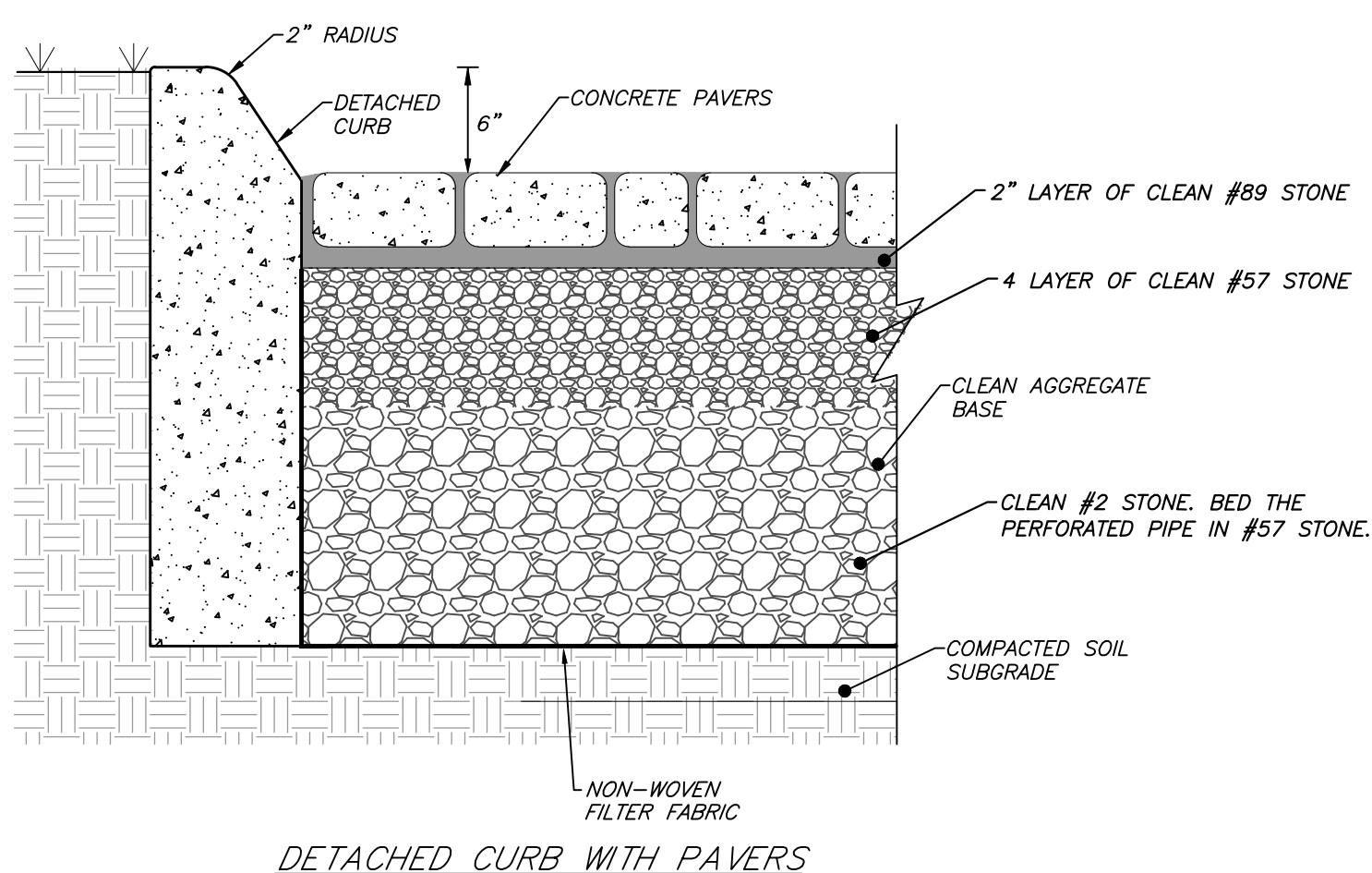
- 1) THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC., AND COMPLYING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TENN ONE-CALL PRIOR TO ANY EXCAVATION WORK, TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.
- 2) PERMEABLE PAVERS SHALL BE AQUABRIK OR EQUIVALENT AND SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- 3) PVC AGGREGATE DRAINS SHALL BE 6" PERFORATED HDPE (SDR 17) UNLESS OTHERWISE NOTED.
- 4) INSTALL POST CURB / EDGE RESTRAINT FULL DEPTH (TO SUBGRADE).
- 5) ALL PIPING UNDER OR WITHIN 3' OF PROPOSED ASPHALT OR CONCRETE SHALL BE BACKFILLED WITH STONE.
- 6) PAVERS SHALL BE LIGHT COLORED/HIGH ALBEDO PAVER WITH A SOLAR REFLECTANCE OF AT LEAST 30%.

DRAINAGE NOTES:

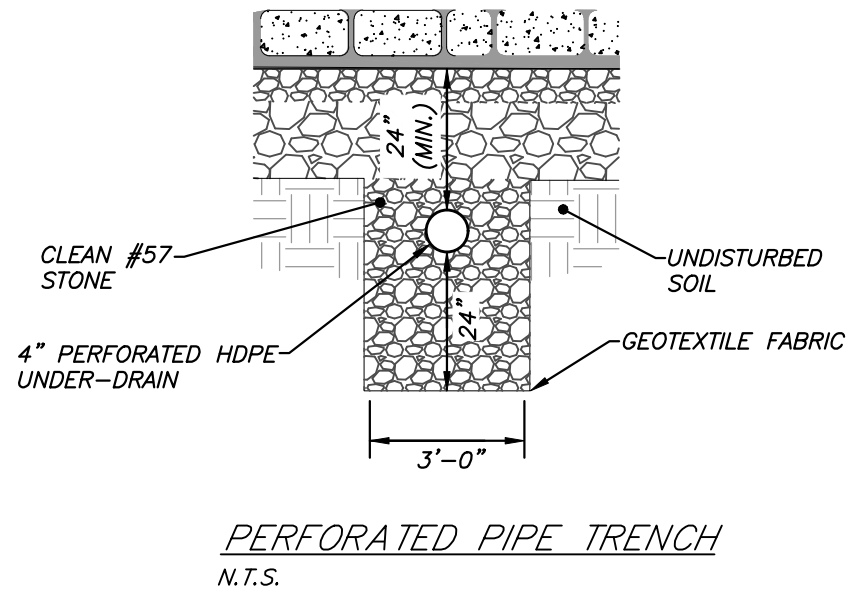
1. CORRUGATED POLYETHYLENE PIPE (HDPE) SHALL BE ASHTO M-252/M-284 TYPE S WITH SOIL-TIGHT JOINTS WITH RUBBER GASKET CONFORMING TO ASTM F477 (HANCOR HI-Q OR ADS N-12 ARE ACCEPTABLE PRODUCTS). REFER TO TDOT STANDARD DWG D-PB-2 FOR ADDITIONAL INSTALLATION REQUIREMENTS.
2. ALL CONCRETE PIPE SHALL BE CLASS III.
3. ALL WORK SHALL BE SEQUENCED AND COMPLETED IN ACCORDANCE WITH THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION EROSION CONTROL HANDBOOK AND THE RULES AND REGULATIONS OF THE CITY OF KNOXVILLE.
4. ALL PIPING UNDER OR WITHIN 3' OF ASPHALT DRIVES SHALL BE BACKFILLED WITH STONE.
5. ALL CATCH BASINS, AREA DRAIN GRATES AND MANHOLE COVERS REQUIRE PERMANENTLY CAST ENVIRONMENTAL MESSAGE, I.E. "NO DUMPING, DRAINS TO RIVER".
6. CASTINGS FOR THE PROPOSED STRUCTURES ARE AS FOLLOWS:  
STRUCTURE MH1: V-1045 FRAME, 1040 COVER  
STRUCTURE OS1: WELDED BAR GRATE  
CB1-CB11: V-4074-2
7. ALL MATERIALS AND INSTALLATION METHODS SHALL BE PER TDOT'S SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITION.
8. POURED CONCRETE INVERTS SHALL BE INSTALLED IN ALL DRAINAGE STRUCTURES.
9. SEE SHEET C-XX FOR PRECAST CONCRETE CATCH BASIN AND GRATE DETAILS.
10. CONNECT DOWNSPOUTS FROM THE REARS OF LOTS 6 AND 15 TO PROPOSED 4" HDPE.



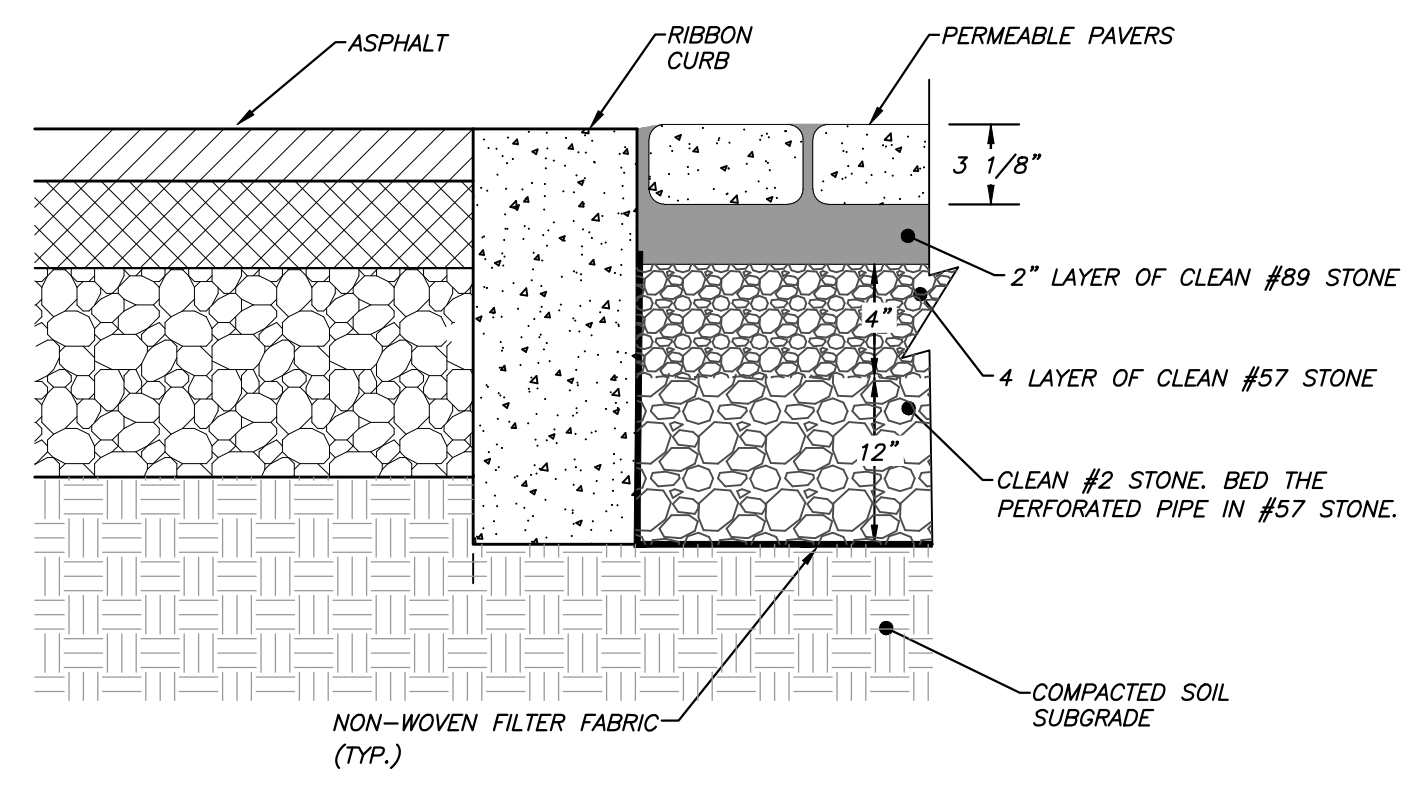
TYPICAL CLEANOUT DETAIL (STORM)  
N.T.S.



DETACHED CURB WITH PAVERS



PERFORATED PIPE TRENCH  
N.T.S.



RIBBON CURB WITH PAVERS  
N.T.S.

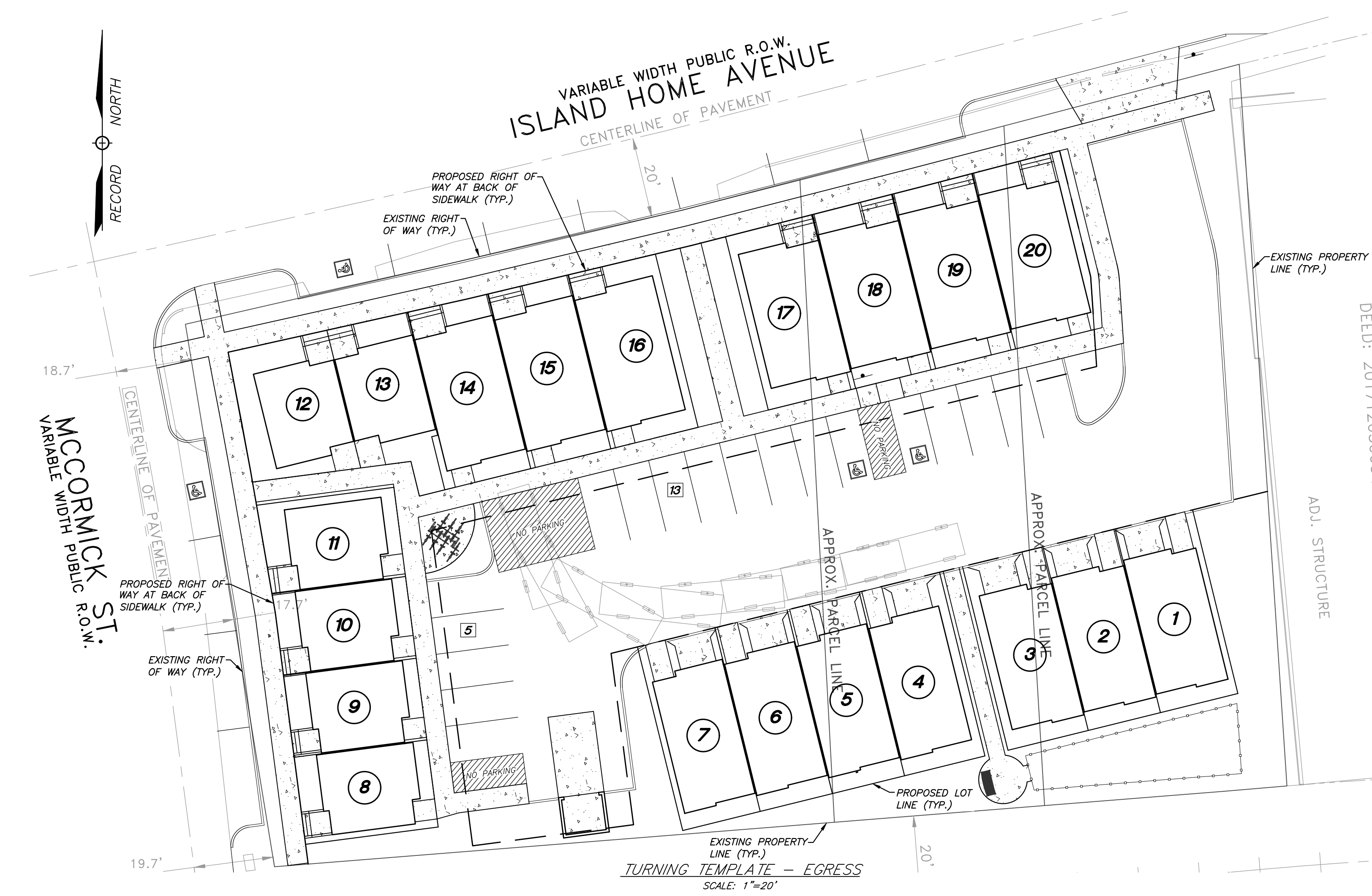
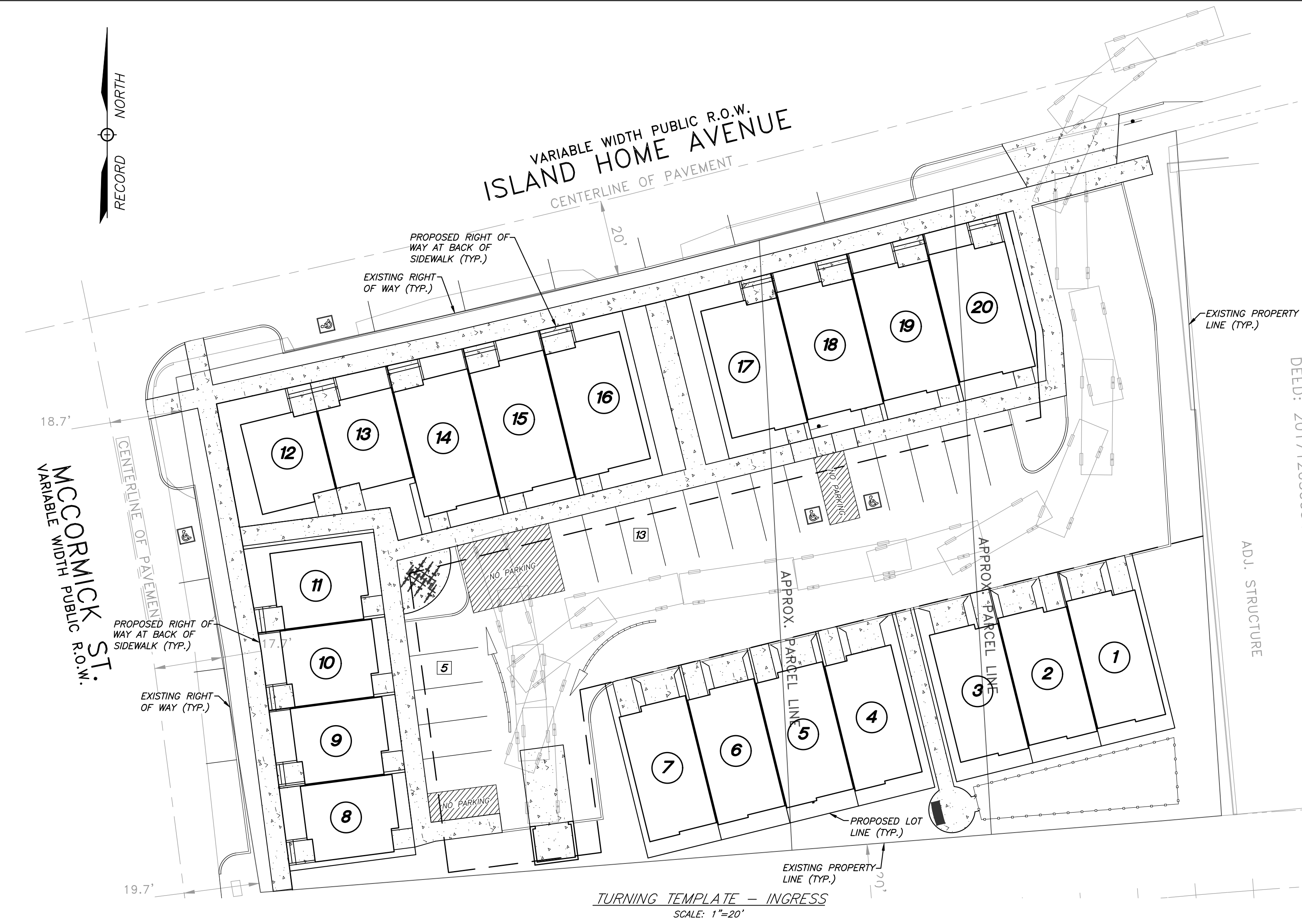


MPC FILE# 11-SB-21-C

REVISION	DATE	DESCRIPTION	BY

SHEET C-4  
PAVER & DRAINAGE PLAN  
STATION SOUTH  
SITE ADDRESS: ISLAND HOME AVENUE, KNOXVILLE, TN 37920  
CITY OF KNOXVILLE KNOX CO., TN.  
WARD NO. 26 CITY BLOCK NO. 26062  
CLT MAP 95 INSERT 0 GROUP D PARCELS 1,2,3  
SCALE: 1"=20' AUGUST 19, 2021  
OWNER/DEVELOPER: TAILWATER SOUTH, LLC.  
813 SOUTH NORTHSHORE DRIVE, SUITE 104  
KNOXVILLE, TN 37919  
(865) 588-8663  
URBAN ENGINEERING, INC.  
11852 KINGSTON PIKE  
FARRAGUT, TENNESSEE 37922  
(865) 966-1924  
DWN: CLM CHK: CAS DWG. NO. 2102003





**VARIANCE REQUEST:**  
REDUCE THE MINIMUM LOT WIDTH FROM 20' TO 18'

**MPC FILE# 11-SB-21-C**

**SHEET C-5**

**TURING TEMPLATES & LOT LAYOUT**

**STATION SOUTH**

SITE ADDRESS: ISLAND HOME AVENUE, KNOXVILLE, TN 37920

CITY OF KNOXVILLE KNOX CO., TN.  
WARD NO. 26 CITY BLOCK NO. 26062  
CLT MAP 95 INSERT 0 GROUP D PARCELS 1,2,3  
SCALE: AS NOTED MAY 20, 2021

OWNER/DEVELOPER:  
**TAILWATER SOUTH, LLC.**  
813 SOUTH NORTHSORE DRIVE, SUITE 104  
KNOXVILLE, TN 37919  
(865) 588-8663

**URBAN ENGINEERING, INC.**  
11852 KINGSTON PIKE  
FARRAGUT, TENNESSEE 37922  
(865) 966-1924

REVISION	DATE	DESCRIPTION	BY

DWN: CLM	CHK: CAS	DWG. NO. 2102003
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