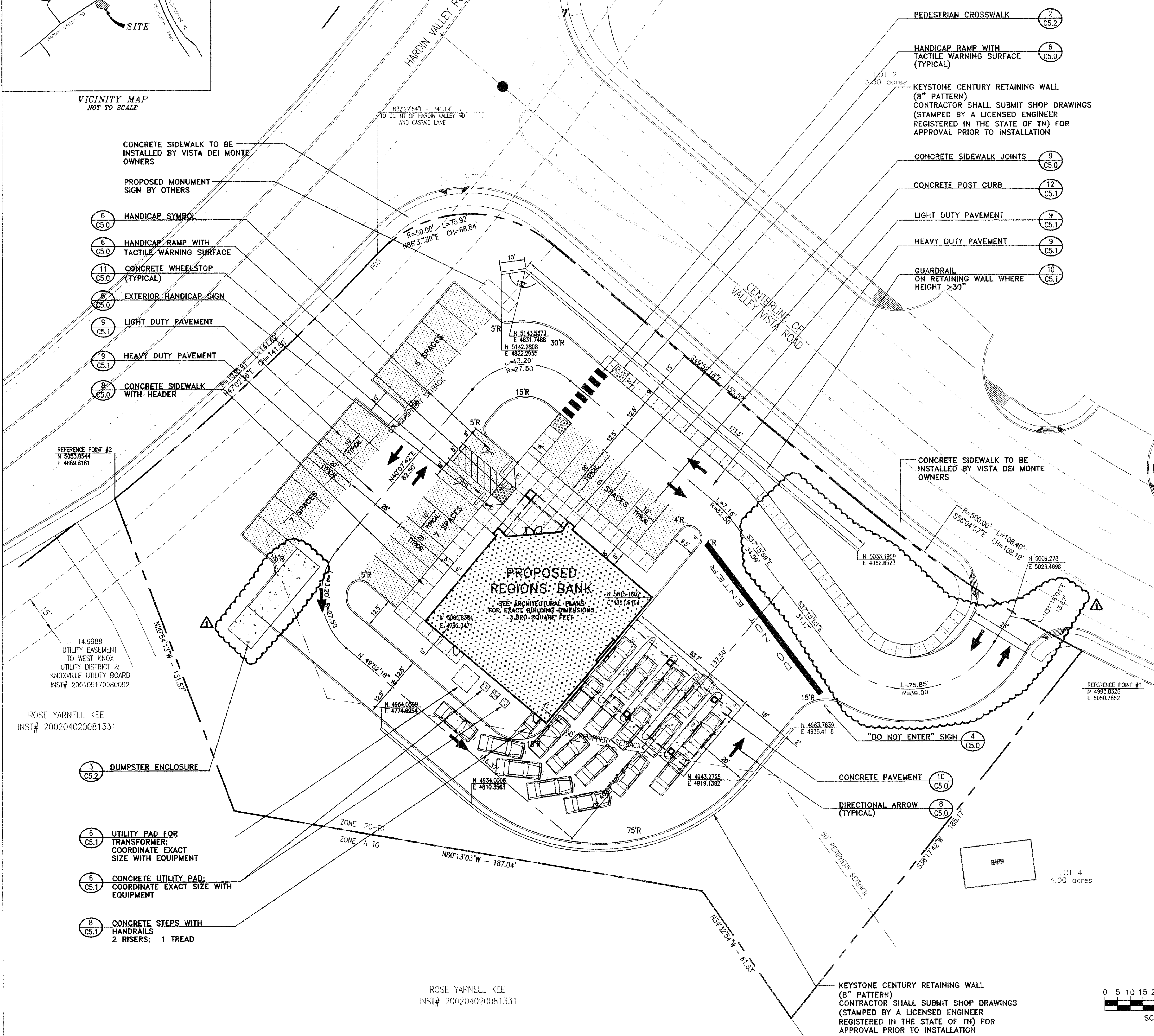


PROPOSED ROAD FOR
VISTA DEI MONTE SUBDIVISION
SEE PLANS BY SITE INC.
DATED 12/22/06

VICINITY MAP
NOT TO SCALE



- GENERAL NOTES:**
1. THE SITE LAYOUT IS BASED ON REFERENCE POINTS AS NOTED. THE CONTRACTOR SHALL CHECK ALL EXISTING CONDITIONS (I.e. INVERTS, UTILITY ROUTINGS, UTILITY CROSSINGS, AND DIMENSIONS) IN THE FIELD PRIOR TO COMMENCEMENT OF UTILITY WORK. REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.
 2. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
 3. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND RECEIVE APPROVAL WHERE NECESSARY BEFORE CONSTRUCTION.
 4. EXISTING PAVEMENT OF PUBLIC ROADWAYS SHALL BE PATCHED IN ACCORDANCE WITH LOCAL AGENCY STANDARDS. WHEREVER UTILITY INSTALLATION REQUIRES REMOVAL OF THE EXISTING PAVEMENT. COORDINATE PAVEMENT TRENCHING LOCATIONS WITH SITE CIVIL, PLUMBING AND ELECTRICAL PLANS.
 5. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. SLIGHT FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY.
 6. DIMENSIONS ARE TO FACE OF CURB AND/OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
 7. CONCRETE FOR CURBS AND SIDEWALKS SHALL BE 3500 PSI CONCRETE.
 8. ANY WORK UNACCEPTABLE TO THE OWNER'S REPRESENTATIVE OR TO THE LOCAL GOVERNING AUTHORITY SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
 9. HANDICAP RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1:12.
 10. CURBS SHALL BE PARALLEL TO THE CENTERLINE OF DRIVES. THE CURB SHALL BE PLACED ONLY AFTER HAVING ALL BREAK POINTS (PC & PT OF CURVES) LOCATED AT THE FACE OF CURB OR AT A CONSISTENT OFFSET BY A REGISTERED LAND SURVEYOR.
 11. THE CONTRACTOR WILL BE REQUIRED TO ADJUST GRADES OF INTERSECTING STREETS, ALLEYS, PUBLIC ENTRANCES AND PRIVATE DRIVES AS DIRECTED BY THE ENGINEER.
 12. ALL ROADWAY AND SIDEWALK CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF LOCAL GOVERNING AGENCY.
 13. ALL CONSTRUCTION MATERIALS AND INSTALLATION SHALL CONFORM TO LOCAL GOVERNING AGENCY REGULATIONS AND SPECIFICATIONS.
 14. ALL PAVEMENT MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE LOCAL GOVERNING AGENCY AND STATE DOT STANDARDS AND SPECIFICATIONS.
 15. BASE INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY LITTLEJOHN ENGINEERING DATED 3-23-06, REVISED 4-21-06 AND 5-3-06.
 16. KNOXVILLE'S TREE ORDINANCE WILL BE COMPLIED WITH.
 17. ALL PARKING ISLANDS ARE TO BE INSPECTED AND APPROVED BY THE VMDRC (VISTA DEI MONTE DESIGN REVIEW COMMITTEE) PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL OR TOPSOIL.

SITE DATA:

MAP AND PARCEL:	MAP 103, PARCEL 117
ADDRESS:	10718 HARDIN VALLEY ROAD
CITY:	KNOXVILLE
COUNTY:	KNOX
STATE:	TENNESSEE
ZONING:	PC
ACREAGE OF SITE:	1.498 ACRES
SQUARE FOOTAGE OF SITE:	65,269 S.F.
MINIMUM REQUIRED SETBACK LINES:	
FRONT YARD:	40'
SIDE YARD:	25'
REAR YARD:	53'

DEVELOPER:	REGIONS BANK
ADDRESS:	250 RIVERCHASE PKWY, SUITE 600
BIRMINGHAM, AL 35244	
PHONE NO.:	(205) 560-5325
CONTACT NAME:	GREG HARRIS

APPLICANT:	LITTLEJOHN ENGINEERING ASSOCIATES, INC.
ADDRESS:	1935 21ST AVE. SOUTH
NASHVILLE, TN 37212	
PHONE NO.:	(615) 385-4144
FAX NO.:	(615) 385-4020
CONTACT NAME:	PHILLIP PIERCY

BUILDING SQUARE FOOTAGE:	3,820 Sq. Ft.
PROPOSED BUILDING HEIGHT:	1 STORY
REQUIRED PARKING:	1 SPACE PER 300 SQ. FT. PLUS + 1 SP. PER EMPLOYEES (3820/300+ 8 = 21 SPACES)
PROPOSED PARKING:	25 SPACES (2 H.C.)
EXISTING PERVIOUS AREA:	1.498 AC (65,269 S.F.)
TOTAL PROPOSED IMPERVIOUS AREA:	0.753 AC (32,807 S.F.)
NET PERVIOUS AREA:	0.745 AC (32,462 S.F.)
IMPERVIOUS AREA RATION (IAR)	PROVIDED: (32,807/65,269) = 50% REQUIRED: ≤ 70%
FLOOR AREA RATION (FAR)	PROVIDED: (3,820/65,269) = 6% REQUIRED: ≤ 30%
GROUND AREA COVERAGE (GAC)	PROVIDED: (3,820/65,269) = 6% REQUIRED: ≤ 25%

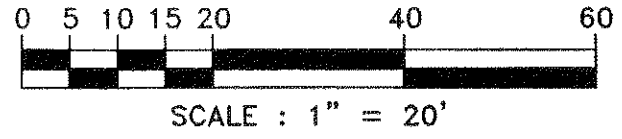
EXISTING CONDITIONS LEGEND

PARCEL NO.	()	ELECTRIC RISER	⊙ ER
IRON ROD (OLD)	⊙ IR(O)	ELECTRIC METER	⊙ E
IRON ROD (SET)	⊙ IR(N)	TRAFFIC SIGNAL POST	⊙ TSP
P K NAIL (OLD)	⊙ PK(O)	UTILITY POLE	⊙ U
CONC MON (OLD)	⊙ MON(O)	GUY WIRE	⊙ G
PROPERTY LINE	---	LIGHT POST	⊙ LP
CONTOUR LINE	---S2---	TRAFFIC SIGNAL BOX	⊙ TSB
UNDERGROUND ELECTRIC LINE	---	SANITARY SEWER MANHOLE	⊙ SSM
OVERHEAD POWER LINE	---	CURB INLET	⊙ CI
SANITARY SEWER LINE	---	AREA DRAIN	⊙ AD
STORM SEWER LINE	---	CLEANOUT	⊙ CO
WATER LINE	---	WATER METER	⊙ WM
GAS LINE	---	WATER VALVE	⊙ WV
TELEPHONE RISER	⊙ TR	CONCRETE	⊙ C

PROPOSED FEATURES LEGEND

BOUNDARY LINE	---
BUILDING	---
EXTRUDED CONC. CURB	---
CENTER LINE	---
SETBACK	---
CONCRETE PAVEMENT	---
CONCRETE SIDEWALK	---
HEAVY DUTY PAVEMENT	---
LIGHT DUTY PAVEMENT	---
TACTILE WARNING	---

U.O.R.
DATE 12-1-07
REVISED 12-4-07

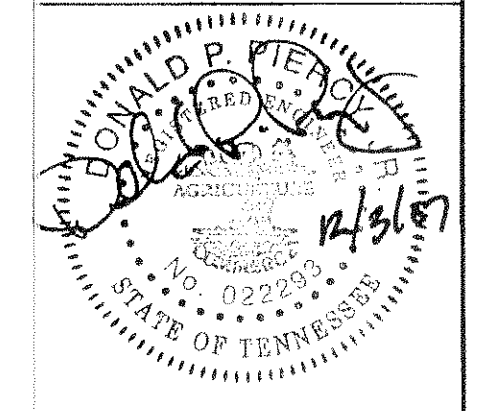


LITTLEJOHN ENGINEERING ASSOCIATES, INC.
ENGINEERING PLANNING LANDSCAPE ARCHITECTURE
1935 Twenty-First Avenue South Nashville, Tennessee 37212 Phone 615-385-4144

LEA PROJECT No.: 27081



2100 FIRST AVENUE NORTH
SUITE 100
BIRMINGHAM ALABAMA 35203
205-252-8222 205-252-8899 FAX



REGIONS HARDIN VALLEY ROAD
KNOXVILLE, TENNESSEE
REGIONS NO. TNNE06157DN

JOB NUMBER	07-147
SHEET TITLE	LAYOUT PLAN
DATE	4-20-07
DRAWN BY	EDH
CHECKED BY	DPP
REVISIONS	
12/03/07	REVISED PER TCOA COMMENTS
SHEET NUMBER	C-2

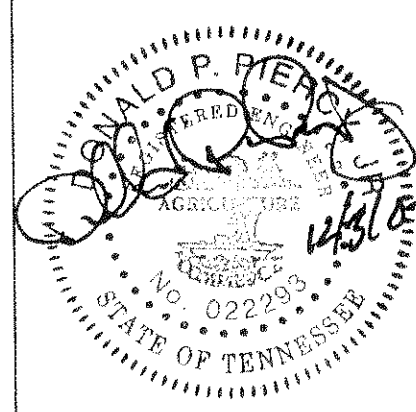
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ARCHITECTS

2100 FIRST AVENUE NORTH
SUITE 100
BIRMINGHAM ALABAMA 35203

205-252-8222 205-252-8899 FAX



REGIONS HARDIN VALLEY ROAD
KNOXVILLE, TENNESSEE
REGIONS NO. TNNE06157DN

JOB NUMBER
07-147

SHEET TITLE
**GRADING &
DRAINAGE PLAN**

DATE
4-20-07

DRAWN BY
EDH

CHECKED BY
DPP

REVISIONS	
12/03/07	REVISED PER TTCA COMMENTS

SHEET NUMBER

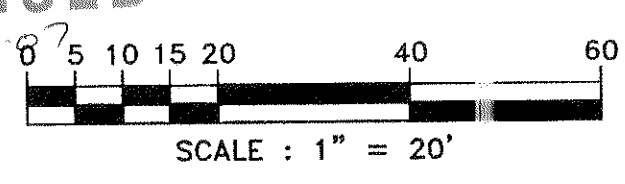
C-3

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SITE GRADING & EROSION CONTROL NOTES:

1. THE DISTURBED AREA FOR THIS PROJECT IS APPROXIMATELY 1.31± ACRES.
2. NO PORTION OF THE AREA SHOWN DOES LIE WITHIN A 100 YEAR FLOOD HAZARD AREA AS PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY, (FIRM) PANEL NO. 475433 0080-B, DATED: MAY 16, 1983.
3. CONSTRUCT SILT BARRIERS BEFORE BEGINNING GRADING OPERATIONS.
4. SOD ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER FINAL GRADING IS COMPLETED, UNLESS OTHERWISE INDICATED. CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
5. REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES BEFORE ACCEPTANCE BY LOCAL GOVERNING AGENCY, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
6. CLEAN SILT BARRIERS WHEN THEY ARE APPROXIMATELY 50% FILLED WITH SEDIMENT OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. SILT BARRIERS SHALL BE REPLACED AS EFFECTIVENESS IS SIGNIFICANTLY REDUCED, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
7. REMOVE THE TEMPORARY EROSION AND WATER POLLUTION CONTROL DEVICES ONLY AFTER A SOD STAND OF GRASS HAS BEEN ESTABLISHED ON GRADED AREAS AND WHEN IN THE OPINION OF THE OWNER'S REPRESENTATIVE, THEY ARE NO LONGER NEEDED.
8. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
9. PROVIDE TEMPORARY CONSTRUCTION ACCESS(ES) AT THE POINT(S) WHERE CONSTRUCTION VEHICLES EXIT THE CONSTRUCTION AREA. MAINTAIN PUBLIC ROADWAYS FREE OF TRACKED MUD AND DIRT.
10. THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION OF THE STORM DRAIN CONNECTIONS AT THE BUILDING WITH THE PLUMBING PLANS.
11. THE CONTRACTOR SHALL CHECK ALL EXISTING GRADES AND DIMENSIONS IN THE FIELD PRIOR TO BEGINNING WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
12. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION AND CONSTRUCTION ISSUED BY AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS OF CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.
13. PROPOSED CONTOUR LINES AND SPOT ELEVATIONS ARE THE RESULT OF AN ENGINEER GRADING DESIGN AND REFLECT A PLANNED INTENT WITH REGARD TO DRAINAGE AND MOVEMENT OF MATERIALS. SHOULD THE CONTRACTOR HAVE ANY QUESTION OF THE INTENT OR ANY PROBLEM WITH THE CONTINUITY OF GRADES, THE ENGINEER SHALL BE CONTACTED IMMEDIATELY.
14. THE CONTRACTOR SHALL CALL "TENNESSEE ONE CALL" (1-800-366-1987) 72 HOURS PRIOR TO PROCEEDING WITH ANY EXCAVATION.
15. ALL CUT AND FILL SLOPES SHALL BE 3 HORIZONTAL TO 1 VERTICAL OR FLATTER UNLESS OTHERWISE INDICATED ON THE PLANS.
16. ALL PIPES UNDER EXISTING PAVED AREAS SHALL BE BACKFILLED TO THE TOP OF SUBGRADE WITH CRUSHED STONE.
17. MINIMUM GRADE ON ASPHALT OR CONCRETE PAVING SHALL BE 1.0%. MAXIMUM GRADES OF 2% WITHIN HANDICAP SPACE AND ACCESS AISLE. MAXIMUM 2% CROSS SLOPE ON SIDEWALKS AND CROSSWALKS.
18. CONTRACTOR SHALL CONFORM TO ALL APPLICABLE CODES AND OBTAIN APPROVAL AS NECESSARY BEFORE BEGINNING CONSTRUCTION.
19. ALL EARTHWORK, INCLUDING THE EXCAVATED SUBGRADE AND EACH LAYER OF FILL, SHALL BE MONITORED AND APPROVED BY A QUALIFIED GEOTECHNICAL ENGINEER, OR HIS REPRESENTATIVE.
20. IF ANY SPRINGS OR UNDERGROUND STREAMS ARE EXPOSED DURING CONSTRUCTION, PERMANENT FRENCH DRAINS MAY BE REQUIRED. THE DRAINS SHALL BE SPECIFIED AND LOCATED DURING CONSTRUCTION AS REQUIRED BY THE CONDITIONS WHICH ARE ENCOUNTERED, AND SHALL BE APPROVED BY THE ENGINEER.
21. THIS GRADING & DRAINAGE PLAN IS NOT A DETERMINATION OR GUARANTEE OF THE SUITABILITY OF THE SUBSURFACE CONDITIONS FOR THE WORK INDICATED. A GEOTECHNICAL SOILS REPORT HAS BEEN PREPARED AND IS AVAILABLE FROM THE OWNER. DETERMINATION OF THE SUBSURFACE CONDITION FOR THE WORK INDICATED IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
22. THE CONTRACTOR SHALL TAKE SPECIAL CARE TO COMPACT FILL SUFFICIENTLY AROUND AND OVER ALL PIPES, STRUCTURES, VALVE STEMS, ETC., INSIDE THE PROPOSED PAVED AREAS TO AVOID SETTLEMENT. ANY SETTLEMENT DURING THE WARRANTY PERIOD SHALL BE RESTORED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
23. IN NO CASE SHALL SLOPE, HEIGHT, SLOPE INCLINATION, OR EXCAVATION DEPTH, INCLUDING TRENCH CONSTRUCTION, EXCEED THOSE SPECIFIED IN LOCAL STATE AND FEDERAL REGULATIONS, SPECIFICALLY THE CURRENT OSHA HEALTH AND SAFETY STANDARDS FOR EXCAVATIONS (29 CFR PART 1926) SHALL BE FOLLOWED.
24. DO NOT DISTURB VEGETATION OR REMOVE TREES EXCEPT WHEN NECESSARY FOR GRADING PURPOSES.
25. STRIP TOPSOIL FROM ALL CUT AND FILL AREAS AND STOCKPILE UPON COMPLETION OF GENERAL GRADING OVER ALL DISTURBED AREAS, TO A MINIMUM DEPTH OF 6". CONTRACTOR SHALL SUPPLY ADDITIONAL TOP SOIL IF INSUFFICIENT QUANTITIES EXIST ON SITE.
26. TOP OF GRATE ELEVATIONS AND LOCATION OF COORDINATES FOR DRAINAGE STRUCTURES SHALL BE AS SHOWN ON THE DETAIL, UNLESS NOTED OTHERWISE. THE GRATES SHALL SLOPE LONGITUDINALLY WITH THE PAVEMENT GRADES.
27. ALL DRAINAGE CONSTRUCTION MATERIALS AND INSTALLATION SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL GOVERNING AGENCY.
28. POSITIVE DRAINAGE SHALL BE ESTABLISHED AS THE FIRST ORDER OF WORK AND SHALL BE MAINTAINED AT ALL TIMES DURING AND AFTER CONSTRUCTION. SOIL SOFTENED BY PERCHED WATER IN FOUNDATION AND PAVEMENT AREAS MUST BE UNDERCUT AND REPLACED WITH SUITABLE FILL MATERIALS APPROVED BY THE GEOTECHNICAL ENGINEER. GROUNDWATER INFILTRATION INTO EXCAVATIONS SHOULD BE EXPECTED, AND THE WATER SHALL BE REMOVED USING GRAVITY DRAINAGE OR PUMPING.
29. REINFORCED CONCRETE STORM DRAINAGE PIPE SHALL BE CLASS III.
30. ALL FILL MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT. THIS MATERIAL SHALL BE PLACED IN LIFTS DIRECTED BY THE GEOTECHNICAL ENGINEER AND COMPACTED TO 95% STANDARD PROCTOR.
31. STOCKPILED TOPSOIL OR FILL MATERIAL IS TO BE TREATED SO THE SEDIMENT RUN-OFF WILL NOT CONTAMINATE SURROUNDING AREAS OR ENTER NEARBY STREAMS.
32. ANY SITE USED FOR DISPOSAL AND/OR STOCKPILE OF ANY MATERIAL SHALL BE PROPERLY PERMITTED FOR SUCH ACTIVITY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SEE THAT ALL REQUIRED PERMITS ARE SECURED FOR EACH PROPERTY UTILIZED. A COPY OF THE APPROVED PERMIT MUST BE PROVIDED TO THE INSPECTOR PRIOR TO COMMENCEMENT OF WORK ON ANY PROPERTY. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR REMOVING ANY ILLEGALLY PLACED MATERIAL AT HIS OWN EXPENSE.
33. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO WASTE EXCESS EARTH MATERIAL OFF SITE AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL FIRST OFFER THE EXCESS MATERIAL TO THE OWNER. IF NOT ACCEPTED BY THE OWNER, THE CONTRACTOR SHALL DISPOSE OF EARTH MATERIAL OFF SITE. IT SHALL ALSO BE THE CONTRACTOR'S RESPONSIBILITY TO IMPORT SUITABLE MATERIAL (AT NO ADDITIONAL COST TO THE OWNER) FOR EARTHWORK OPERATIONS IF SUFFICIENT AMOUNTS OF EARTH MATERIAL ARE NOT AVAILABLE ON SITE.
34. ALL GRADING AND FILLING SHALL BE PERFORMED IN COMPLIANCE WITH THE GEOTECHNICAL REPORT. ALL AREAS SHALL BE PROOF ROLLED IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER AND UNDERCUT ANY UNSUITABLE AREAS.
35. DETENTION AND WATER QUALITY REQUIREMENTS MET BY OVERALL SITE DEVELOPER'S PLAN AND DESIGN. SEE PLANS BY SITE INCORPORATED, DATED 12/02/06.

U.O.R.
DATE
12-10-07-UR
REVISED
12-14-07



PROPOSED FEATURES LEGEND

- STORM PIPE & INLET
- SPOT ELEVATION
- PROPOSED CONTOUR
- SILT FENCE
- INLET PROTECTION

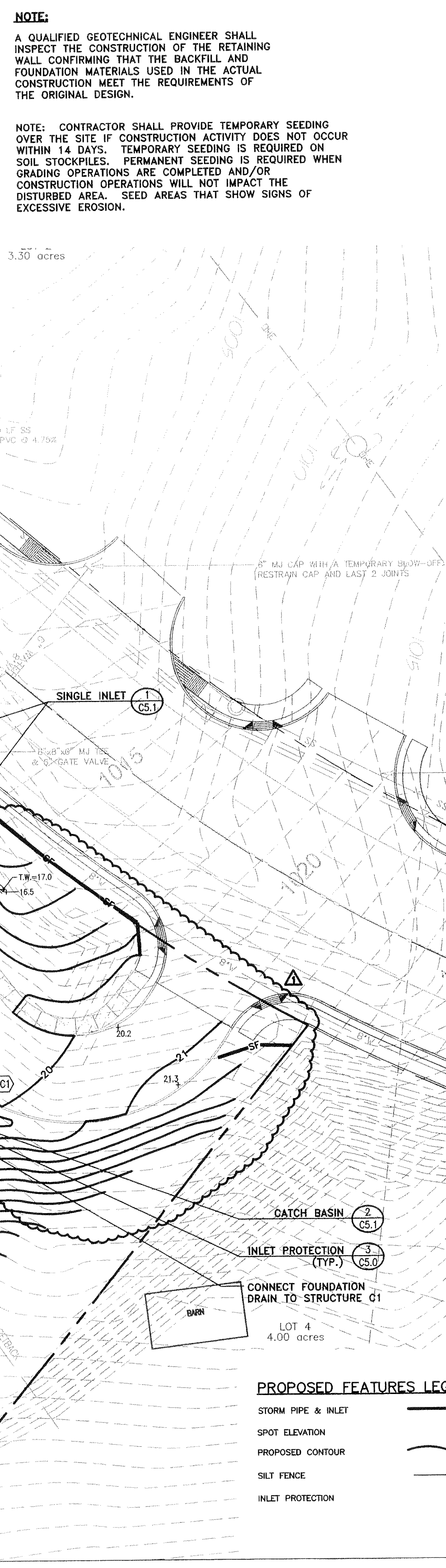
LITTLEJOHN ENGINEERING ASSOCIATES, INC.
ENGINEERING PLANNING LANDSCAPE ARCHITECTURE
1935 Twenty-First Avenue South Nashville, Tennessee 37212 Phone 615-381-4144

LEA PROJECT No.: 27081

NOTE:

A QUALIFIED GEOTECHNICAL ENGINEER SHALL INSPECT THE CONSTRUCTION OF THE RETAINING WALL CONFIRMING THAT THE BACKFILL AND FOUNDATION MATERIALS USED IN THE ACTUAL CONSTRUCTION MEET THE REQUIREMENTS OF THE ORIGINAL DESIGN.

NOTE: CONTRACTOR SHALL PROVIDE TEMPORARY SEEDING OVER THE SITE IF CONSTRUCTION ACTIVITY DOES NOT OCCUR WITHIN 14 DAYS. TEMPORARY SEEDING IS REQUIRED ON SOIL STOCKPILES. PERMANENT SEEDING IS REQUIRED WHEN GRADING OPERATIONS ARE COMPLETED AND/OR CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. SEED AREAS THAT SHOW SIGNS OF EXCESSIVE EROSION.



16" TO EXISTING 24" WATER LINE PER WEST KNOX UTILITY DISTRICT REQUIREMENTS. CONTRACTOR SHALL COORDINATE WITH WEST KNOX UTILITY AND PAY ALL FEES.

CATCH BASIN
RIM INV=1004.50
INV OUT=995.01

N32°22'54"E - 741.19'
TO CL INT OF HARDIN VALLEY RD
AND CASTALC LANE

SSWH-A10
TOP=1009.50
INV IN=999.70
(A13)
INV IN=1002.13 (B2)
INV OUT=998.10

CONNECT FOUNDATION
DRAIN FROM BEHIND WALL
TO STRUCTURE A1

8" MJ CAP WITH A TEMPORARY BLOW-OFF
(RESTRAIN CAP AND LAST 2 JOINTS)

PROPOSED
REGIONS BANK
F.F.E.=21.0

14-9988
UTILITY EASEMENT
TO WEST KNOX
UTILITY DISTRICT &
KNOXVILLE UTILITY BOARD
INST# 200105170080092

ROSE YARNELL KEE
INST# 200204020081331

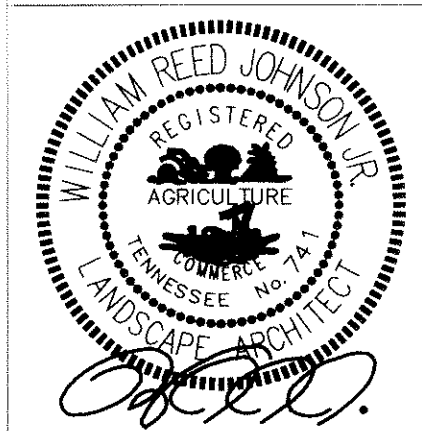
CONNECT FOUNDATION
DRAIN TO STRUCTURE D2

CATCH BASIN
(2)
C5.1

INLET PROTECTION
(TYP.)
(3)
C5.0

CONNECT FOUNDATION
DRAIN TO STRUCTURE C1

DRAINAGE STRUCTURES					STORM SEWER PIPE						
CODE	DESCRIPTION	NORTHING	EASTING	TOP GRATE	FROM CODE	TO CODE	GRADE %	LENGTH (LIN. FT.)	SIZE (INCHES)	TYPE	
A1	EXISTING CATCH BASIN			1013.00	A4	1014.05	A3 1013.42	1.50	42	24	RCP
A2	SINGLE CURB INLET	N 5139.0917	E 4803.6637	1017.50	A3	1013.22	A2 1011.95	1.00	127	24	RCP
A3	SINGLE CURB INLET	N 5067.4046	E 4908.1045	1017.80	A2	1011.75	A1 1008.75	12.00	25	24	RCP
A4	SINGLE CURB INLET	N 5040.192	E 4940.3682	1018.40	B1	1015.24	A4 1014.46	0.70	111	15	RCP
B1	CATCH BASIN	N 4951.9314	E 4863.6213	1018.70	C3	1017.74	C2 1017.17	1.50	38	6	PVC
C1	CATCH BASIN	N 4989.9693	E 4948.1452	1019.50	C2	1017.17	C1 1016.45	2.00	38	6	PVC
C2	CLEANOUT	-	-	1020.10	C1	1015.70	A4 1015.00	1.00	70	15	RCP
C3	CLEANOUT	-	-	1020.25	D4	1018.04	D3 1017.59	1.00	45	6	PVC
D1	SINGLE CURB INLET	N 5039.6932	E 4719.8786	1017.30	D3	1017.59	D2 1017.10	1.00	49	6	PVC
D2	CATCH BASIN	N 4964.5777	E 4770.2854	1019.80	D2	1016.10	D1 1013.85	2.50	90	15	RCP
D3	CLEANOUT	-	-	1020.30	D1	1013.85	A2 1013.00	0.50	130	15	RCP
D4	CLEANOUT	-	-	1020.70	E2	1017.66	E1 1016.97	1.00	69	6	PVC
E1	CLEANOUT	-	-	1020.00	E1	1016.97	A3 1015.20	3.00	59	6	PVC
E2	CLEANOUT	-	-	1020.35	F1	1018.17	E1 1016.97	2.50	48	6	PVC
F1	CLEANOUT	-	-	1020.70							



REGIONS HARDIN VALLEY ROAD
KNOXVILLE, TENNESSEE
REGIONS PROJECT NO. TNNE06157DN

JOB NUMBER

07-147

SHEET TITLE

LANDSCAPE PLAN

DATE

04-20-07

DRAWN BY

RJW

CHECKED BY

WRJ

REVISIONS

1 12-03-07 CITY COMMENTS

SHEET NUMBER

L2.1

PLANT LIST

BOTANICAL NAME	COMMON NAME	CAL	HT	MATURE HT	SPREAD	RB/SIZE	COMMENTS
TREES							
ACER RUBRUM 'OCTOBER GLORY'	'OCTOBER GLORY' MAPLE	3"	14'		5'	42"	WELL BRANCHED, FULL HEAD
PRUNUS 'SNOW GOOSE' 'NATCHEZ'	'SNOW GOOSE CHERRY' MYRTLE	3.5"	10'		5'	42"	STRAIGHT, WELL BRANCHED
QUERCUS NUTTALLII	NUTTALL OAK	4"	14'		8'	48"	STRAIGHT, WELL BRANCHED
PISTACIA CHINENSIS	CHINESE PISTACHE	3"	14'		8'	42"	STRAIGHT, WELL BRANCHED
MAGNOLIA GRANDIFLORA 'LITTLE GEM'	'LITTLE GEM' MAGNOLIA	10"-12"			4'	B4B	FULL TO GROUND
SHRUBS							
ILEX VOMITORIA 'NANA'	DWARF YAUPOH HOLLY		14"		14"	3 GAL. # 3' 6" O.C.	FULL PLANT
BUXUS SEMPERVIRENS	AMERICAN BOXWOOD		30"		18"	B4B	FULL PLANT
TAXUS X MEDIA 'DENSIFORMIS'	DENSE SPREADING TEU		24"	36"	18"	5 GAL. # 4' - 6" O.C.	FULL PLANT
ILEX CORNUTA 'NEEDLEPOINT'	NEEDLEPOINT HOLLY		36"	48"	16"	B4B	FULL PLANT
ILEX CRENATA 'HELLERI'	HELLERI HOLLY		14"		14"	3 GAL. # 3' 6" O.C.	FULL PLANT
ILEX X 'MARY NELL'	'MARY NELL' HOLLY		7'	12'	3'	B4B	FULL PLANT
LOROPETALUM CHINENSE 'SIZZLING PINK'	'SIZZLING PINK' FRINGE FLOWER		16"		16"	3 GAL. # 3' 6" O.C.	FULL PLANT
MISC.							
LIRIOPE MUSCARI 'VARIEGATA'	'VARIEGATED LIRIOPE'		6"		6"	1 GAL. # 18" O.C.	FULL PLANT
TRACHELOSPERMUM ASIATICUM	ASIATIC JASMINE		4"		8"	1 GAL. # 18" O.C.	FULL PLANT
FESTUCA ARUNDINACEA	FESCUE						WHOLE PIECES

NOTES:

- IF CONFLICTS EXIST BETWEEN PROPOSED LANDSCAPE AND SITE LIGHTING UTILITIES OR OTHER LANDSCAPE CONTRACTOR IS TO CONTACT LANDSCAPE ARCHITECT IMMEDIATELY.
- IF SITE CONDITIONS EXIST, SUCH AS LOW AREAS THAT WILL POTENTIALLY HOLD WATER OR ANY CONDITIONS THAT PROPOSE A THREAT TO THE LONG TERM SURVIVAL OF THE NEW LANDSCAPE, THE LANDSCAPE CONTRACTOR IS TO CONTACT THE LANDSCAPE ARCHITECT FOR CHANGES.
- IF THESE CONDITIONS ARE NOT COORDINATED DURING CONSTRUCTION, THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR RELOCATING NEW MATERIAL AT DIRECTIVE OF THE LANDSCAPE ARCHITECT AT TIME OF PUNCHLIST.
- SIGNAGE SHOWN AS SCHEMATIC. IF VARIANCE OCCURS, LANDSCAPE AND IRRIGATION TO BE AND ADJUSTED TO ACTUAL LOCATION. COORDINATE WITH LANDSCAPE ARCHITECT FOR CHANGES.

TREE CALCULATIONS

TOTAL SITE: 15 ACRES
TOTAL DISTURBED: 131 ACRES
60 CAL INCHES REQUIRED PER ACRE
131 ACRES X 60 = 7860 CAL INCHES REQUIRED
885 CAL INCHES PROVIDED AS FOLLOWS:
(10) 4 INCH CAL SHADE TREES = 40 CAL INCHES
(6) 3 INCH CAL SHADE TREES = 18 CAL INCHES
(9) 3.5 INCH CAL UNDERSTORY = 31.5 CAL INCHES

U.O.R.

DATE
12-A-07-UR

REVISED
12-4-07

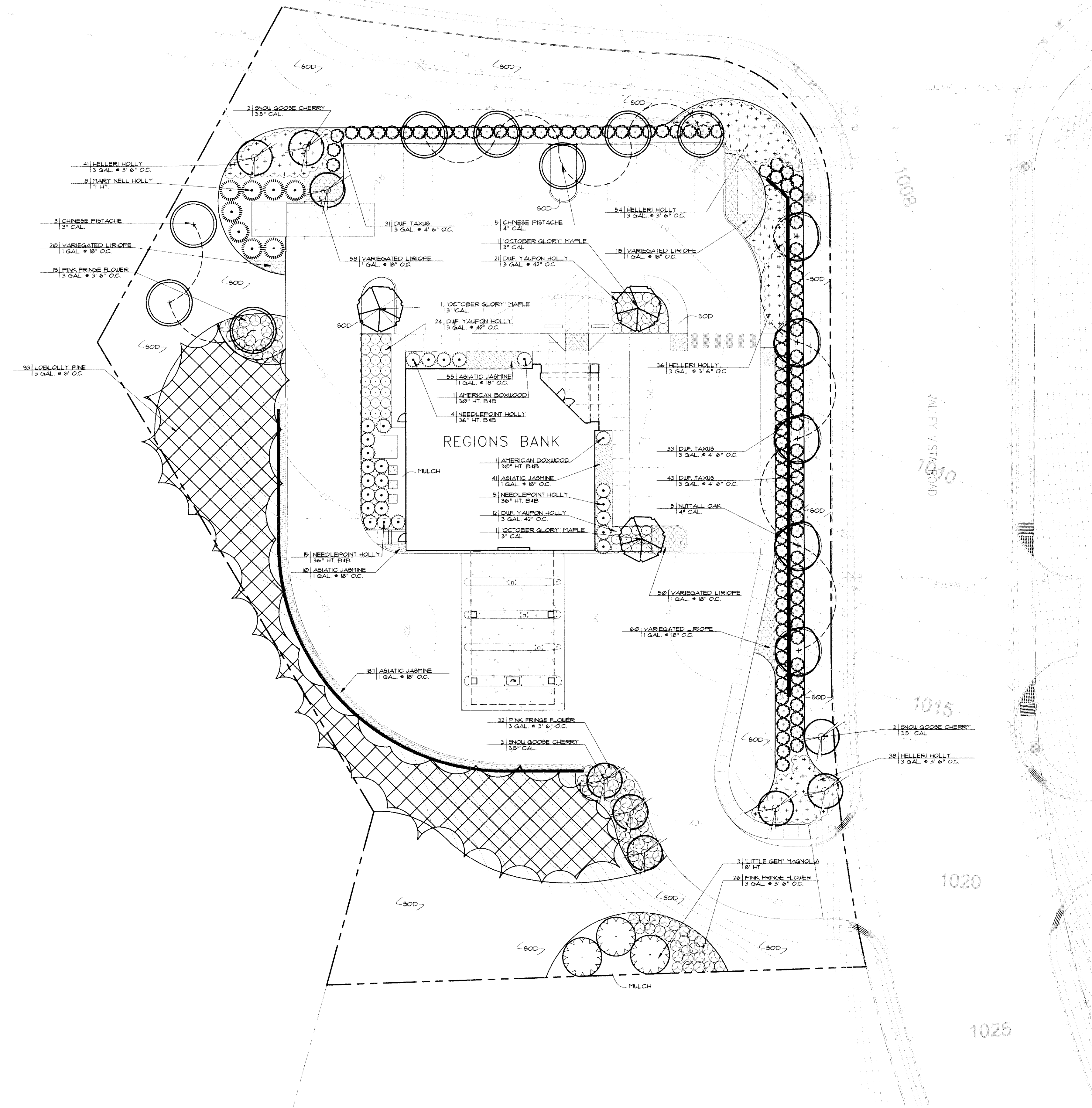
REECE
HOOPES &
FINCHER

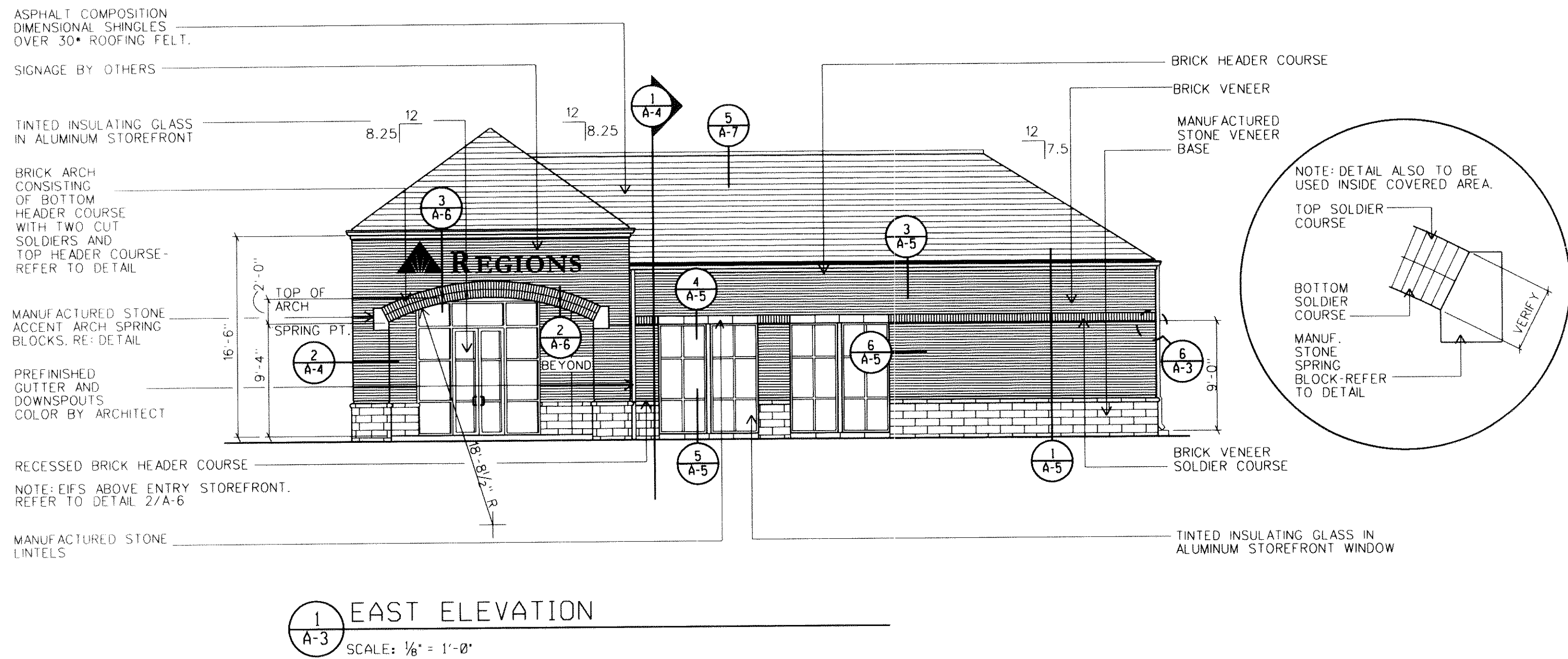
Land Planners Landscape Architects
ATLANTA • BIRMINGHAM
DESTIN

2115 FIRST AVENUE NORTH
BIRMINGHAM, ALA 35203

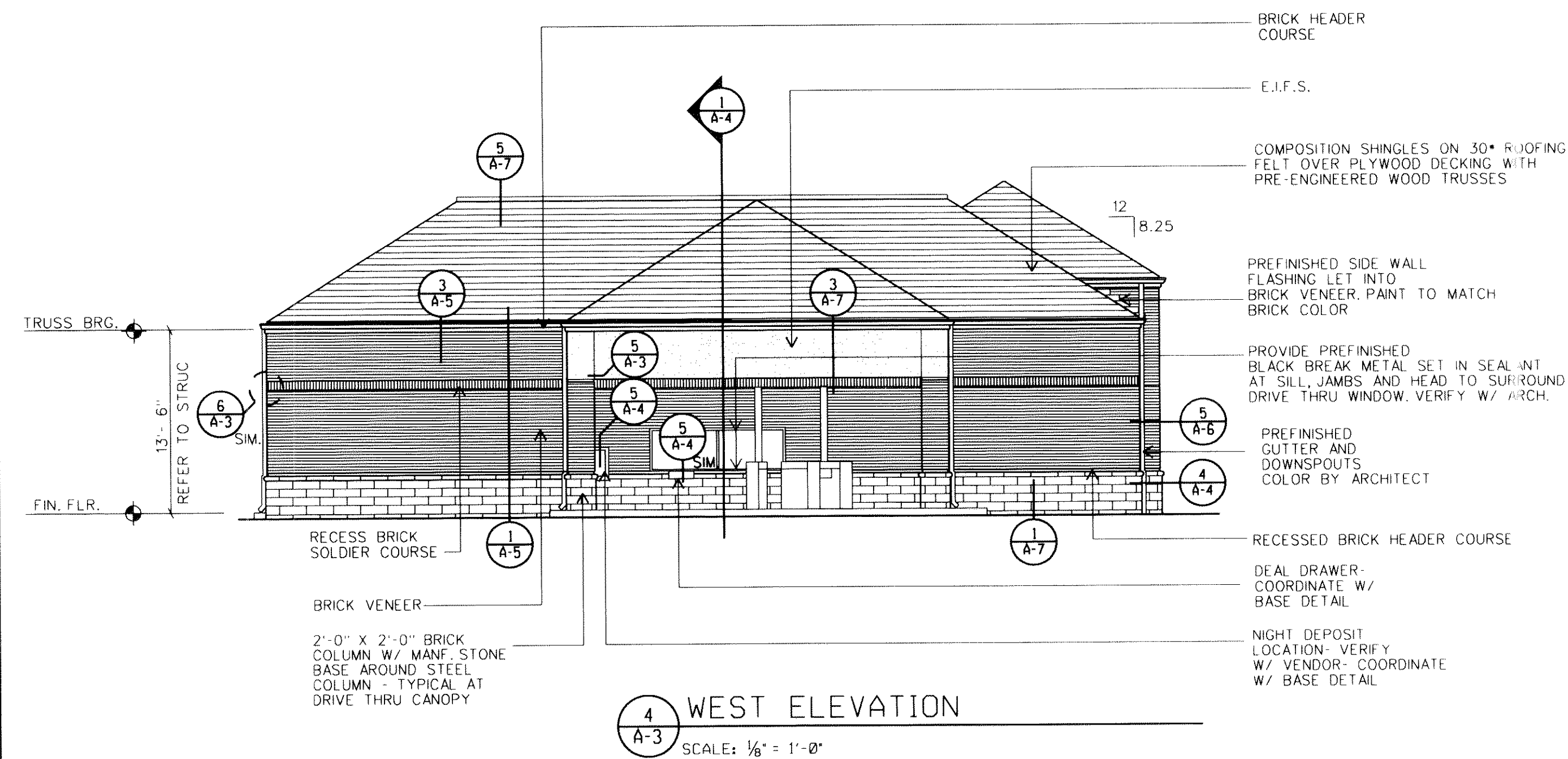
TEL: (205) 324-4447 FAX: (205) 324-8888

0 10 20 40
SCALE IN FEET

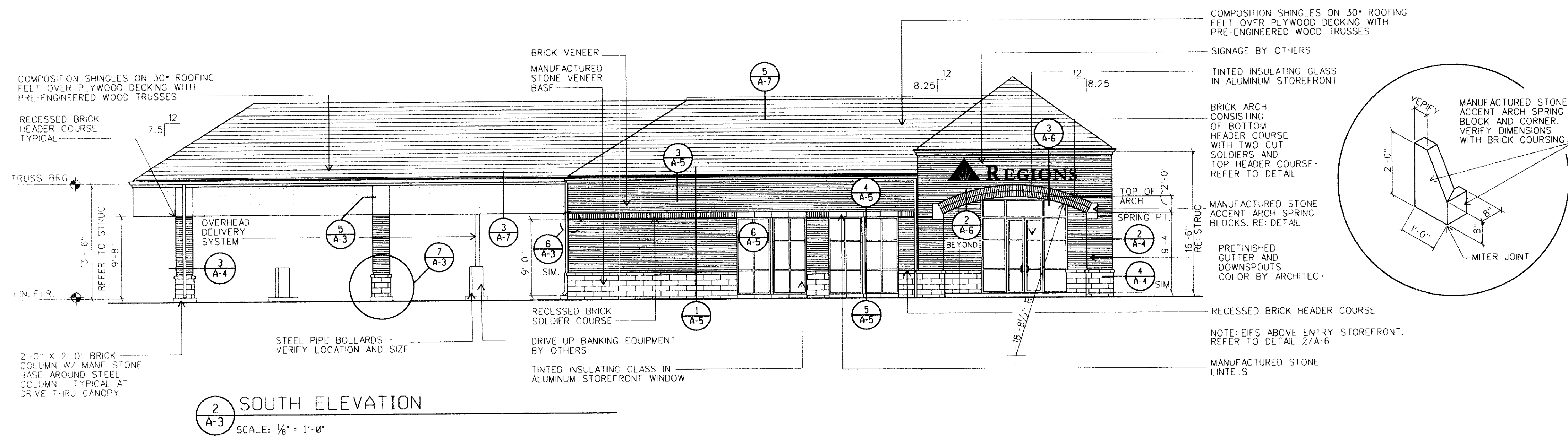




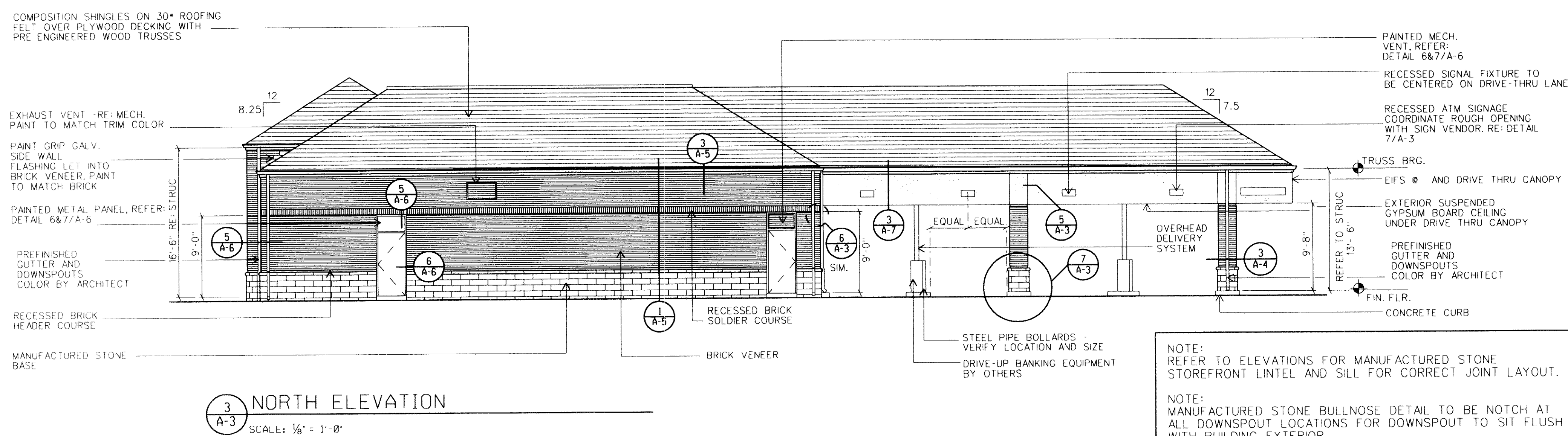
NOTE: PROVIDE SMOOTH NOTCH AREA IN MANUFACTURED STONE BASE AND BULLNOSE FOR NIGHT DEPOSIT AND DEAL DRAWER TO SIT FLUSH WITH FACE OF BRICK.



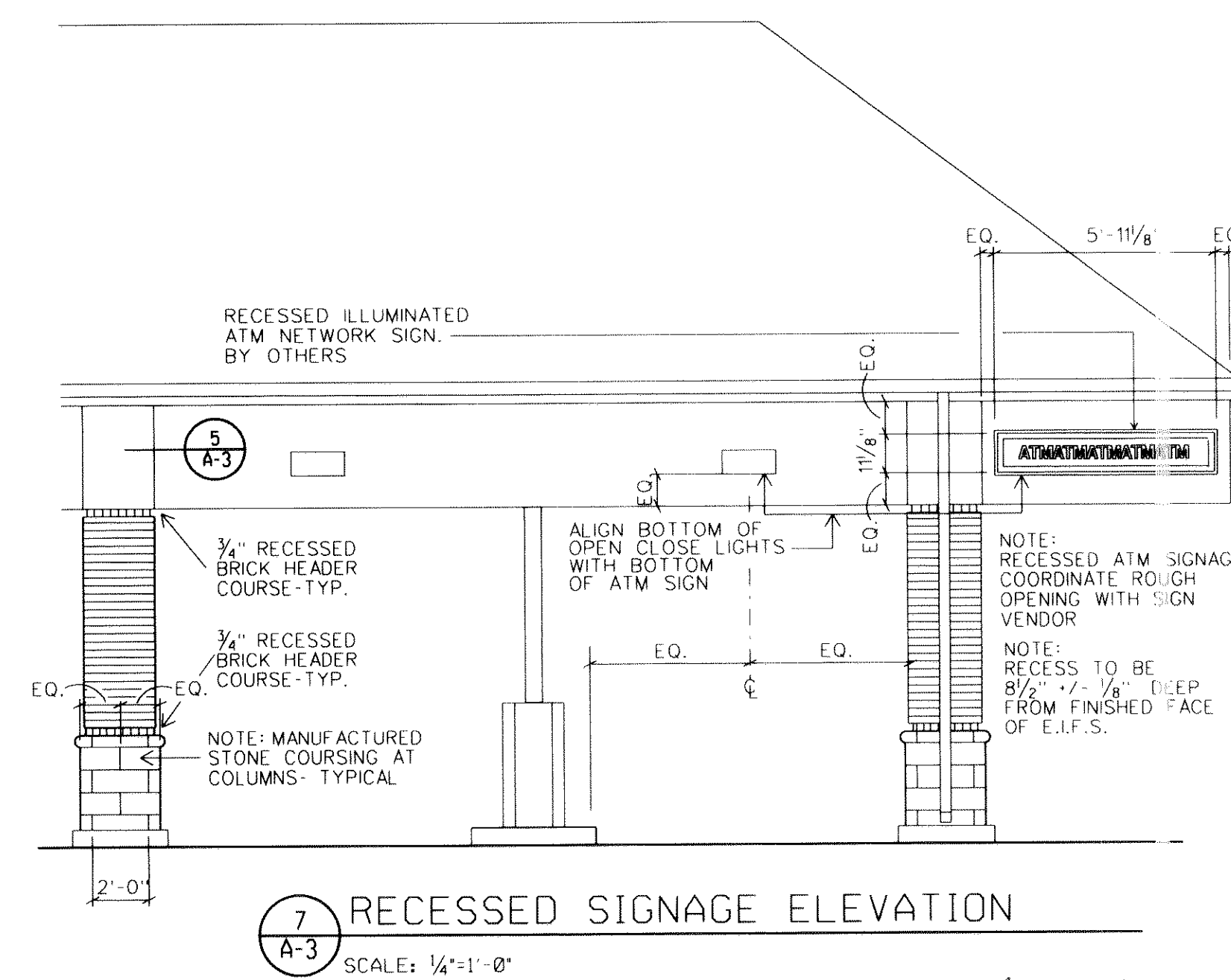
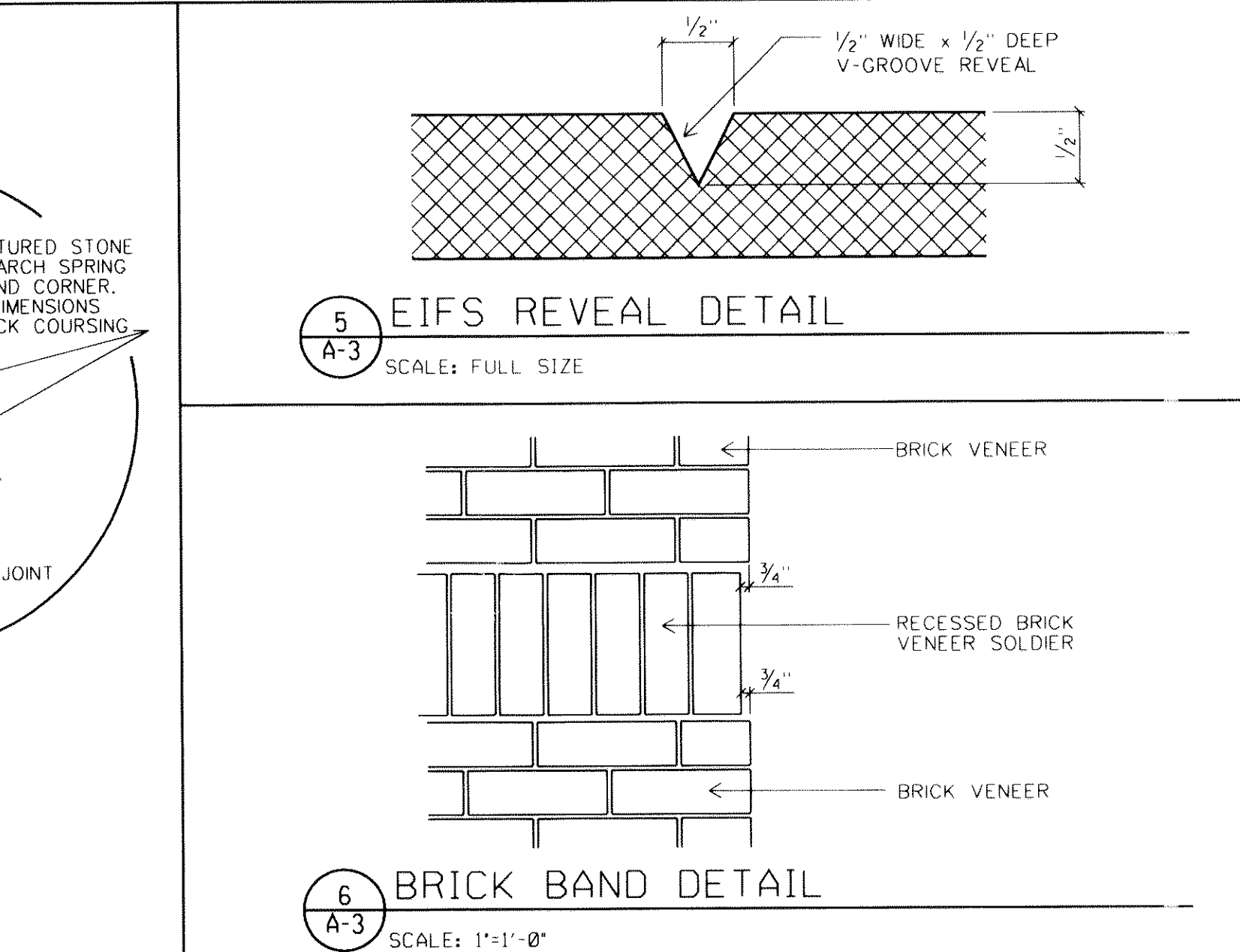
NOTE: PROVIDE SMOOTH NOTCH AREA IN MANUFACTURED STONE BASE AND BULLNOSE FOR NIGHT DEPOSIT AND DEAL DRAWER TO SIT FLUSH WITH FACE OF BRICK.



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12-A-07-UR

pka

ARCHITECTS

2101 FIRST AVENUE NORTH
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BIRMINGHAM, ALABAMA 35203

205-252-8222 205-252-8899 FAX

REGIONS HARDIN VALLEY ROAD
KNOXVILLE, TENNESSEE
REGIONS NO. TNNE06157DN

JOI NUMBER	07-147
SH:ET TITLE	EXTERIOR ELEVATIONS
DATE	4-20-07
DRAWN BY	JTM
CHECKED BY	PMK
REVISIONS	
SET NUMBER	A-3