

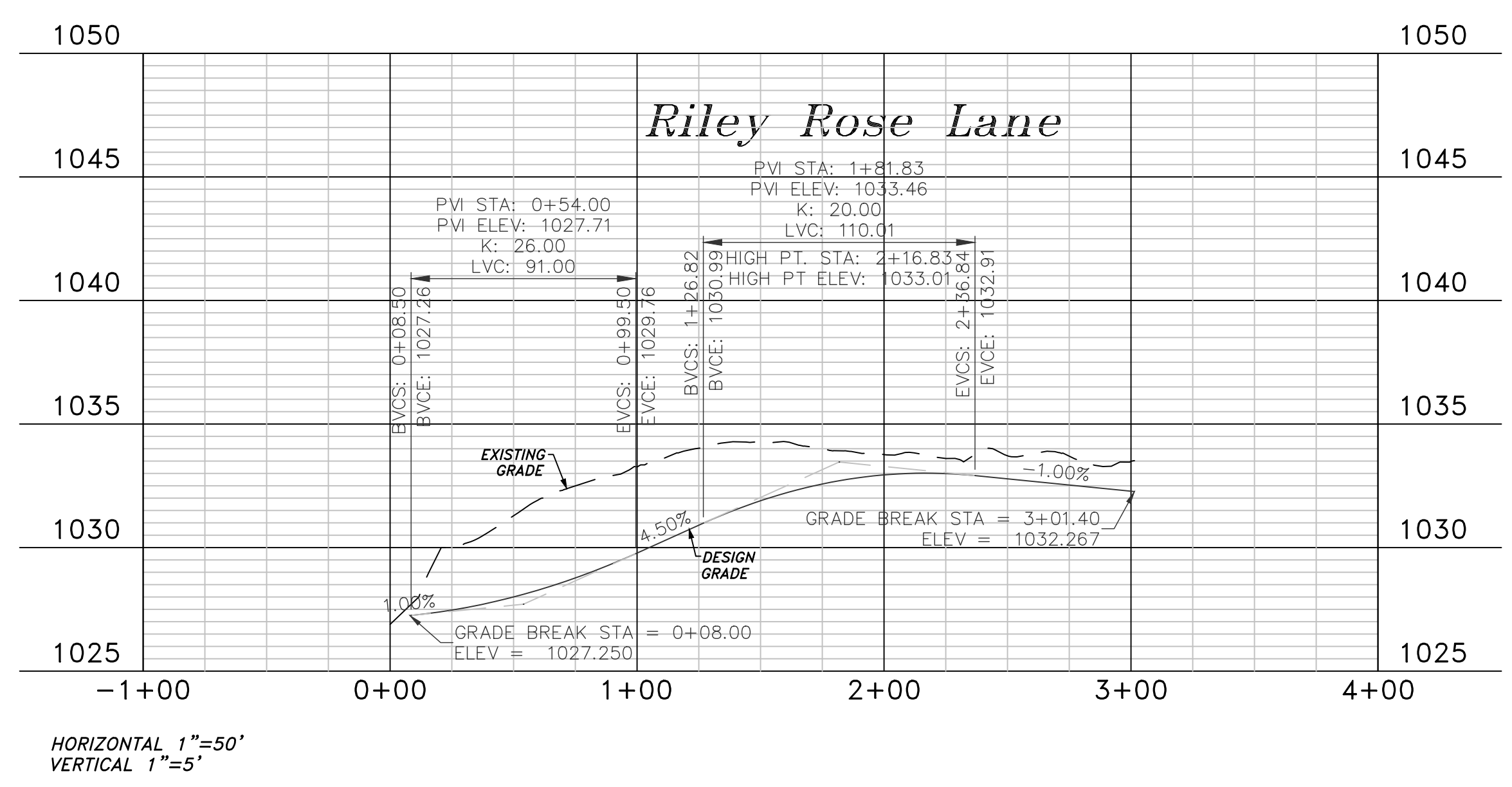
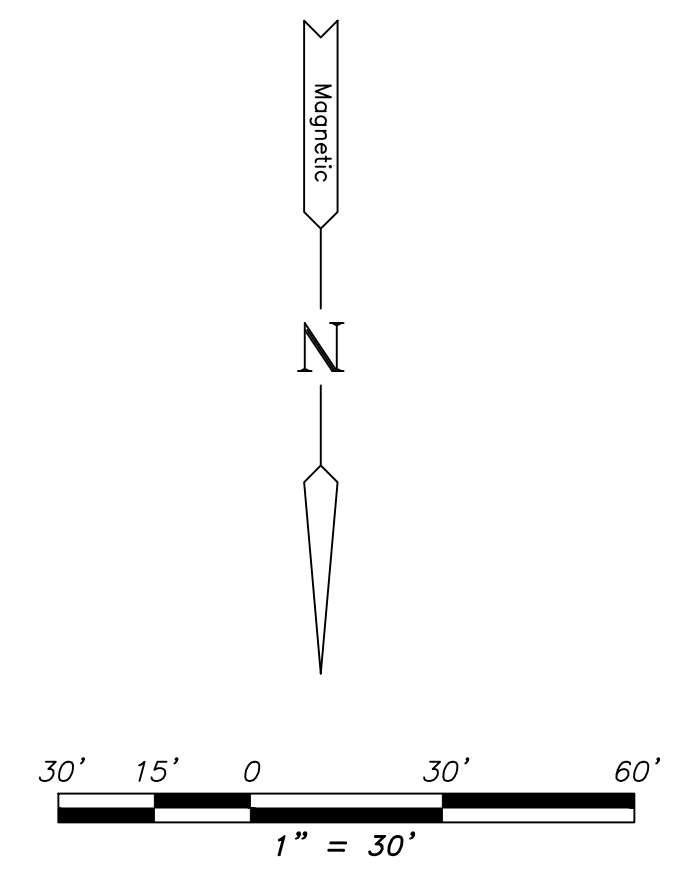
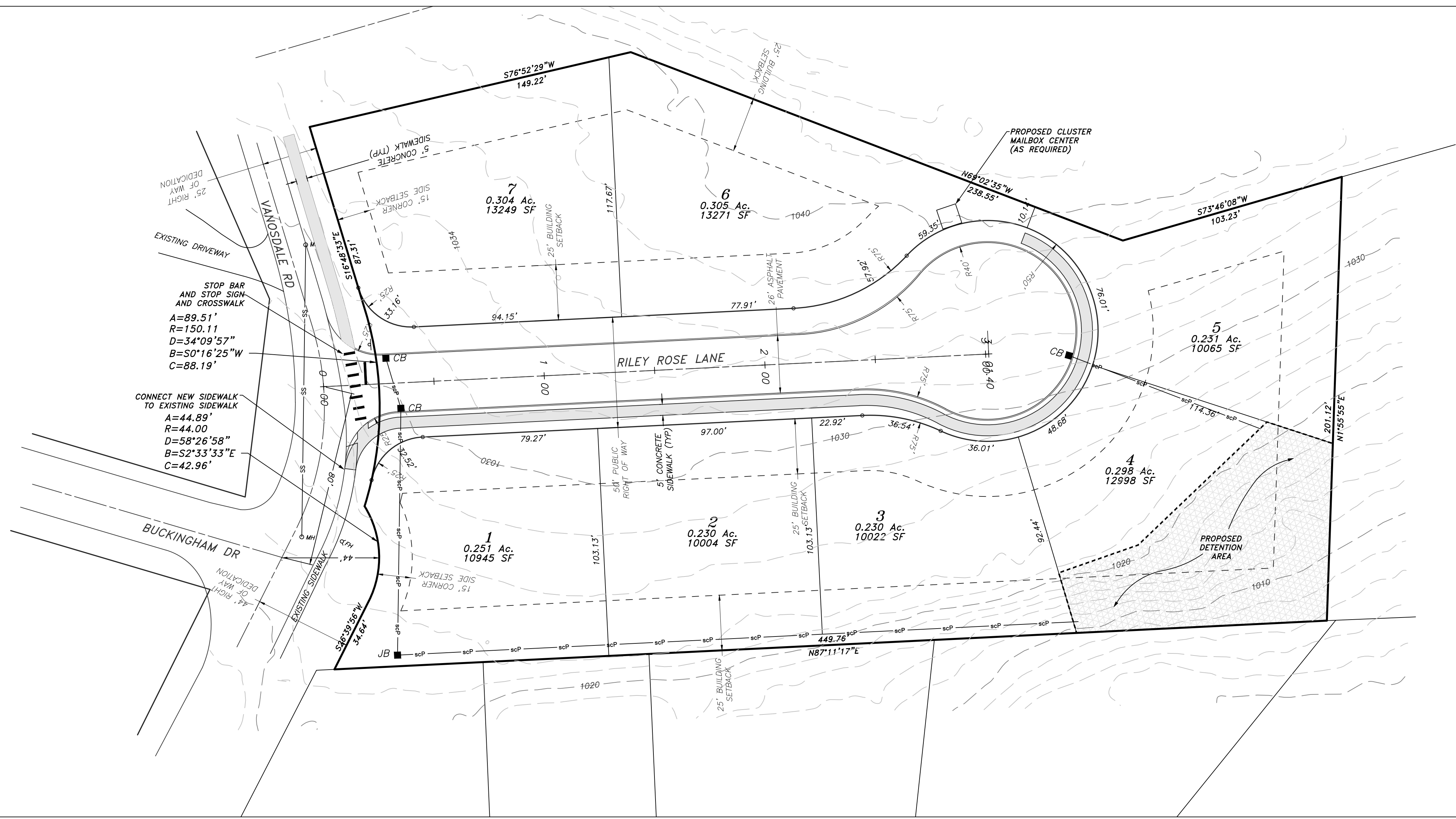
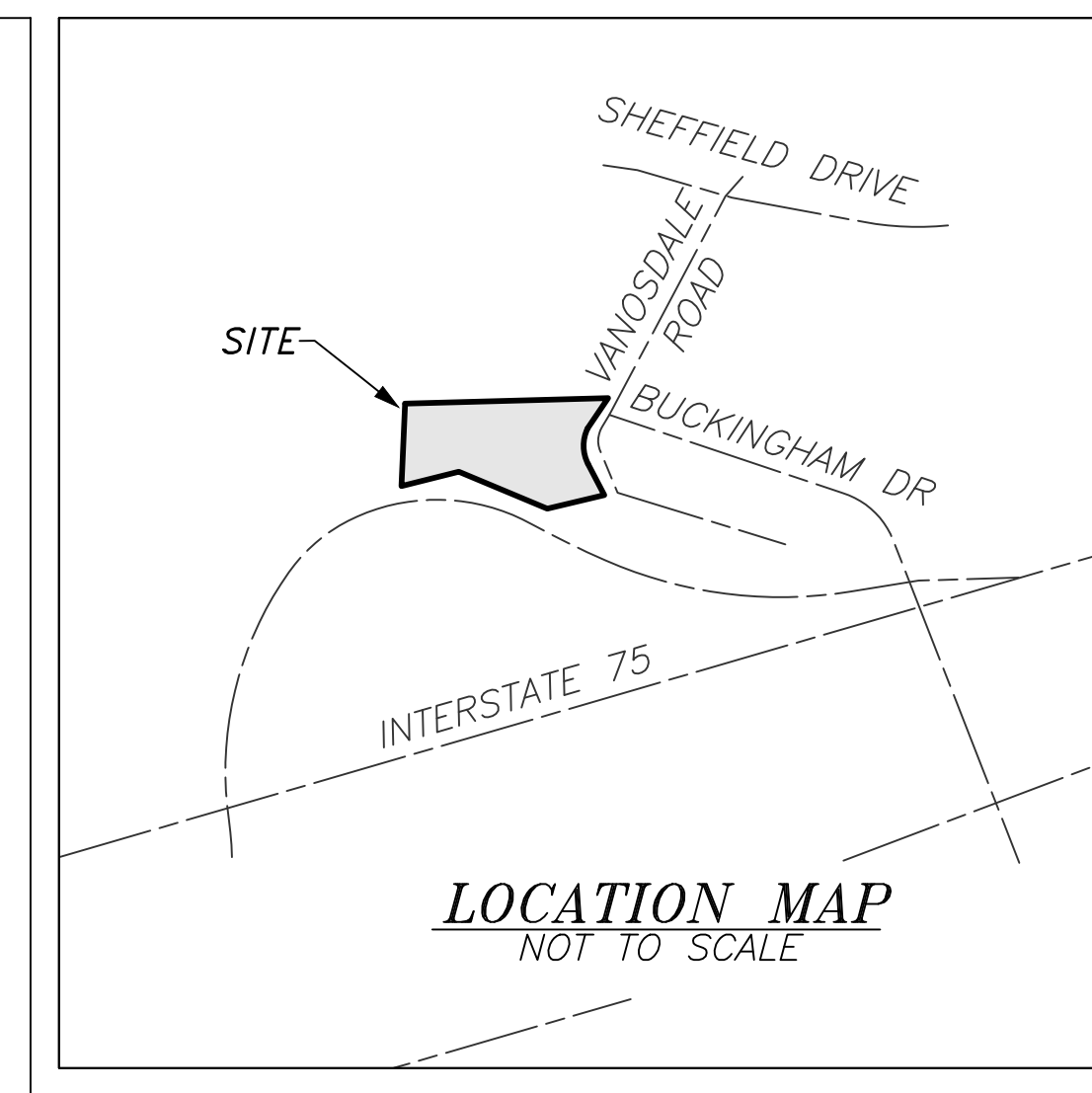
DATE	BY	REVISIONS
10/20/21	SDJ	Revise per Knoxville review comments



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SHEET
CP

DESIGNED: SDJ
DRAWN: SDJ
CHECKED:
DATE: 9/10/21
SCALE: 1" = 30'
DRAWING: 7352-CP
PROJECT NO.: SEI#7352



VARIANCE REQUESTS:

- Variance request for reduction of distance between intersection of Riley Rose Lane/Vanosdale and Buckingham Drive/Vanosdale from 125 feet to 80 feet.

SIGHT DISTANCE:

- The minimum sight distance at the intersection of Vanosdale Road and Riley Rose Lane was measured from a point on Riley Rose Lane fifteen (15) feet from the edge of the Vanosdale Road traveled way and measured from the pavement surface to a height of eye at three and one half (3.5) feet on the Riley Rose to a height of object at three and one-half (3.5) feet above the pavement surface on the Vanosdale.
- The posted speed limit on Vanosdale is 35 mph and AASHTO requires 250 feet of sight distance based on the posted speed.
- Based on the proposed location of the intersection of Riley Rose Lane and Vanosdale Road, the required sight distance of 250 will be met.

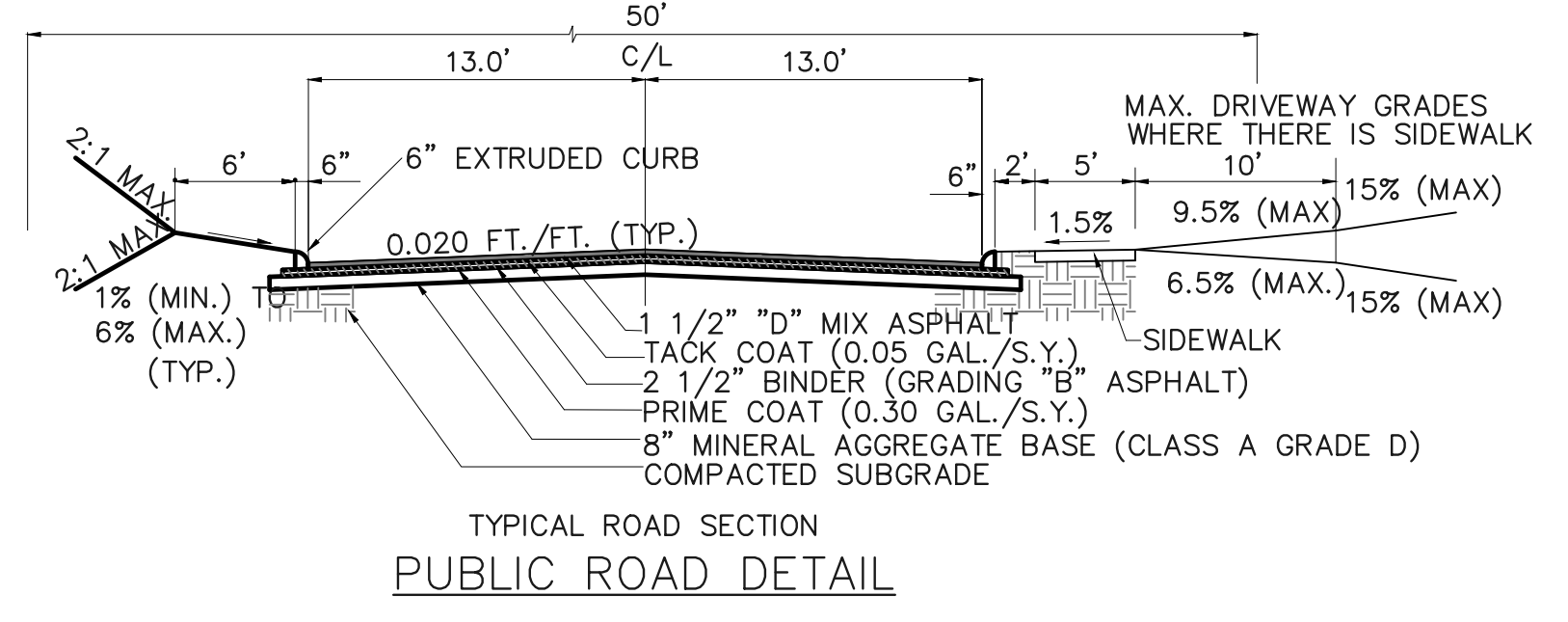
NOTES:

- CLT Map 120B "F" Parcel 030.
- Number of Lots - 7
- Area Subdivided - 2.33 Acres
- This property is zoned RN-1.
- All lots on this plat will have access from internal streets only.
- 10' Utility and Drainage Easement inside Right-of-Way lines, 5' along all other property lines.
- Proposed Building Setbacks:
Front: 25'
Rear: 25'
Interior Side: 8' minimum and no less than 20' combined
- This proposed development is to be served by public utilities.
- Survey information shown hereon taken from Final Plat completed by Figura Land Surveying dated 6/08/20 (202106110101982)

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that I am a registered engineer, licensed to practice engineering under the laws of the State of Tennessee. I further certify that the plan and accompanying drawings, documents and statements conform to the best of my knowledge, to all applicable provisions of the Knoxville-Knox County Subdivision Regulations except as has been itemized and described in a report filed with the Metropolitan Planning Commission.

Registered Engineer _____
TN License No. _____
Date _____



File No.: 11-SC-21-C
Date submitted: 10/20/2021

These plans have not been reviewed by Planning Staff and may not be finalized.

OWNER/DEVELOPER:
MICHAEL MENCER
7511 SHEFFIELD DRIVE
KNOXVILLE, TN 37909
865-556-4491

PROPERTY DATA:
ADDRESS: 225 VANOSDALE RD.
ZONING: RN-1
PARCEL ID: 120BF030
ACREAGE: 2.33 ACRES