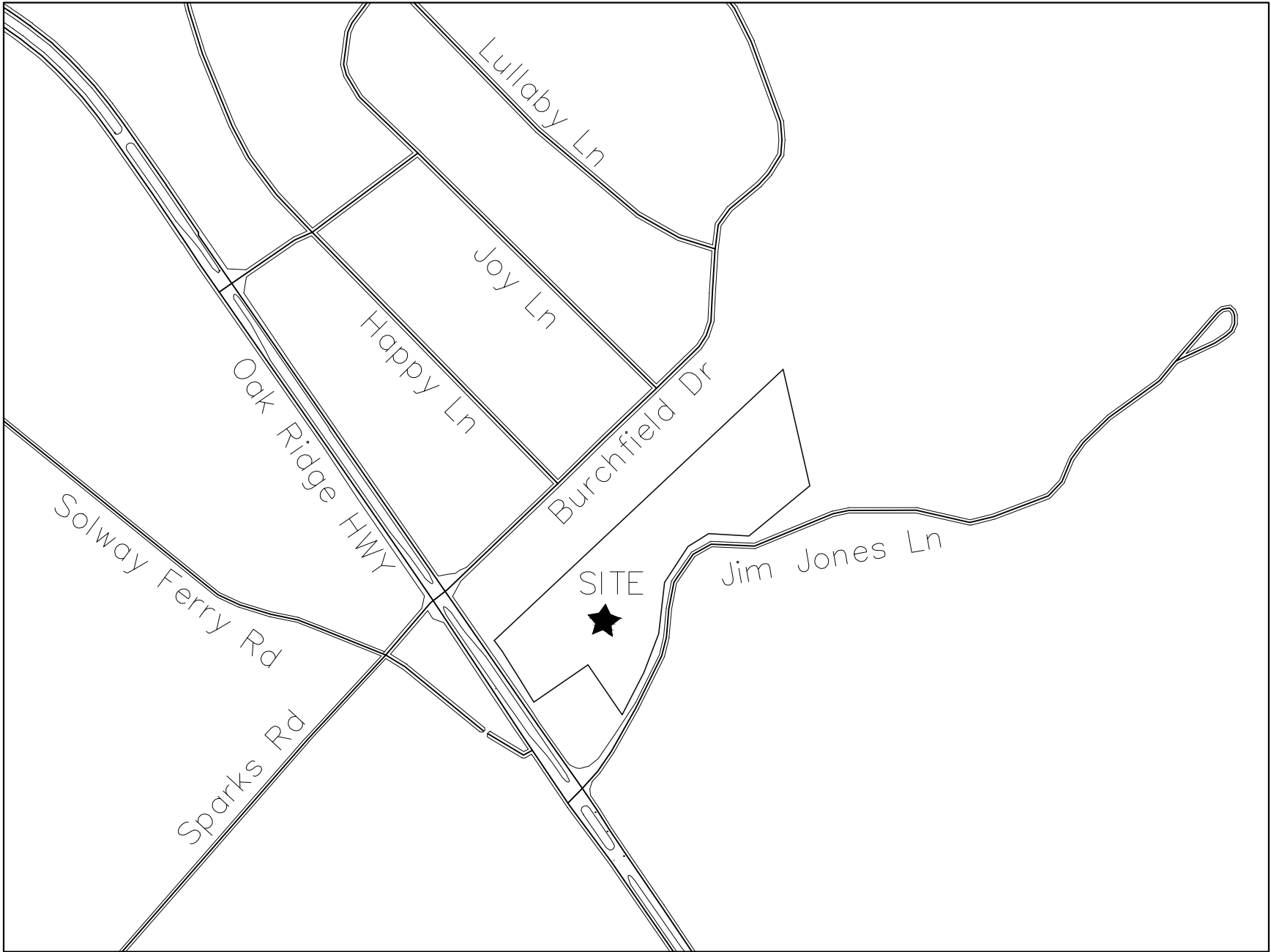


CONCEPT / DEVELOPMENT PLAN

U.E.I. PROJECT NO. 2206018

JIM JONES LANE

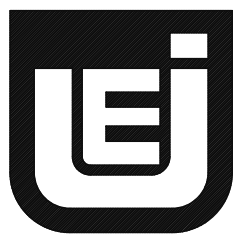
SITE ADDRESS: 0 JIM JONES LANE, KNOXVILLE 37931
CLT MAP 076, PARCEL 007



LOCATION MAP

OWNER / DEVELOPER:
HARDIN VALLEY INVESTMENTS LP

P.O. BOX 325
ATHENS, TN 37371



SITE ENGINEER:
URBAN ENGINEERING, INC.
CHRIS SHARP

10330 HARDIN VALLEY RD, #201
KNOXVILLE, TENNESSEE 37932
(865) 966-1924

SPECIFICATIONS

EXCEPT WHERE DIRECTED OTHERWISE BY THE PLANS, WORKMANSHIP AND MATERIAL (BUT NOT MEASUREMENT AND PAYMENT) FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS AND STANDARDS.

- ELECTRICAL – AS DIRECTED BY LENOIR CITY UTILITIES BOARD
- GAS – AS DIRECTED BY KNOXVILLE UTILITIES BOARD
- WATER & SEWER – AS DIRECTED BY WEST KNOX UTILITY DISTRICT
- TELEPHONE – AS DIRECTED BY AT&T
- CABLE – AS DIRECTED BY COMCAST
- SITE DEVELOPMENT – KNOX COUNTY STANDARDS AND SPECIFICATIONS

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PRELIMINARY GRADING PLAN

ROAD IMPROVEMENT INVENTORY

ROAD / DRIVE PROFILES

ARCHITECTURAL ELEVATIONS

SHEET

C-0

C-1

C-2

C-3

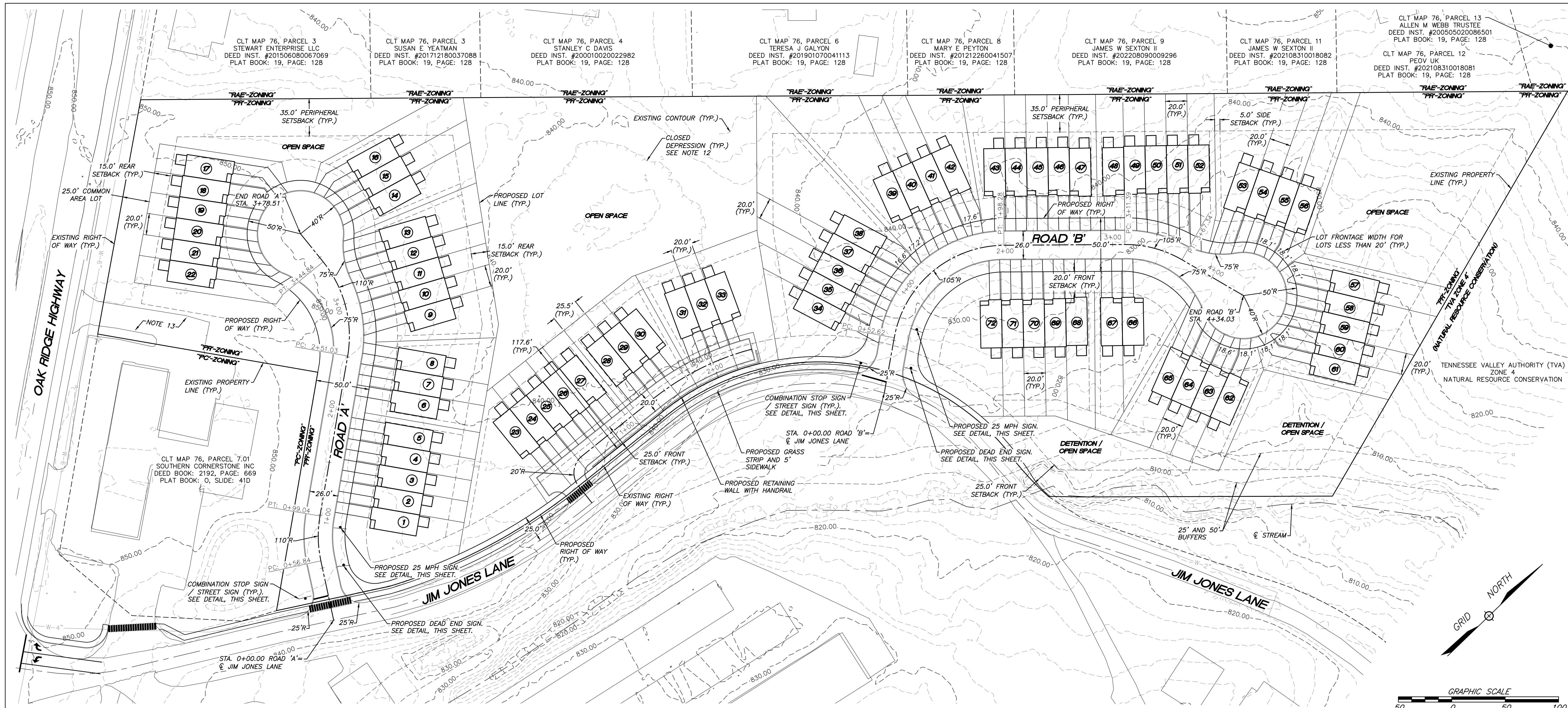
C-4

A-1

Revised: 10/21/2022

MPC FILE# 11-SB-22-C / 11-B-22-DP

2	10/20/22	PER PLANNING/EPW COMMENTS
ISSUE NO.	DATE	DESCRIPTION



LOCATION MAP

SITE PLAN NOTES:

1. THIS PROPERTY IS ZONED 'PR'. REQUIRED BUILDING SETBACKS ARE AS FOLLOWS:
FRONT: HOUSES, TWENTY (20) FEET
PERIPHERY: THIRTY FIVE (35) FEET (MINIMUM)
SIDE: FIVE (5) FEET
REAR: FIFTEEN (15) FEET
 2. THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC. AND CORRELATING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TENN ONE-CALL PRIOR TO ANY EXCAVATION WORK, TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.
 3. HORIZONTAL COORDINATES ARE TENNESSEE STATE PLANE. VERTICAL DATUM IS NAVD88.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH KNOX COUNTY'S SPECIFICATIONS FOR SITE DEVELOPMENT.
 5. THE CURRENT TOTAL AREA OF THE DEVELOPMENT IS 9.97 ACRES.
 6. THE DEVELOPMENT PROPOSES 72-UNITS (7.22 UNITS PER ACRE).
 7. PROPOSED OPEN SPACE (INCLUDING EASEMENTS, & AREAS WITHIN STORM WATER DETENTION AREAS) = 2.47± ACRES (24.8%).
 8. WITH THE EXCEPTION OF LOTS 23 THROUGH 33, THE PROPOSED LOTS SHALL HAVE VEHICULAR ACCESS TO INTERNAL ROADS ONLY.
 9. A HOMEOWNERS ASSOCIATION SHALL BE ESTABLISHED TO ADDRESS MAINTENANCE OF THE COMMON AREAS.
 10. 10' UTILITY AND DRAINAGE EASEMENTS SHALL BE RESERVED ALONG ALL EXTERIOR BOUNDARY LINES AND PUBLIC RIGHT OF WAY. 5' UTILITY AND DRAINAGE EASEMENTS SHALL BE RESERVED ALONG ALL INTERIOR LOT LINES EXCEPT WHEN UNDER BUILDINGS.
 11. VEGETATION SHALL BE REMOVED, AS NEEDED TO CREATE / MAINTAIN A MINIMUM OF 300' OF SIGHT DISTANCE FROM THE SUBDIVISION ENTRANCE.
 12. THE DEPRESSED AREA WAS DEEMED NOT TO BE A KARST FEATURE, AS OUTLINED IN THE REPORT OF LIMITED GEOTECHNICAL EXPLORATION PRODUCED BY GEOSERVICES, LLC (PROJ. NO 21-221321)
 13. EXISTING DRIVEWAY TO BE REMOVED.
- ALTERNATIVE DESIGN STANDARDS
REQUIRING KNOXVILLE-KNOX COUNTY
PLANNING COMMISSION APPROVAL**
1. INCREASE THE MAXIMUM INTERSECTION GRADE FROM 1% TO 2% FOR ROADS A & B AT THEIR INTERSECTIONS WITH JIM JONES LANE.
 2. ALLOW LOT FRONTAGE WIDTHS BETWEEN 20' AND 25' WITHOUT PROVIDING GUEST PARKING.
 3. REDUCE THE MINIMUM K VALUE ON ROAD 'B' FROM 25' TO 20'.

- REQUESTED VARIANCE:**
1. MINIMUM LOT WIDTH TO BE REDUCED TO 16'.

Certification of Concept Plan by Registered Engineer
I hereby certify that I am a registered engineer, licensed to practice engineering under the laws of the State of Tennessee. I further certify that the plan and accompanying drawings, documents and statements conform, to the best of my knowledge, to all applicable provisions of the Knoxville-Knox County Subdivision Regulations except as has been itemized and described in a report filed with the Planning Commission.
Registered Engineer: *Christopher A. Sharp*
Tennessee License No. 108984
Date: 10/21/2022

SHEET C-1 (2 OF 6)

SITE PLAN JIM JONES LANE

SITE ADDRESS: 0 JIM JONES LANE, KNOXVILLE 37931

DIST. NO. W6 KNOX CO., TN.

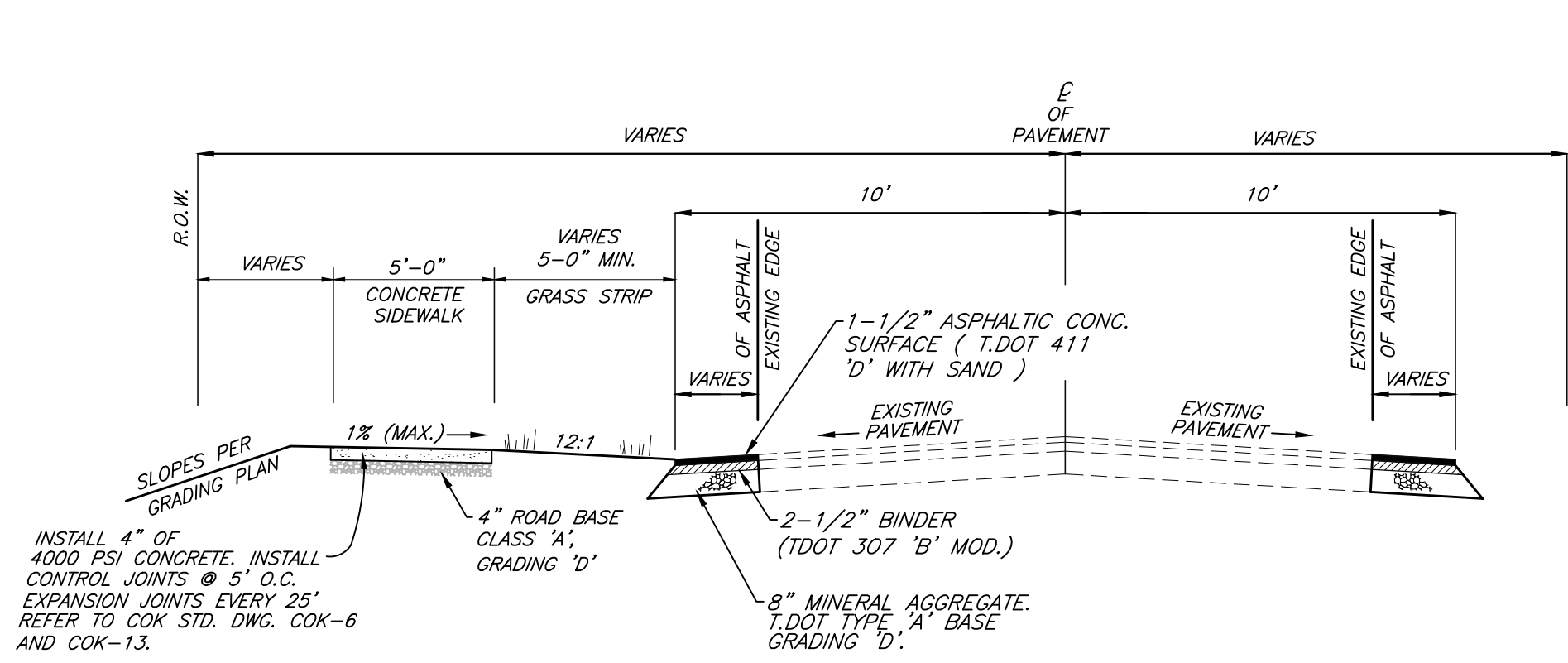
SCALE: 1"=50' AUGUST 19, 2022

TAX MAP: 76 PARCEL: 7.00

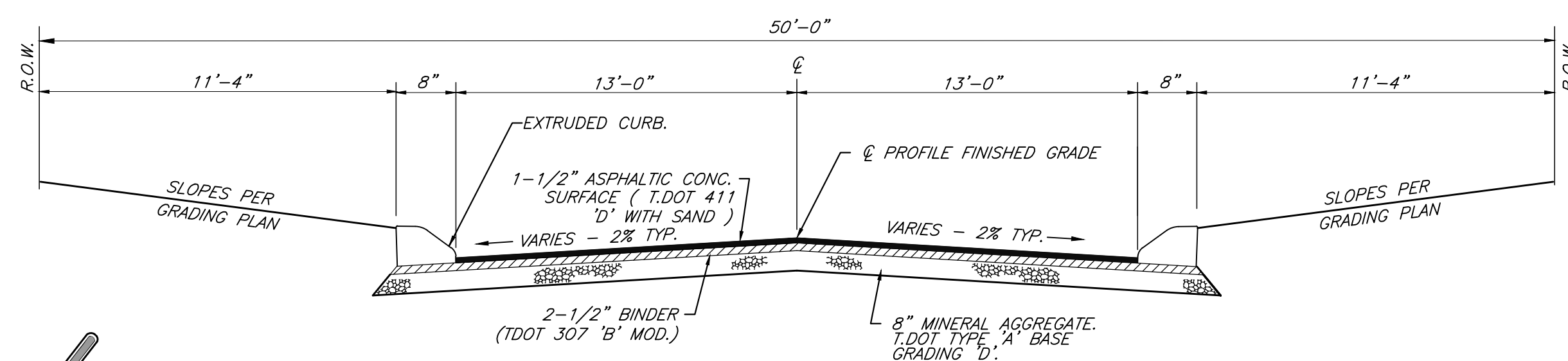
OWNER / DEVELOPER:
HARDIN VALLEY INVESTMENTS LP
P.O. BOX 325
ATHENS, TN 37971

URBAN ENGINEERING, INC.
10330 HARDIN VALLEY RD., SUITE #201
KNOXVILLE, TN 37932
(865) 966-1924

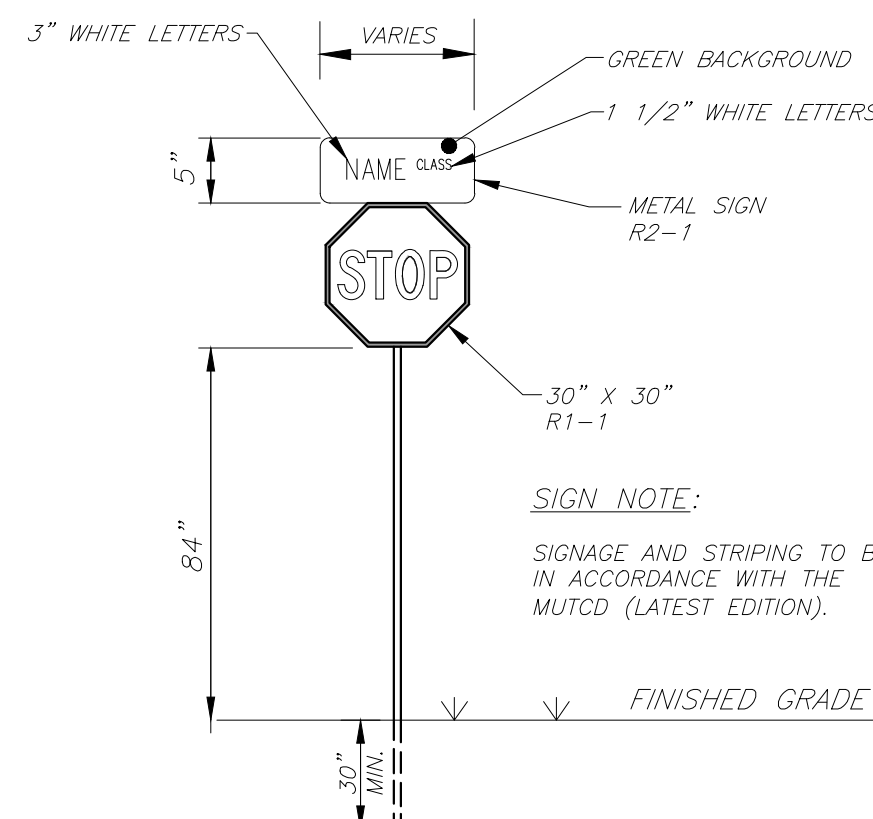
DWN: CLM CHK: CAS DWG. NO. 2206018



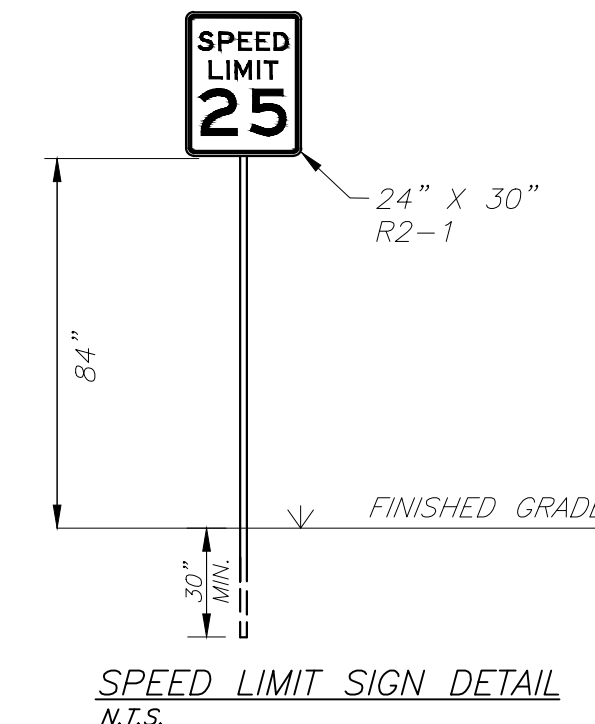
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N.T.S.



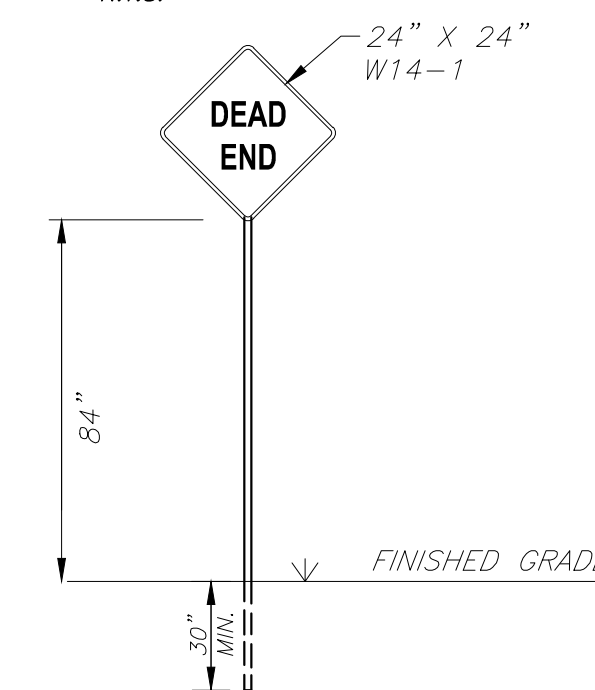
TYPICAL SECTION - LOCAL STREETS
N.T.S.



COMBINATION STOP SIGN /
STREET NAME SIGN DETAIL
N.T.S.



SPEED LIMIT SIGN DETAIL
N.T.S.



DEAD END SIGN DETAIL
N.T.S.

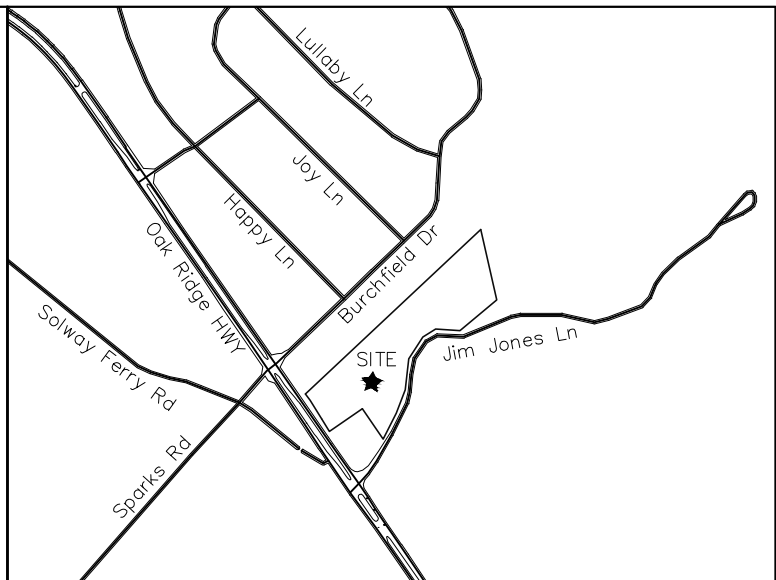
Revised: 10/21/2022

MPC FILE# 11-SB-22-C / 11-B-22-DP



REFERENCE:
DEED INST. #200508050011413

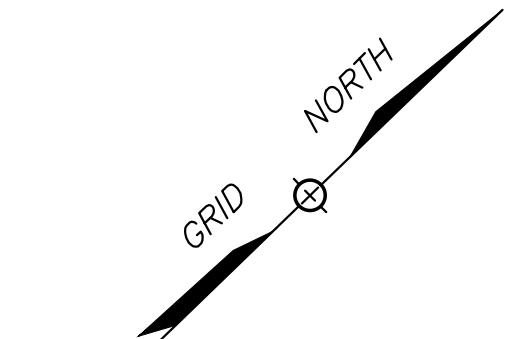
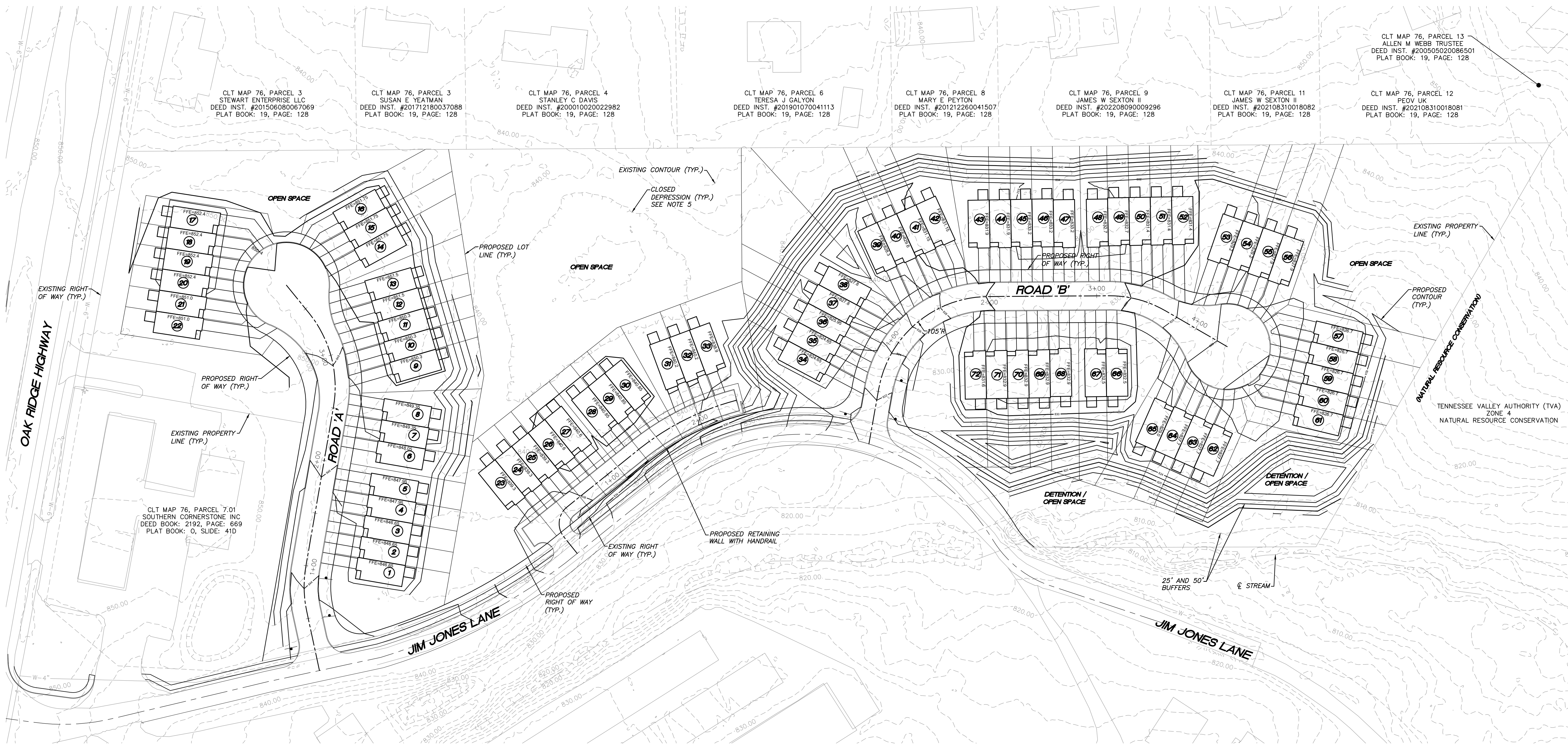
REVISION	DATE	PER PLANNING / KCEPW COMMENTS	CAS
1	10/21/22	PER PLANNING / KCEPW COMMENTS	CAS



LOCATION MAP

SITE PLAN NOTES:

1. THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC., AND COMPILING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TENN ONE-CALL PRIOR TO ANY EXCAVATION WORK, TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.
2. HORIZONTAL COORDINATES ARE TENNESSEE STATE PLANE. VERTICAL DATUM IS NAVD88.
3. ALL WORK SHALL BE IN ACCORDANCE WITH KNOX COUNTY'S SPECIFICATIONS FOR SITE DEVELOPMENT.
4. A HOMEOWNERS ASSOCIATION SHALL BE ESTABLISHED TO ADDRESS MAINTENANCE OF THE COMMON AREAS.
5. THE DEPRESSED AREA WAS DEEMED NOT TO BE A KARST FEATURE, AS OUTLINED IN THE REPORT OF LIMITED GEOTECHNICAL EXPLORATION PRODUCED BY GEOSERVICES, LLC (PROJ. NO 21-221321).
6. THIS PLAN IS CONCEPTUAL ONLY AND IS NOT INTENDED FOR CONSTRUCTION.



SHEET C-2 (3 OF 6)

PRELIMINARY GRADING PLAN

JIM JONES LANE

SITE ADDRESS: 0 JIM JONES LANE, KNOXVILLE 37931

DIST. NO. W6 KNOX CO., TN.

SCALE: 1"=50' AUGUST 19, 2022

TAX MAP: 76 PARCEL: 7.00

OWNER / DEVELOPER:
HARDIN VALLEY INVESTMENTS LP
P.O. BOX 325
ATHENS, TN 37371



URBAN ENGINEERING, INC.
10330 HARDIN VALLEY RD., SUITE #201
KNOXVILLE, TN 37932
(865) 966-1924

DWN: CLM CHK: CAS DWG. NO. 2206018

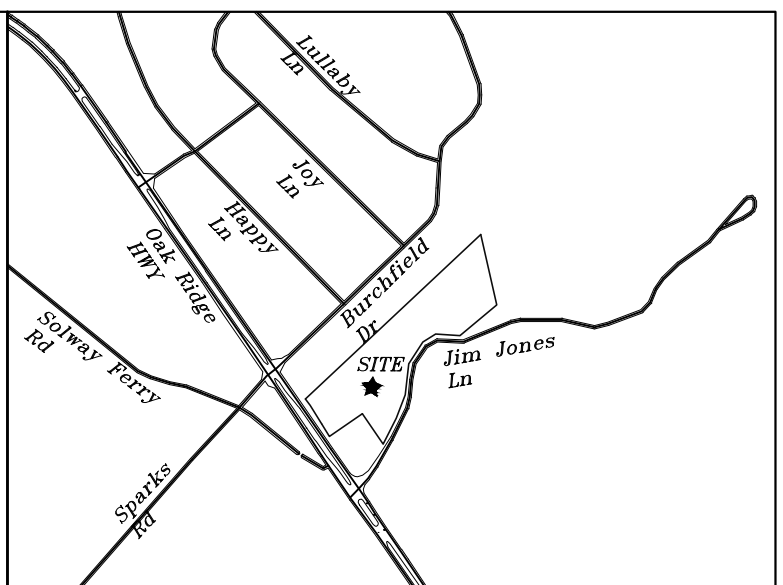
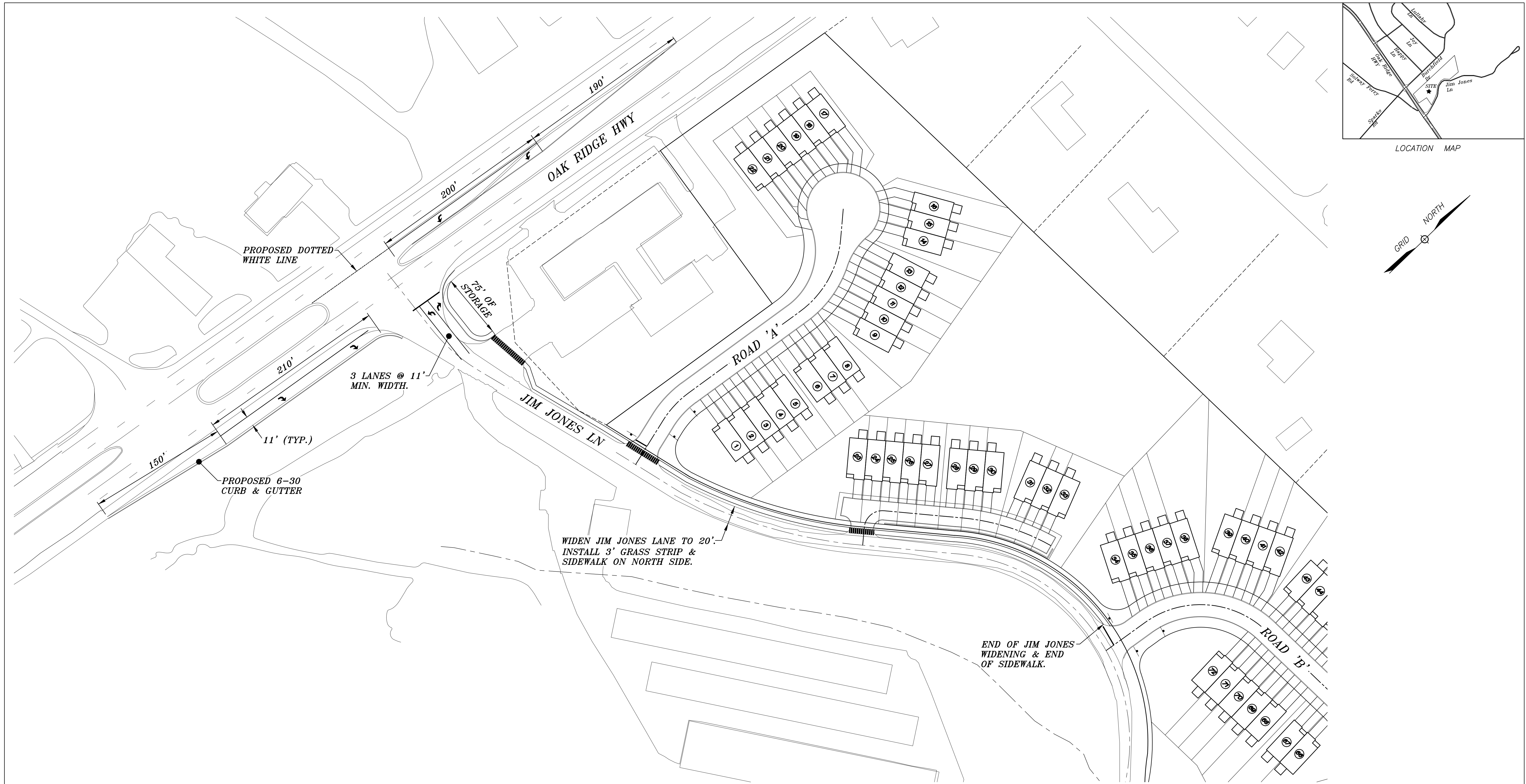


Revised: 10/21/2022

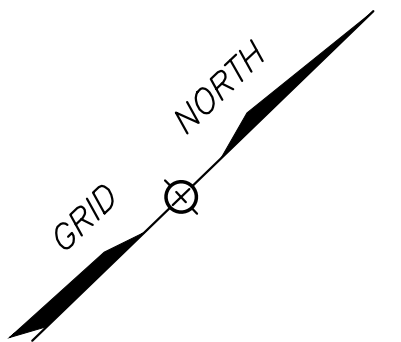
MPC FILE# 11-SB-22-C / 11-B-22-DP

REFERENCE:
DEED INST. #200508050011413

REVISION	DATE	DESCRIPTION	CAS
1	10/21/22	PER PLANNING / KCEPW COMMENTS	
		DESCRIPTION	BY



LOCATION MAP



Revised: 10/21/2022

MPC FILE# 11-SB-22-C / 11-B-22-DP

REFERENCE:
DEED INST. #200508050011413



REVISION	DATE	DESCRIPTION	BY
1	10/21/22	PER PLANNING / KCEPW COMMENTS	CAS

SHEET C-3 (4 OF 6)

ROAD IMPROVEMENT INVENTORY

JIM JONES LANE

SITE ADDRESS: 0 JIM JONES LANE, KNOXVILLE 37931

DIST. NO. W6KNOX CO., TN.

SCALE: 1"=50'AUGUST 19, 2022

TAX MAP: 76PARCEL: 7.00

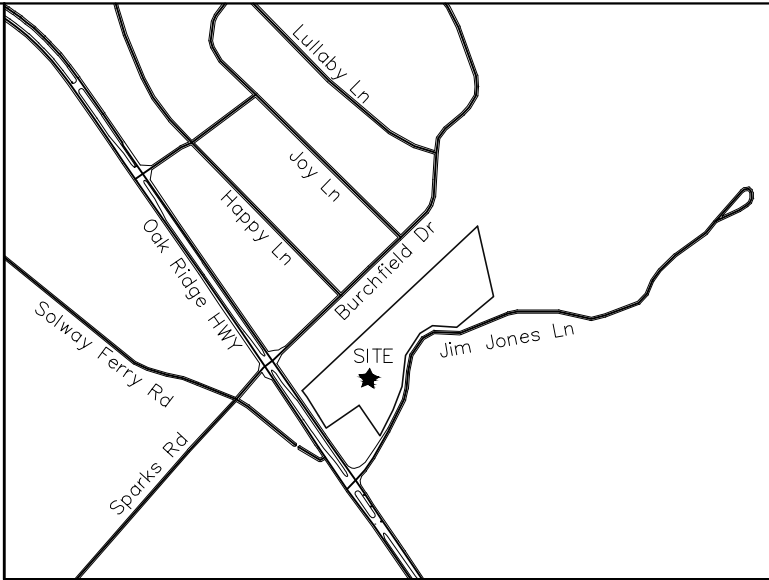
OWNER / DEVELOPER: HARDIN VALLEY INVESTMENTS LP
P.O. BOX 325
ATHENS, TN 37371

URBAN ENGINEERING, INC.
10330 HARDIN VALLEY RD., SUITE #201
KNOXVILLE, TN 37932
(865) 966-1924

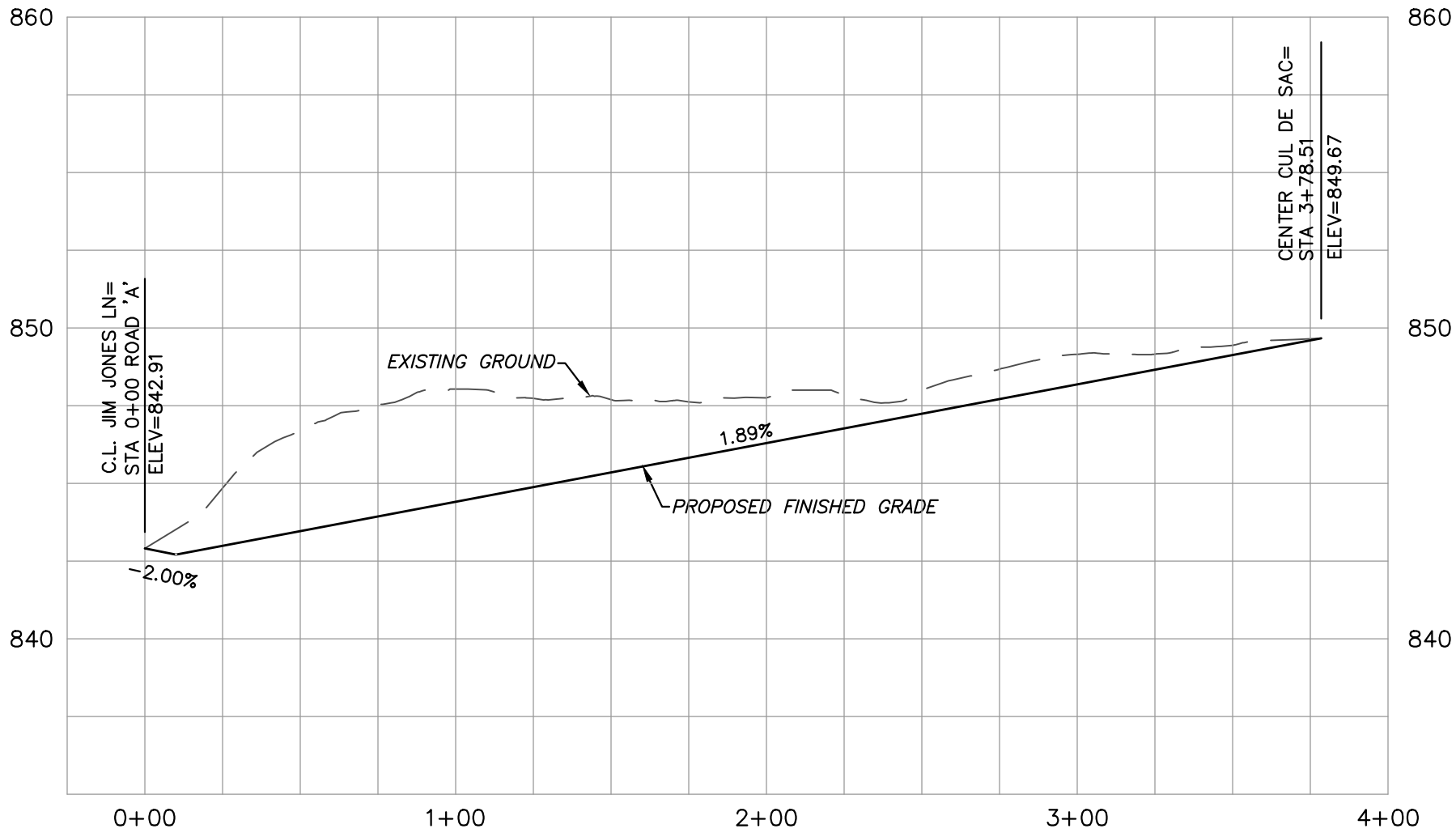
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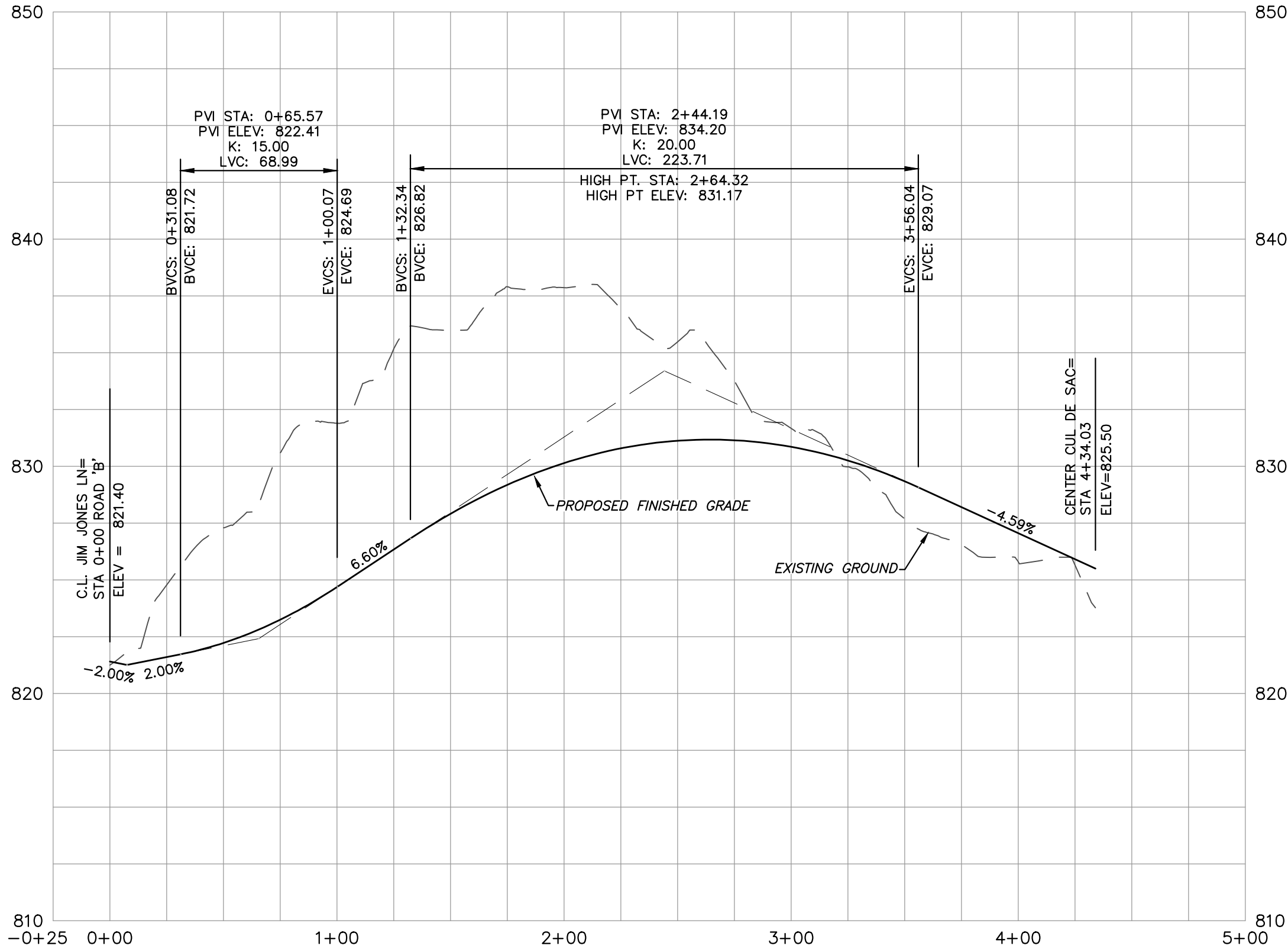
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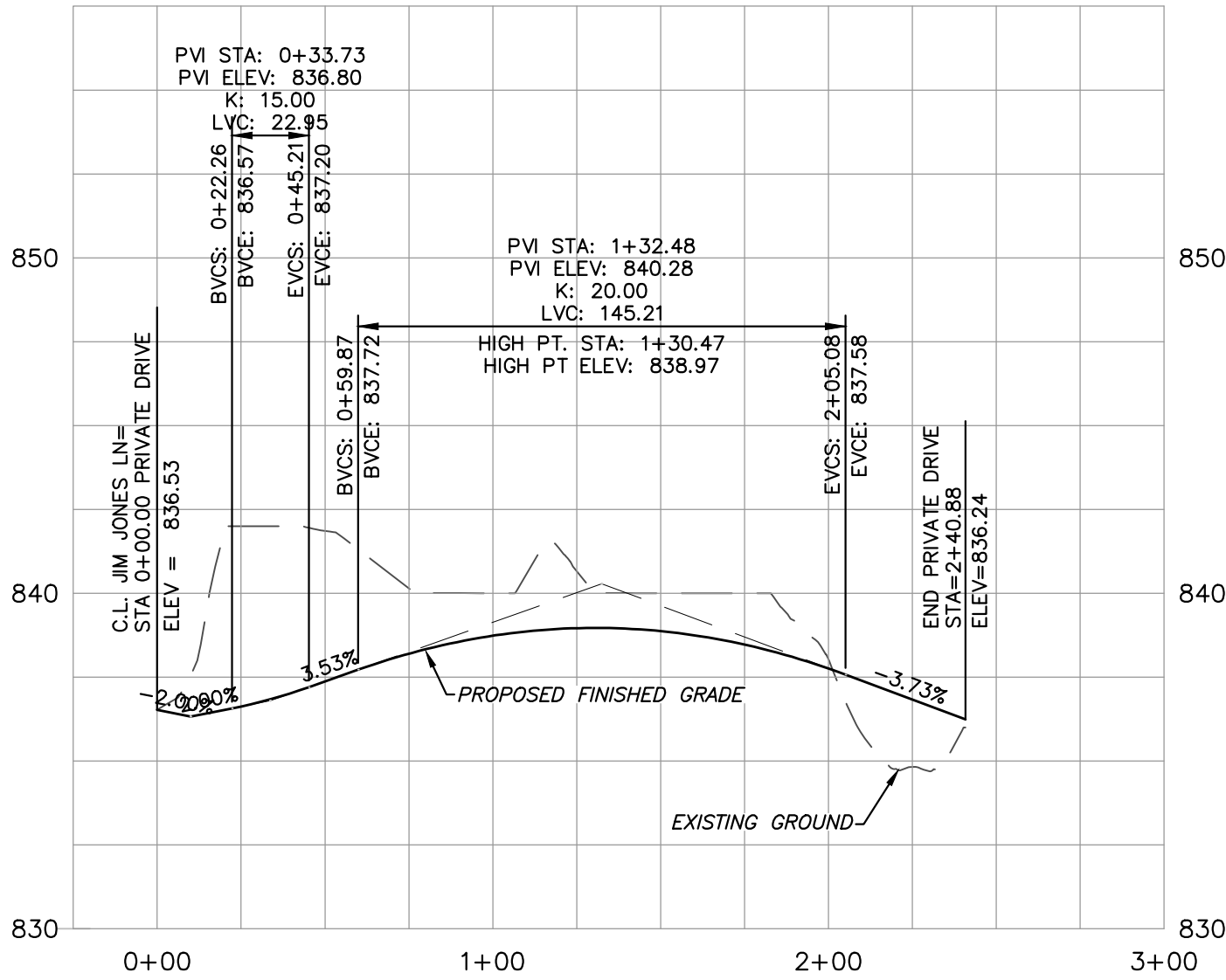
LOCATION MAP



PROFILE-ROAD 'A'
1"=50' (HORIZONTAL)
1"=5' (VERTICAL)



PROFILE-ROAD 'B'
1"=50' (HORIZONTAL)
1"=5' (VERTICAL)



PROFILE-PRIVATE DRIVE
1"=50' (HORIZONTAL)
1"=5' (VERTICAL)

Revised: 10/21/2022

MPC FILE# 11-SB-22-C / 11-B-22-DP



1	10/21/22	PER PLANNING / KCEPW COMMENTS	CAS
REVISION	DATE	DESCRIPTION	BY

SHEET C-4 (5 OF 6)

ROAD / DRIVE PROFILES

JIM JONES LANE

SITE ADDRESS: 0 JIM JONES LANE, KNOXVILLE 37931

DIST. NO. W6KNOX CO., TN.

SCALE: AS NOTEDAUGUST 19, 2022

TAX MAP: 76PARCEL: 7.00

OWNER / DEVELOPER:

HARDIN VALLEY INVESTMENTS LP

P.O. BOX 325

ATHENS, TN 37371

URBAN ENGINEERING, INC.

10330 HARDIN VALLEY RD., SUITE #201

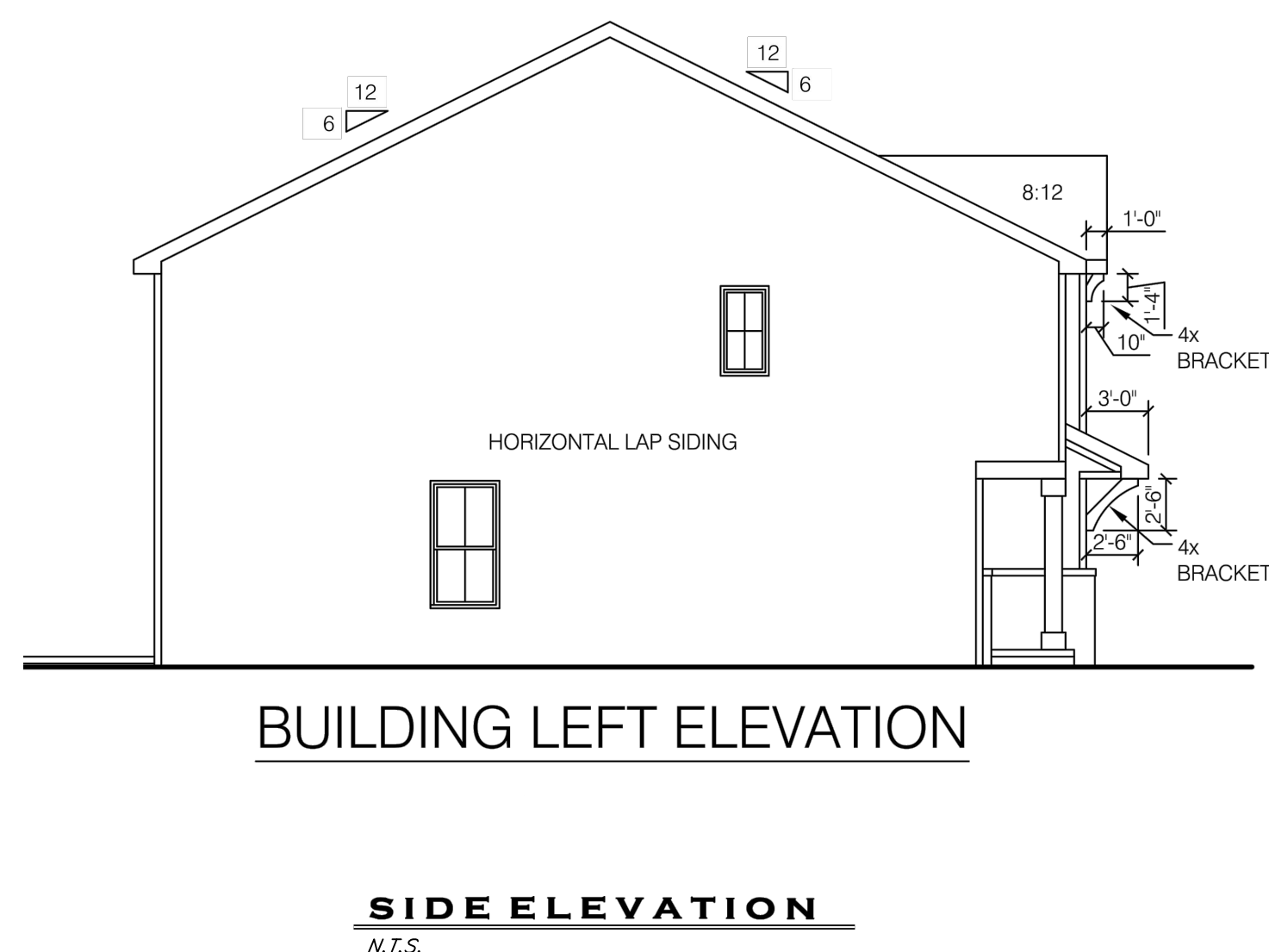
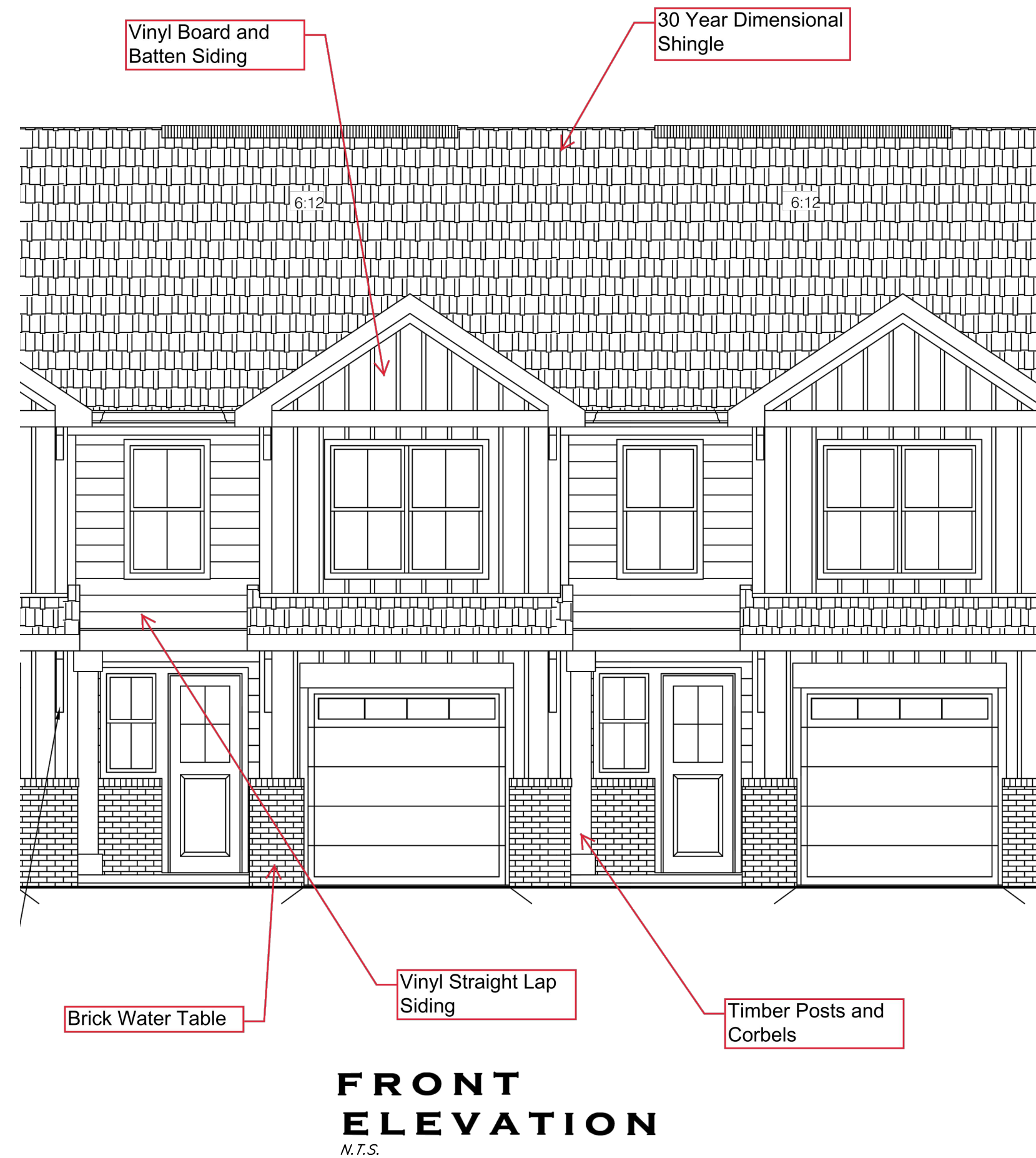
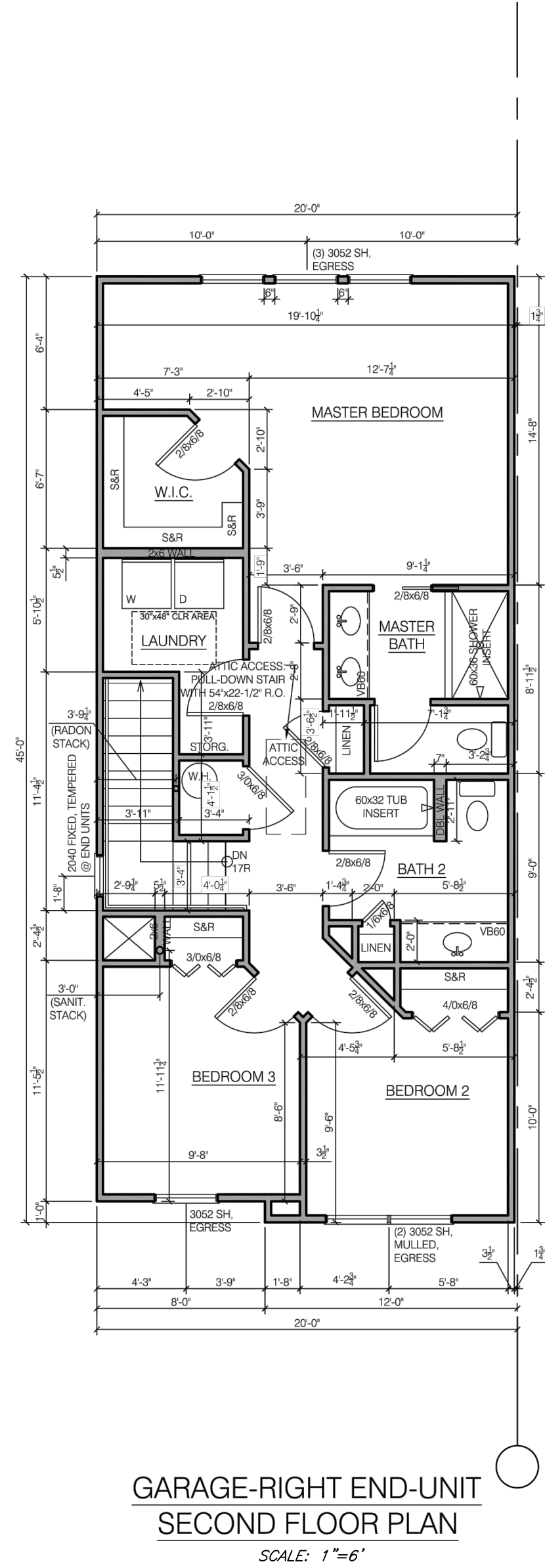
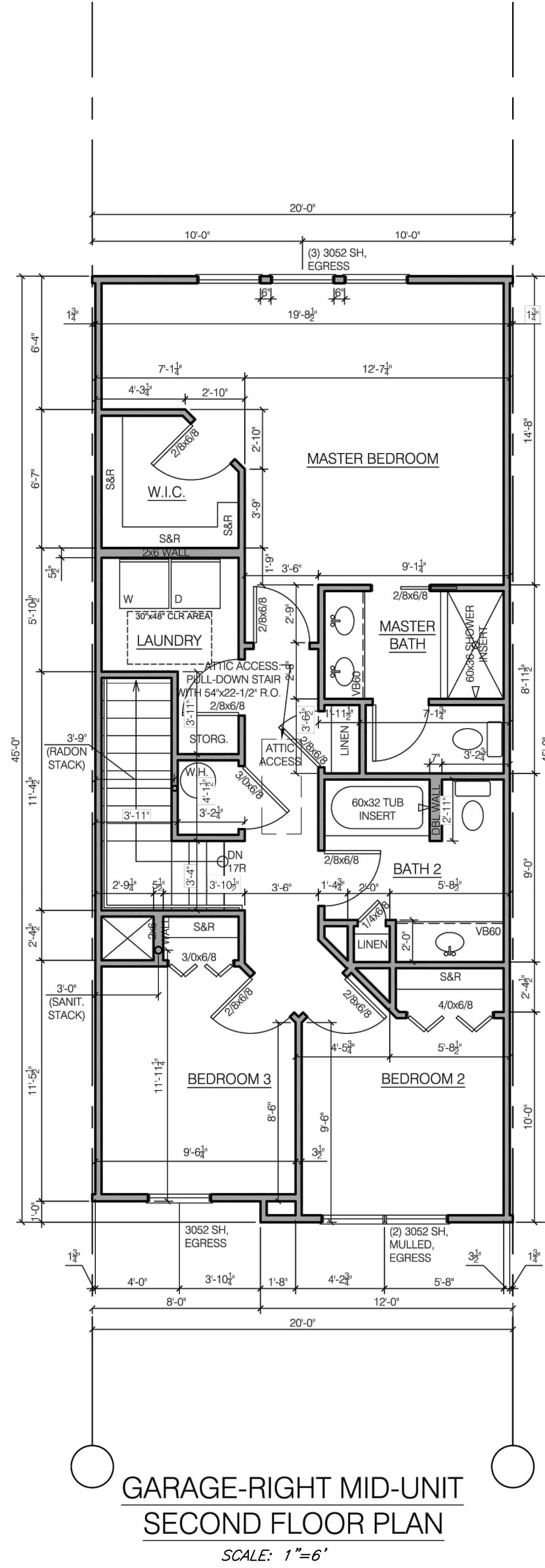
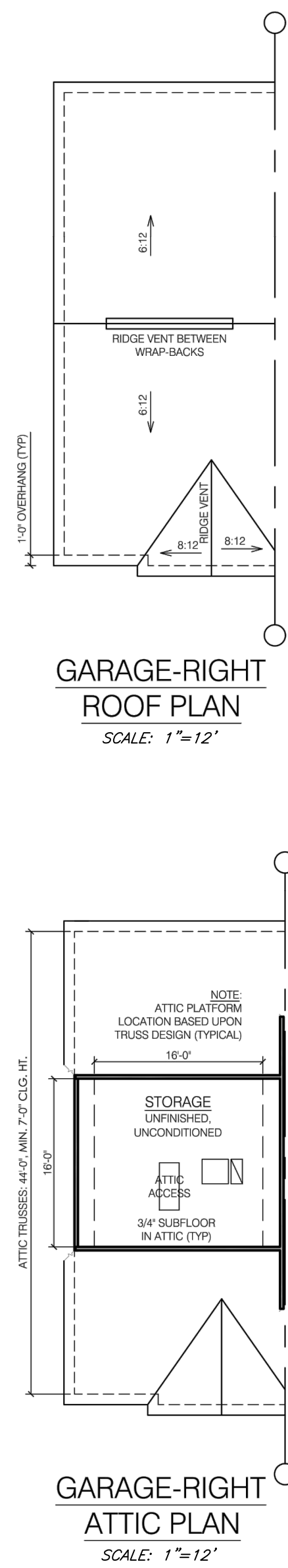
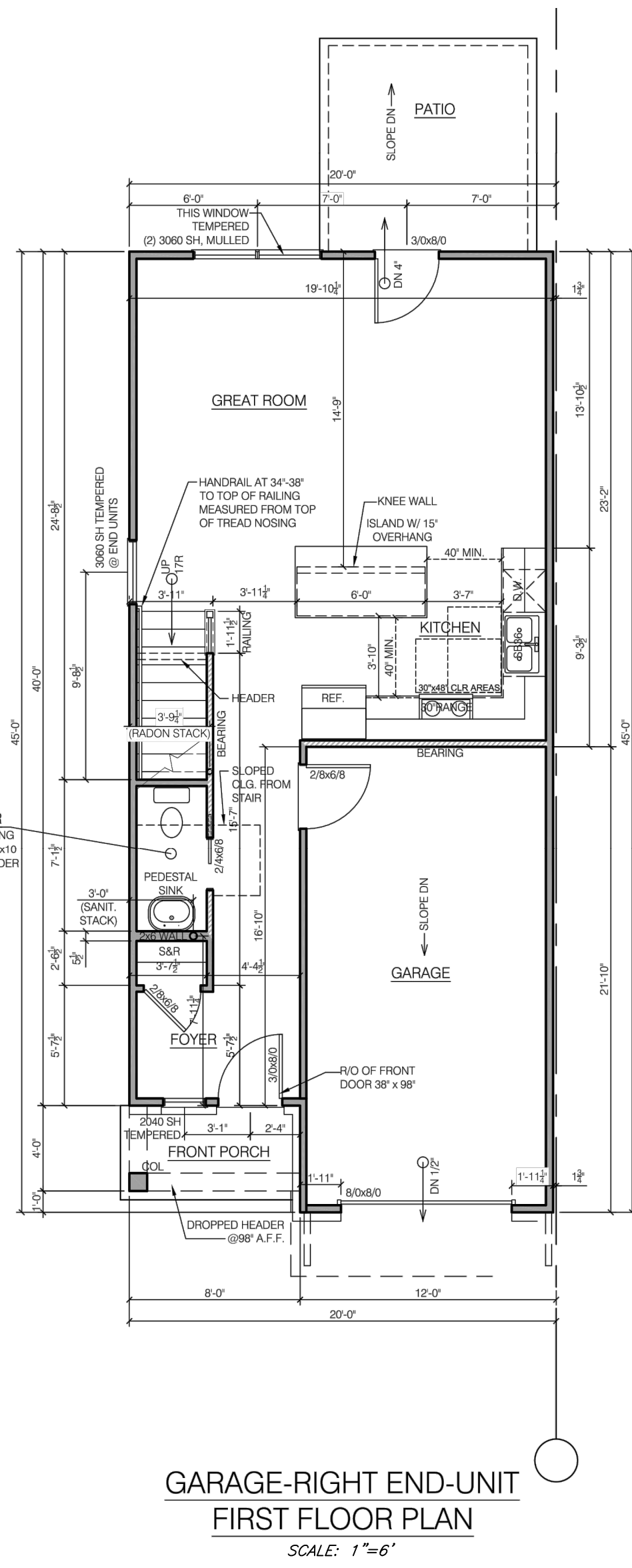
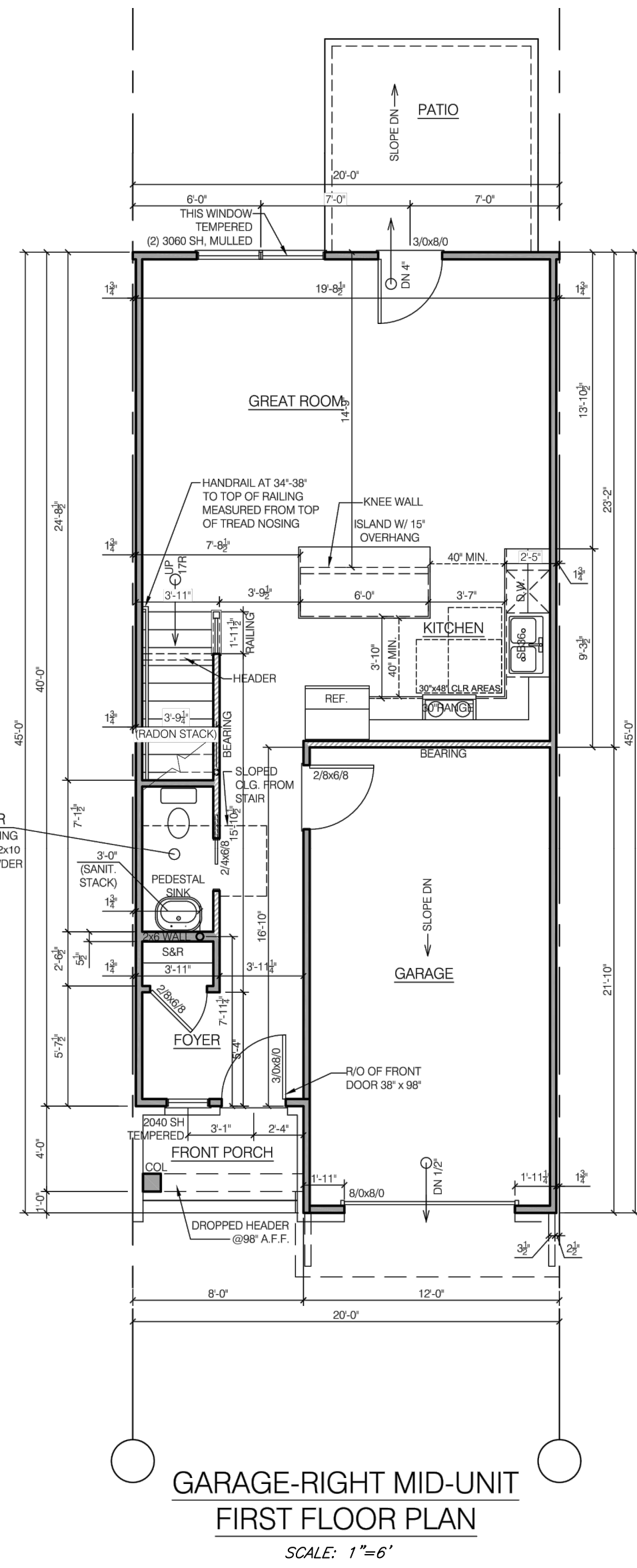
KNOXVILLE, TN 37932

(865) 966-1924

DWN: CLM

CHK: CAS

DWG. NO. 2206018



MPC FILE# 11-SB-22-C / 11-B-22-DP

Revised: 10/21/2022

REVISION	DATE	DESCRIPTION	CAS
1	10/21/22	ADDED PER PLANNING COMMENTS	CAS

SHEET A-1 (6 OF 6)

ARCHITECTURAL ELEVATIONS

JIM JONES LANE

SITE ADDRESS: 0 JIM JONES LANE, KNOXVILLE 37931

DIST. NO. W6

KNOX CO., TN.

SCALE: N.T.S.

AUGUST 19, 2022

TAX MAP: 76

PARCEL: 7.00

OWNER / DEVELOPER:

HARDIN VALLEY INVESTMENTS LP

P.O. BOX 325

ATHENS, TN 37371

URBAN ENGINEERING, INC.

10330 HARDIN VALLEY RD., SUITE #201

KNOXVILLE, TN 37932

(865) 966-1924

DWN: CLM

CHK: CAS

DWG. NO. 2206018