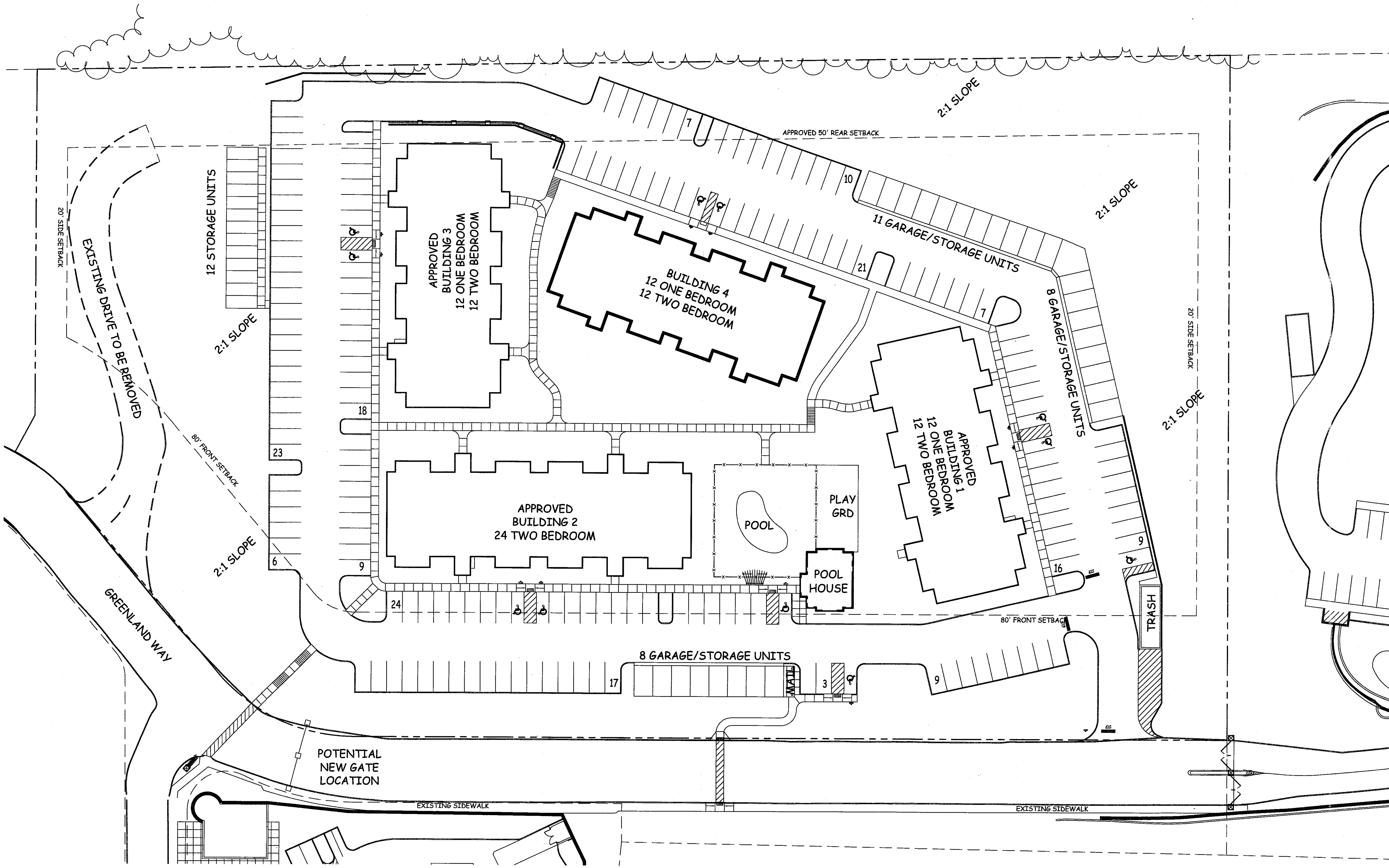


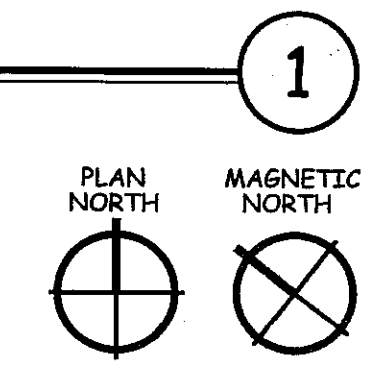


SITE PLAN
SCALE: 1" = 30'-0"

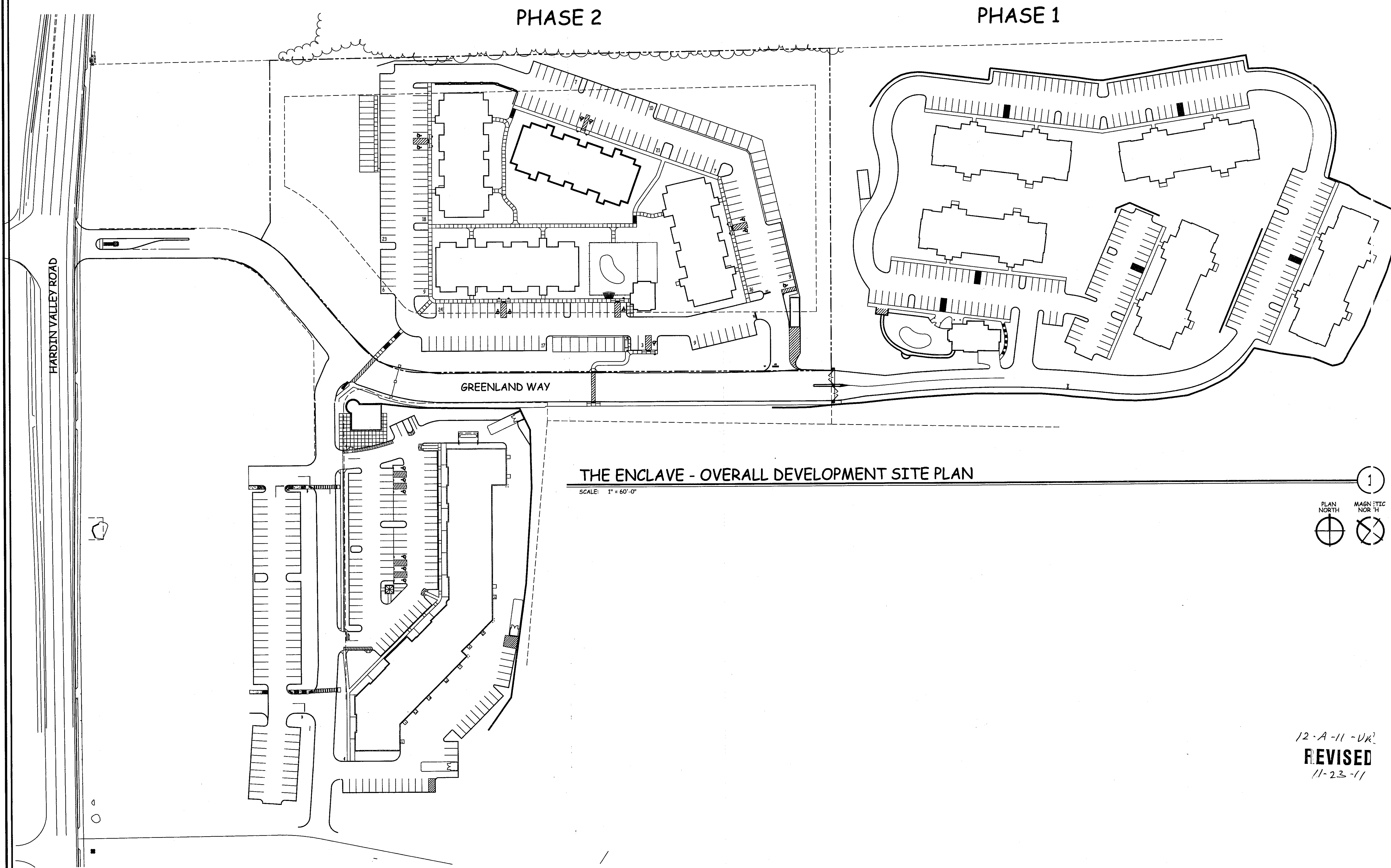
SITE CALCULATIONS	
G.A.C. EXTERIOR FOOTPRINT OF ALL BUILDINGS:	55,656sf / 317,988sf SITE AREA = 17%
F.A.R.* PHASE 2 PROPOSED OCCUPABLE AREA:	103,474sf / 317,988sf SITE AREA = 32.5%
PHASE 1 EXISTING OCCUPABLE AREA:	130,820sf / 3512,400sf SITE AREA = 25.5%
COMBINED PHASE 1 & 2 OCCUPABLE AREA:	1234,294sf / 830,388sf SITE AREA = 28.2%
*NOTE: F.A.R. CALCULATIONS INCLUDED ALL BUILDINGS.	

SITE CALCULATIONS	
IMPERVIOUS AREA TOTAL SITE AREA - 7.3 ACRES IMPERVIOUS AREA - 4.6 ACRES	4.6 / 7.3 = 63%

DENSITY CALCULATIONS		
PHASE 1 SITE AREA - 11.77 ACRES PHASE 1 TOTAL UNITS - 140 UNITS PER ACRE - 11.89	PHASE 2 SITE AREA - 7.3 ACRES PHASE 2 TOTAL UNITS - 96 UNITS PER ACRE - 13.15	COMBINED SITE AREA - 19.9 ACRES* COMBINED TOTAL UNITS - 236 UNITS PER ACRE - 11.86



GENERAL SITE NOTES	
UNIT COUNT:	96 TOTAL UNITS (60 TWO BEDROOM, 36 ONE BEDROOM)
PARKING REQUIRED:	1.5 SPACES FOR EACH 2 BEDROOM UNIT = 90 SPACES 1 SPACE FOR EACH 1 BEDROOM UNIT = 16 SPACES = 106 TOTAL MINIMUM SPACES = 186 TOTAL MINIMUM SPACES (MIN X 1.75)
PARKING SHOWN:	HANDICAP = 11 REGULAR = 168 OVERALL TOTAL = 179 SPACES

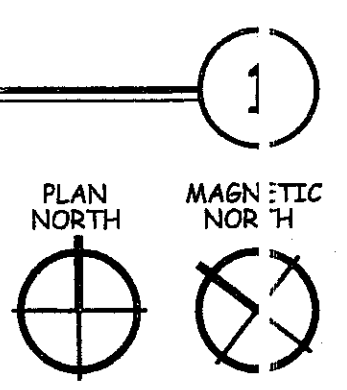


PHASE 2

PHASE 1

THE ENCLAVE - OVERALL DEVELOPMENT SITE PLAN

SCALE: 1" = 60'-0"



NOT FOR
CONSTRUCTION

THE ENCLAVE APARTMENTS
PHASE 2

GREENLAND WAY
KNOXVILLE, TN 37923

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Drawing Title:

Date: 11/04/2011

Designed By:
Drawn By:
Reviewed By:

Comm. No. BP110212

Revisions:

12-A-11-VR
REVISED
11-23-11

Sheet:
of
Sheet
No.

N.T.S.



20.0' SIDE SETBACK

1 LIGHT DUTY ASPHALT PAVING: -DETAIL 5/C1.2
6" BASE COURSE
2" BINDER COURSE
1 1/2" TOP COURSE

- | | | | |
|----|---|----|---|
| 2 | 4" THICK CONCRETE WALK WITH 6x6 10/10 WELDED WIRE MESH ON 4" CRUSHED STONE BASE. PROVIDE CONTRACTION JOINTS AT 5'-0" O.C. MAX. AND EXPANSION JOINTS AT 30'-0" O.C. MAX., BROOM FINISH - SEE DETAILS 3/1,2 AND 4/1,2 | 18 | END OF NEW CONC. CURB, TIE INTO EXISTING |
| 3 | CONDENSER UNITS ON 3'-0" x 2'-6" CONCRETE PAD - MIN. 3-1/2" PAD W/ 6x6 10/10 W.W.M. | 19 | PLAYGROUND AREA |
| 4 | 6" MACHINE FORMED CONCRETE CURB - SEE DETAIL 1/1,2 | 20 | PEDESTRIAN CROSSWALK - SEE DETAIL 10/1,2 |
| 5 | POLE MOUNTED HANDICAP SIGN - SEE DETAIL 12/1,2 | 21 | LIGHTPOLE - COORDINATE WITH ELECTRICAL PLANS |
| 6 | HANDICAPPED SYMBOL, COLOR TO BE BLUE - SEE DETAIL 8/1,2 | 22 | NEW FIRE HYDRANT - SEE SHEET C4.5 |
| 7 | STRIPED HANDICAPPED ACCESS AISLE, 4" PAINTED STRIPES, COLOR TO BE BLUE | 23 | NEW PAD MOUNTED TRANSFORMER |
| 8 | CONCRETE HANDICAPPED RAMP - SEE DETAIL 1/1,3 | 24 | EXISTING FIRE HYDRANT |
| 9 | 4" WIDE PAINT STRIPES - COLOR TO BE WHITE | 25 | ELECTRICAL METER STATION |
| 10 | PAINTED STOP BAR - SEE DETAIL 9/1,2 | 26 | CATCH BASIN, COORDINATE LOCATION WITH SHEET C3.1 |
| 11 | AREAS DISTURBED BY CONSTRUCTION OR PAVING TO RECEIVE SEED, SOD OR LANDSCAPING, COORDINATE WITH SHEET C3.1 | 27 | NEW GUARDRAIL - SEE DETAIL 2/1,3 |
| 12 | POLE MOUNTED STOP SIGN SEE DETAIL 14/1,2 | 28 | ALL FENCE GATES SHALL HAVE REQUIRED LATCHING WITH RELEASE KNOB @ 55" A.F.F. |
| 13 | STACKED BLOCK RETAINING WALL - DESIGN BY WALL VENDOR. | 29 | NEW SANITARY MANHOLE |
| 14 | CONCRETE HANDICAPPED RAMP WITH FLARED SIDES - SEE DETAIL 11/1,2 | 30 | CURB CUT WITH COVER PLATE OVER 18" WIDE DRAINAGE DITCH FOR PEDESTRIAN TRAFFIC - DETAIL 4/1,2 |
| 15 | COMPACTOR ENCLOSURE - SEE SHEET A8.1 | 31 | 6" CONCRETE PAVING W/ 6x6 10/10 W.W.M. ON CRUSHED STONE BASE. PROVIDE CONTRACTION JOINTS AT 20'-0" MAX. |
| | | 32 | CONCRETE TURNDOWN - SEE DETAIL 2/1,2 |

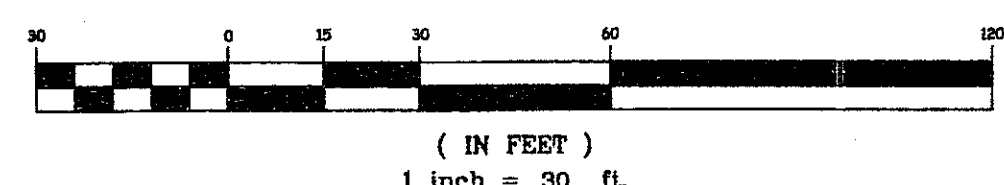
6.C. IS TO COORDINATE THE BUILDING FOUNDATION PLAN WITH THE SITE PLAN C1.1 AND THE GRADING PLAN C2.1, VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION, AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE START OF CONSTRUCTION

SEE SITE UTILITY PLAN SHEET C4.1 FOR LOCATIONS OF NEW WATER LINE AND
SANITARY SEWER LINE.
SEE ELECTRICAL SITE PLAN SHEET ES.1 FOR LOCATIONS OF NEW SITE
LIGHTING. G.C. TO COORDINATE ES.1 WITH C1.1.
G.C. IS TO COORDINATE ALL SITE GRADING AND DRAINAGE W/ DEVELOPER
AND DEVELOPER'S ENGINEER TO ENSURE PROPER SITE DRAINAGE.

BEFORE YOU
DIG
STOP
CALL
1-800-351-1111
TENNESSEE ONE CALL
IT'S THE LAW

SCALE: 1" = 30'-0"

(IN FEET)
1 inch = 30 ft



MAGNETIC
NORTH

A compass rose with four points. The top-left point is shaded black, indicating magnetic north. The other points are white with black outlines.

A NEW DEVELOPMENT FOR:

DEVELOPMENT FOR:
**THE ENCLAVE APARTMENTS
PHASE 2**

GREENLAND WAY
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☐	DESIGN DEVELOPMENT
☐	CONSTRUCTION DOCUMENTS

Drawing Title:
SITE PLAN

Date: 10/31/11

Designed By: RBM
Drawn By: DMR
Reviewed By: LTC

Comm. No. BP110212

Revisions:

Sheet: Sheet
of No.
C1.1

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999 N. WETSGARBER RD.
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37719

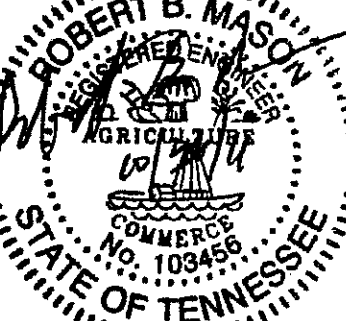
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1. EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE A MINIMUM REQUIREMENT.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, MODIFYING AND ADDING EROSION CONTROL MEASURES DURING CONSTRUCTION TO KEEP SILT FROM EXITING THIS SITE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL APPLICABLE PERMITS AND COMPLYING WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS RELATED TO SITE GRADING AND STORMWATER RUNOFF.
3. EROSION CONTROL SHALL BE MAINTAINED UNTIL PAVING IS COMPLETED AND LAWNS HAVE BEEN ESTABLISHED.
4. CONTRACTOR TO FIELD VERIFY ROAD GRADES PRIOR TO CONSTRUCTION.
5. CONTRACTOR TO COORDINATE ALL NEW SITE GRADING WITH OWNER'S REP. ENGINEER PRIOR TO CONSTRUCTION IN ORDER TO ENSURE PROPER COHESION WITH OVERALL SITE DRAINAGE PLAN.
6. THE MINIMUM SLOPE FOR PARKING, SIDEWALKS, AND LANDSCAPED AREAS IS 1%. CONTRACTOR SHALL NOTIFY ENGINEER IF SLOPES ARE LESS THAN 1%.
7. ADJUST SWALES AS NECESSARY TO MAINTAIN POSITIVE DRAINAGE AWAY FROM THE FUTURE BUILDING FOUNDATIONS.
8. MAXIMUM SLOPE IN HANDICAP PARKING AREAS IS 2%. NOTIFY ENGINEER IF SLOPE EXCEEDS 2% IN THIS AREA. MAXIMUM SIDEWALK SLOPE IS 5%. SLOPE SIDEWALKS AWAY FROM BUILDING AT 2% UNLESS OTHERWISE NOTED.
9. SEED AND MULCH DISTURBED AREAS IMMEDIATELY AFTER CONSTRUCTION.
APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND FINAL GRADING OF EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS, WHICH SHOW SIGNS OF EXCESSIVE EROSION.
10. DRAINAGE STRUCTURE INVERTS TO BE VERIFIED PRIOR TO COMMENCEMENT OF WORK.
11. CONTRACTOR TO FIELD VERIFY VERY CRITICAL GRADES AT ENTRANCES PRIOR TO CONSTRUCTION.
12. VERIFY EXACT SIZE DEPTH AND LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
13. UNLESS OTHERWISE NOTED, ELEVATIONS SHOWN REPRESENT FINISHED GRADES. CONTRACTOR SHALL ADJUST FOR PAVEMENT SECTIONS, BUILDING FOUNDATIONS, ETC.
14. ADJUST CATCH BASIN TOPS AS NECESSARY TO MATCH FINAL GRADES.
15. RIPRAP FOR SPILLWAYS SHALL BE 5" TO 12" DIAMETER WITH A MEAN DIAMETER OF 8"
16. CONTRACTOR IS SOLELY RESPONSIBLE FOR JOBSITE SAFETY; INCLUDING BUT NOT LIMITED TO COMPLIANCE WITH ALL APPLICABLE OSHA REGULATIONS
17. NO SLOPE SHALL BE STEEPER THAN 2(H):1(V)
18. ALL WATER DISCHARGED FROM EXCAVATIONS AND TEMPORARY SEDIMENT PONDS SHALL BE FILTERED USING SEDIMENT CONTROLS ACCEPTABLE TO TDEC. SEE APPENDIX O OF THE SWPPP FOR ACCEPTABLE ALTERNATIVES.
19. CONTRACTOR PERFORM TWICE WEEKLY INSPECTIONS OF SEDIMENT CONTROL STRUCTURES A MINIMUM OF 72 HOURS APART. SEE THE PROJECT SWPPP FOR ADDITIONAL INFORMATION.
20. CONTRACTOR REMOVE SEDIMENT FROM SEDIMENT CONTROL BMPs WHEN CAPACITY IS REDUCED TO 50%. SEE THE PROJECT SWPPP FOR ADDITIONAL INFORMATION.
21. CONTACT MARTY MASON AT SUPERIOR DRAINAGE PRODUCTS, INC., KNOXVILLE, TN (865) 637-0069

EXISTING PROPERTY LINE

1042

EXISTING CONTOUR

1042

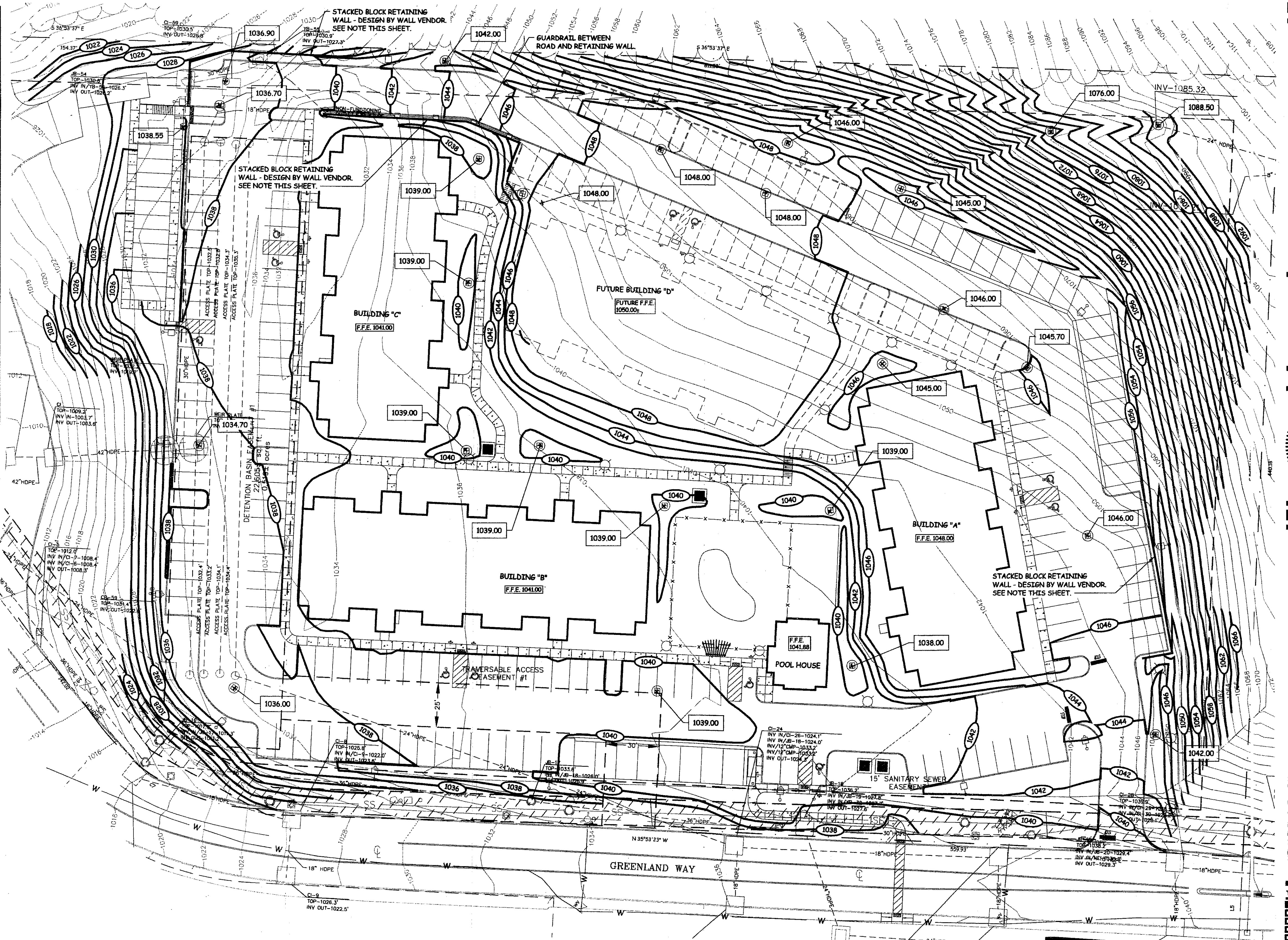
FINISH CONTOUR

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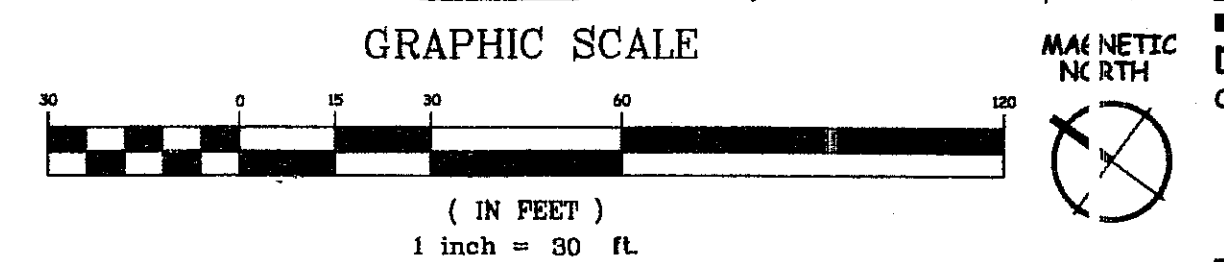
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FINISH SPOT GRADE

BEFORE YOU
DIG
STOP
CALL
1-800-351-1111
MINNESOTA ONE CALL
IT'S THE LAW



SCALE: 1" = 30'-0"

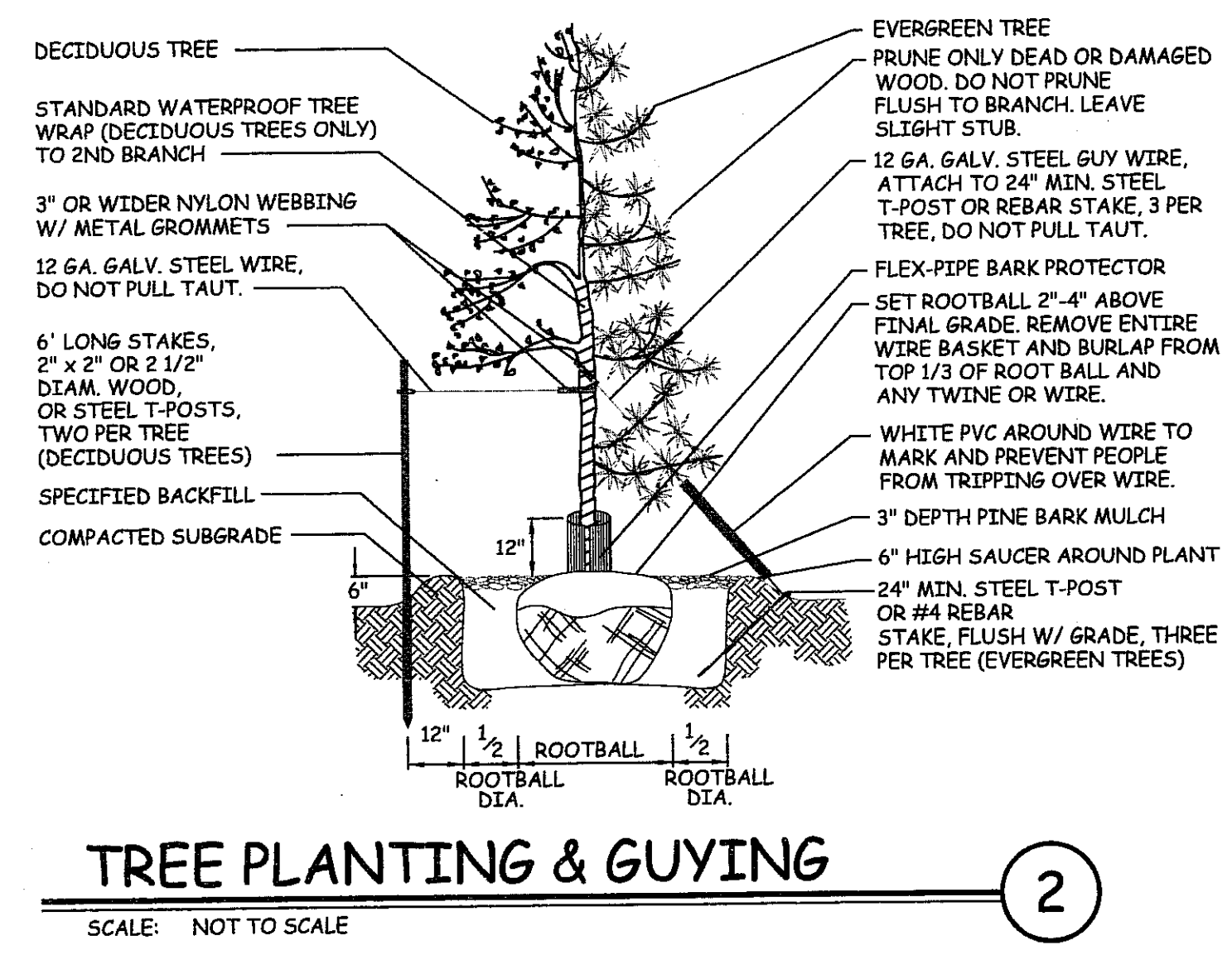


12-A-11-VR
REVISED
11-23-11

PHASE 2
GREENLAND WAY
KNOXVILLE, TN 37923

Sheet
No. **C2.1**

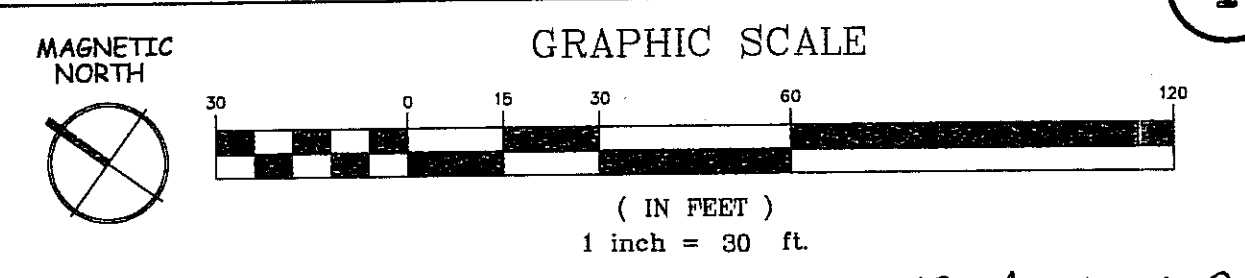
- LANDSCAPE NOTES**
- CARE IS TO BE TAKEN TO PROTECT ALL UNDERGROUND UTILITIES. THE GENERAL CONTRACTOR IS TO VERIFY AND MARK THE EXACT LOCATION OF ALL EXISTING UTILITIES (WATER, SEWER, GAS, ELECTRIC, SEPTIC TANKS, ETC.)
 - SOIL USED IN THE BACKFILL OF PLANTING PITS AND LANDSCAPE BEDS SHALL BE CLEAN AND WEED FREE, AND SHALL BE MIXED WITH 25% PEAT MOSS/PINE BARK BY VOLUME.
 - 12-6-6 PENNINGTON NURSERY FERTILIZER OR EQUAL SHALL BE USED IN ALL PLANTING PITS.
 - HERBICIDE, TREPLAN OR EQUAL TO BE APPLIED TO PLANTING BEDS FOR NOXIOUS WEED CONTROL.
 - ALL PLANTING BEDS TO HAVE A MINIMUM 3" OF PINE BARK MULCH.
 - PRESSURE TREATED WOODEN STAKES SHALL BE USED FOR TREES OVER 2" CALIPER OR IN AREAS WHERE HEAVY WIND IS A FACTOR.
 - ALL LANDSCAPING MATERIAL SHALL BE INSTALLED IN A PROFESSIONAL MANNER, AND ACCORDING TO ACCEPTED PLANTING PROCEDURES.
 - TOPSOIL FURNISHED BY THE OWNER OR LANDSCAPE CONTRACTOR SHALL BE NATURAL FERTILE FRIABLE SOIL POSSESSING CHARACTERISTICS REPRESENTATIVE OF PRODUCTIVE SOILS IN THE AREA. SOIL SHALL NOT BE EXCESSIVELY ACIDIC, ALKALINE OR TOXIC THAT IT MAY BE HARMFUL TO PLANT GROWTH. TOPSOIL SHOULD BE FREE OF CLAY LUMPS, STONES, STUMPS, ROOTS, OR SUBSTANCE 2" OR MORE IN DIAMETER.
 - ALL TREES RETAINED OR NEW SHALL BE PROPERLY MAINTAINED TO ENSURE THEIR SURVIVAL FOR 12 MONTHS AFTER DATE OF SUBSTANTIAL COMPLETION. ANY TREE WHICH FAILS TO SURVIVE AFTER 12 MONTHS SHALL BE REPLACED WITHIN 9 MONTHS OF LOSS.
 - LAWN QUALITY SHALL BE PROVIDED WITH FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSIS OF SEED VENDOR'S CERTIFIED STATEMENT FOR EACH GRASS SEED MIXTURE.
 - PROJECT CONDITIONS PROCEED WITH AND COMPLETE LAWNS AND GRASSES AS RAPIDLY AS PORTIONS OF SITE BECOME AVAILABLE. FERTILIZER WITH COMMERCIAL PERCENTAGE TO BE DETERMINED WITH ANALYSIS AND SEASON OF INSTALLATION. LIME TO BE NATURAL DOLOMITIC LIMESTONE CONTAINING NOT LESS THAN 85% OF TOTAL CARBONATE WITH MINIMUM OF 30% MAGNESIUM CARBONATES. SOD TYPE SHALL BE STRONGLY ROOTED, FRESHLY CULTIVATED SOD, NOT LESS THAN 1 YEAR OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASSES.
 - PROPOSED PLANT MATERIAL WILL NOT INTERFERE WITH ANY EXISTING AND/OR PLANNED UNDERGROUND OR OVERHEAD UTILITIES.
 - APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND FINAL GRADING OF EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR.
 - APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
 - APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS, WHICH SHOW SIGNS OF EXCESSIVE EROSION.
 - THE GUYING OF TREES IS OPTIONAL BUT, THE LANDSCAPE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR THE STABILITY AND PLUMB CONDITION OF ALL TREES AND SHRUBS AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY THE INSTABILITY OF ANY PLANT MATERIALS. THE GUYING DETAILS #2, 4, & 5 ARE AN APPROVED METHOD OF TREE GUYING, OR EQUAL.
 - CONTRACTOR SHALL ADHERE TO ALL LOCAL LANDSCAPE ORDINANCES.



LANDSCAPE PLAN

SCALE: 1" = 30'-0"

- ANNUALS AND GROUNDCOVER TO BE CHOSEN BY OWNER.
- HARDWOOD MULCH TO BE USED ON ALL ANNUAL AND GROUNDCOVER BEDS.



PLANT SCHEDULE					
TREES	BOTANICAL/COMMON	CONT.	CAL.	SIZE	QTY.
ACE GLO	Acer rubrum 'October Glory' / 'October Glory' Maple	B & B	4" Cal.	12'-15' OA	22
JUN EAS	Juniperus virginiana / Eastern Red Cedar	B & B		12'-14' OA	61
PIN STR	Pinus strobus / White Pine	B & B	4" Cal.	6'-8' OA	16
QUE PHE	Quercus phellos / Willow Oak	65 gal.	3.5" Cal.	12' OA	8
QUE SHU	Quercus shumardii / Shumard Red Oak	65 gal.	3.5" Cal.	12' OA	12
YEL WD	Cladrasis kentuckea / American Yellowwood	B & B	4" Cal.	6'-8' OA	7
SWT MAG	Magnolia virginiana / Sweetbay Magnolia	B & B	4" Cal.	6'-8' OA	6
BLU SPR	Picea pungens / Colorado Blue Spruce	B & B	4" Cal.	6'-8' OA	30

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THE ENCLAVE APARTMENTS
PHASE 2

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☐ CONSTRUCTION DOCUMENTS

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LANDSCAPE PLAN

Date: 09/16/11

Designed By: DMR
Drawn By: DMR
Reviewed By: TDB

Comm. No. BP110212

Revisions:
REVISTON #2 10/5/11

Sheet:
of

Sheet No.
C5.1



TYPICAL EXTERIOR ELEVATIONS - BUILDING 2

SCALE: 1" = 30'-0"

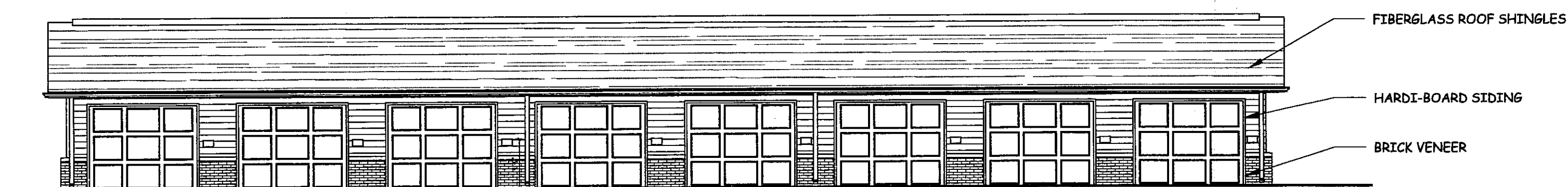
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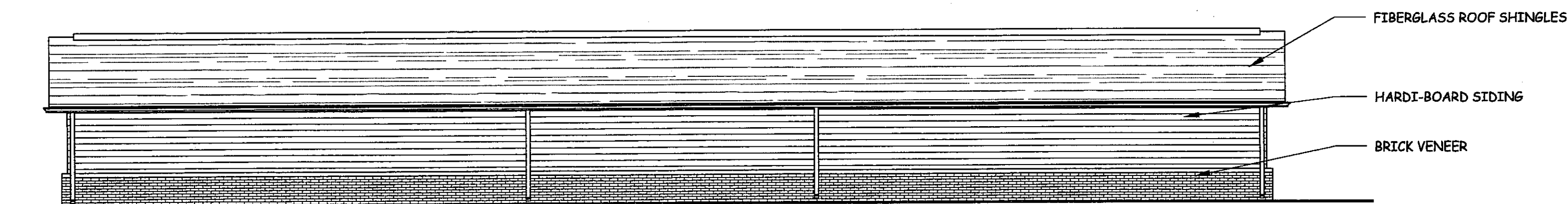
TYPICAL EXTERIOR ELEVATIONS - BUILDINGS 1 AND 3

SCALE: 1/8" = 1'-0"

2



FRONT



BACK

TYPICAL GARAGE ELEVATIONS

SCALE: 1/8" = 1'-0"

1

FIBERGLASS ROOF SHINGLES

STONE VENEER

BRICK VENEER

POOL SIDE

STREET SIDE

12-A-11-UR

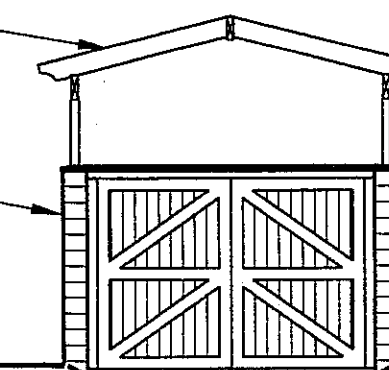
CLUBHOUSE ELEVATIONS

SCALE: 1/8" = 1'-0"

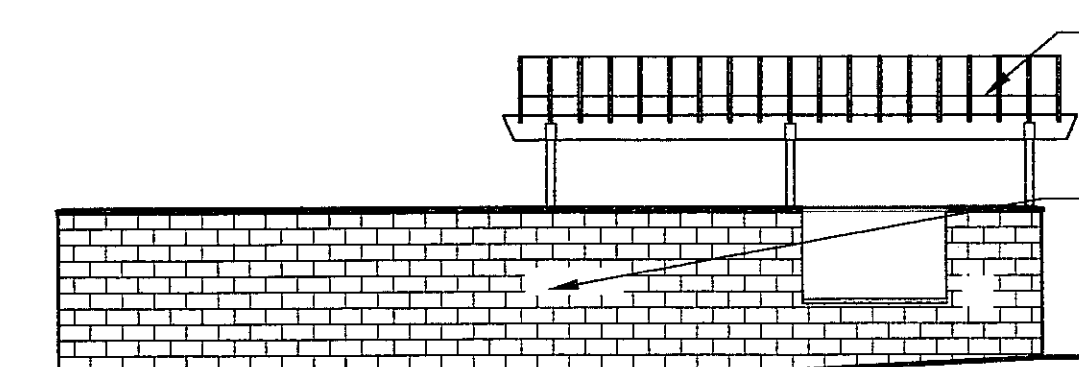
3

PAINTED WOOD TRELLIS

SPLIT FACE CMU, PAINTED



FRONT



SIDES

PAINTED WOOD TRELLIS

SPLIT FACE CMU, PAINTED

TRASH ENCLOSURE ELEVATIONS

SCALE: 1/8" = 1'-0"

3

A NEW DEVELOPMENT FOR:

THE ENCLAVE APARTMENTS
PHASE 2

GREENLAND WAY
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Drawing Title:

EXTERIOR ELEVATIONS

Date: 10/19/11

Designed By:

Drawn By:

Reviewed By:

Comm. No. BP110212

Revisions:

Sheet:

of

Sheet

No.

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