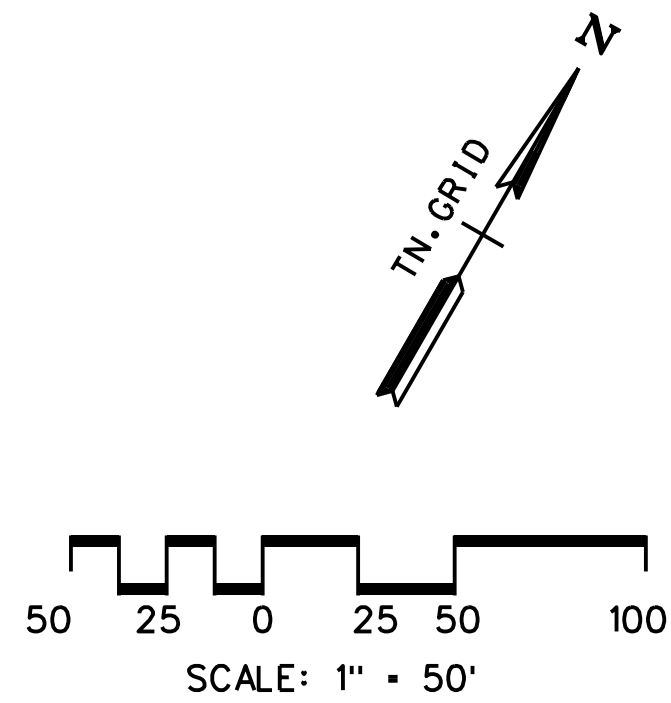
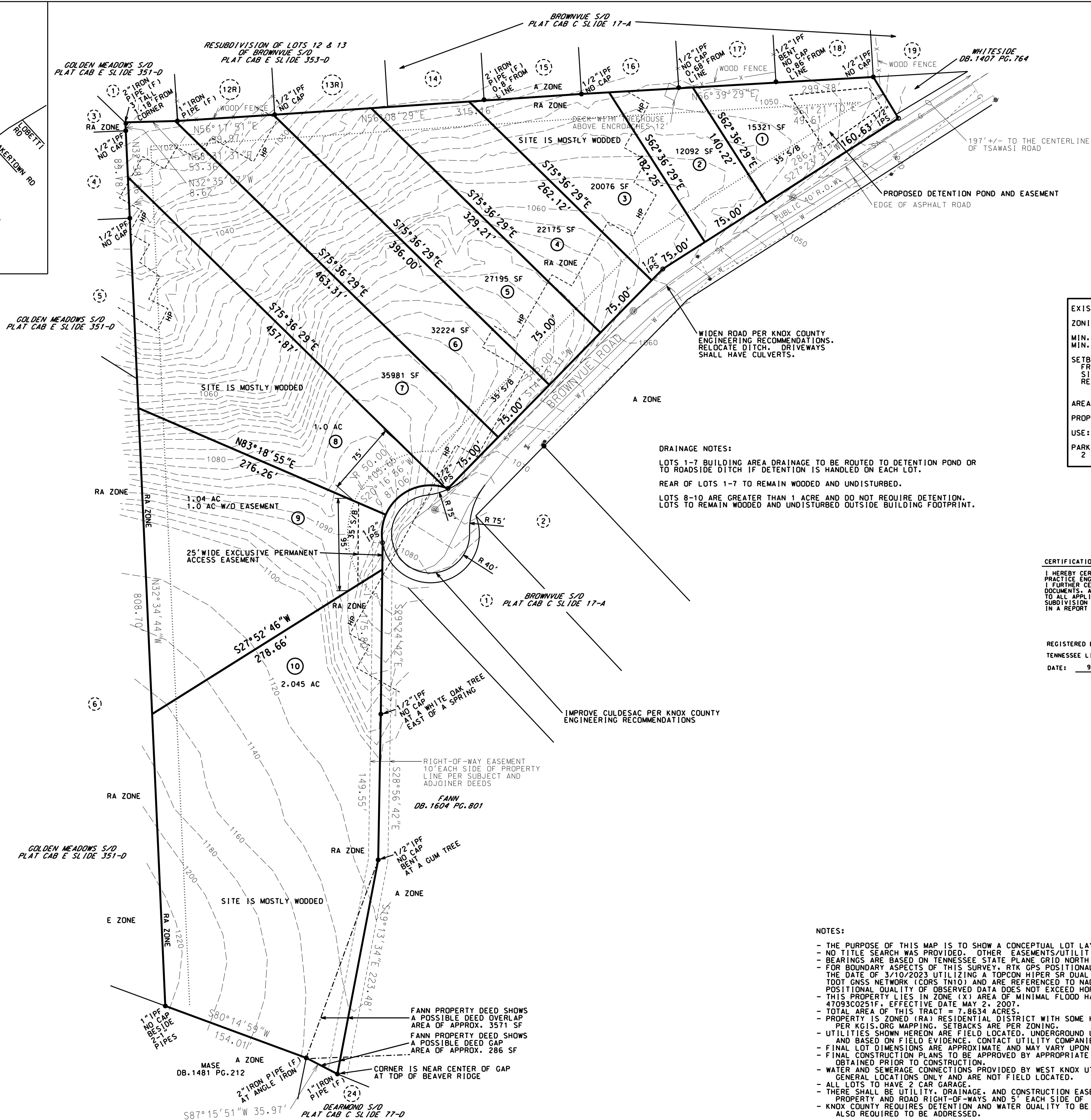


VICINITY MAP

LEGEND

- (F) MONUMENT FOUND (OLD)
- IPF IRON PIN FOUND (OLD)
- IPS 1/2" IRON PIN SET (NEW)
- C--- CENTERLINE PAVEMENT
- X--- FENCE
- EASEMENT
- POWER POLES
- OVERHEAD UTILITY
- G--- GAS LINES
- SA--- SEWER LINES
- ⊙ SANITARY SEWER MANHOLES
- ⑥ OLD LOT NUMBER
- ⑥ NEW LOT NUMBER
- ⚡ WATER VALVE
- ⚡ FIRE HYDRANT
- W--- WATER LINES
- HP--- HILLSIDE PROTECTION OVERLAY
- --- EXISTING CONTOUR (KGIS)



SITE DATA

EXISTING:  
ZONING: RA  
MIN. LOT SIZE: 10000 SF  
MIN. WIDTH AT FRONT BLDG LINE: 75'  
SETBACKS (PER ZONING):  
FRONT - 35'  
SIDE - 8' (1-STORY), 12' (2 STORY)  
REAR - 25'  
AREA: 7.8634 ACRES +/-  
PROPOSED:  
USE: 10 RESIDENTIAL LOTS  
PARKING:  
2 GARAGE SPACES PER LOT

DRAINAGE NOTES:  
LOTS 1-7 BUILDING AREA DRAINAGE TO BE ROUTED TO DETENTION POND OR TO ROADSIDE DITCH IF DETENTION IS HANDLED ON EACH LOT.  
REAR OF LOTS 1-7 TO REMAIN WOODED AND UNDISTURBED.  
LOTS 8-10 ARE GREATER THAN 1 ACRE AND DO NOT REQUIRE DETENTION.  
LOTS TO REMAIN WOODED AND UNDISTURBED OUTSIDE BUILDING FOOTPRINT.

CERTIFICATION OF CONCEPT PLAN  
I HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER, LICENSED TO PRACTICE ENGINEERING UNDER THE LAWS OF THE STATE OF TENNESSEE. I FURTHER CERTIFY THAT THE PLAN AND ACCOMPANYING DRAWINGS, DOCUMENTS, AND STATEMENTS CONFORM TO THE BEST OF MY KNOWLEDGE TO ALL APPLICABLE PROVISIONS OF THE KNOXVILLE-KNOX COUNTY SUBDIVISION REGULATIONS EXCEPT AS HAS BEEN ITEMIZED AND DESCRIBED IN A REPORT FILED WITH THE PLANNING COMMISSION.

REGISTERED ENGINEER  
TENNESSEE LICENSE NO. 1914  
DATE: 9/14/23

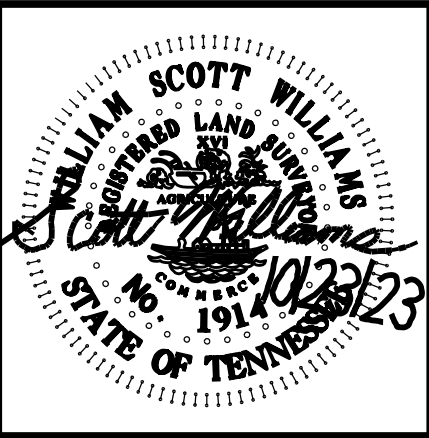
Scott Williams

- NOTES:
- THE PURPOSE OF THIS MAP IS TO SHOW A CONCEPTUAL LOT LAYOUT.
  - NO TITLE SEARCH WAS PROVIDED. OTHER EASEMENTS/UTILITIES NOT SHOWN MAY EXIST.
  - BEARINGS ARE BASED ON TENNESSEE STATE PLANE GRID NORTH (NAD83, 2011).
  - FOR BOUNDARY ASPECTS OF THIS SURVEY, RTK GPS POSITIONAL DATA WAS OBSERVED ON THE DATE OF 3/10/2023 UTILIZING A TOPCON HIPER SR DUAL FREQUENCY RECEIVER ON THE TDDT GNSS NETWORK (CORS TN10) AND ARE REFERENCED TO NAD 83 (2011) (NO TRANS), GEOID 2018. POSITIONAL QUALITY OF OBSERVED DATA DOES NOT EXCEED HORIZONTAL (0.026').
  - THIS PROPERTY LIES IN ZONE (X) AREA OF MINIMAL FLOOD HAZARD PER FEMA FLOOD MAP 47093C0251F, EFFECTIVE DATE MAY 2, 2007.
  - TOTAL AREA OF THIS TRACT = 7.8634 ACRES.
  - PROPERTY IS ZONED (RA) RESIDENTIAL DISTRICT WITH SOME HILLSIDE PROTECTION DESIGNATION PER KGIS.ORG MAPPING. SETBACKS ARE PER ZONING.
  - UTILITIES SHOWN HEREON ARE FIELD LOCATED. UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND BASED ON FIELD EVIDENCE. CONTACT UTILITY COMPANIES FOR FURTHER INFORMATION.
  - FINAL LOT DIMENSIONS ARE APPROXIMATE AND MAY VARY UPON FINAL PLAT.
  - FINAL CONSTRUCTION PLANS TO BE APPROVED BY APPROPRIATE REVIEW AGENCIES AND PERMITS OBTAINED PRIOR TO CONSTRUCTION.
  - WATER AND SEWERAGE CONNECTIONS PROVIDED BY WEST KNOX UTILITY DISTRICT. UTILITIES SHOWN FOR GENERAL LOCATIONS ONLY AND ARE NOT FIELD LOCATED.
  - ALL LOTS TO HAVE 2 CAR GARAGE.
  - THERE SHALL BE UTILITY, DRAINAGE, AND CONSTRUCTION EASEMENTS OF 10' INSIDE ALL EXTERIOR PROPERTY AND ROAD RIGHT-OF-WAYS AND 5' EACH SIDE OF INTERIOR LOT LINE PLUS OTHER EASEMENTS SHOWN.
  - KNOX COUNTY REQUIRES DETENTION AND WATER QUALITY TO BE ADDRESSED AT DESIGN PHASE. DOWNSTREAM DRAINAGE ALSO REQUIRED TO BE ADDRESSED.

11-SC-23-C

CONCEPT PLAN

BROWNVIEW ROAD  
DEVELOPMENT  
0 BROWNVIEW ROAD  
KNOXVILLE, TN 37931  
KNOX COUNTY DISTRICT 6



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ORIGINAL ISSUE:  
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SHEET NO.  
CC1

JOB NO. 2238