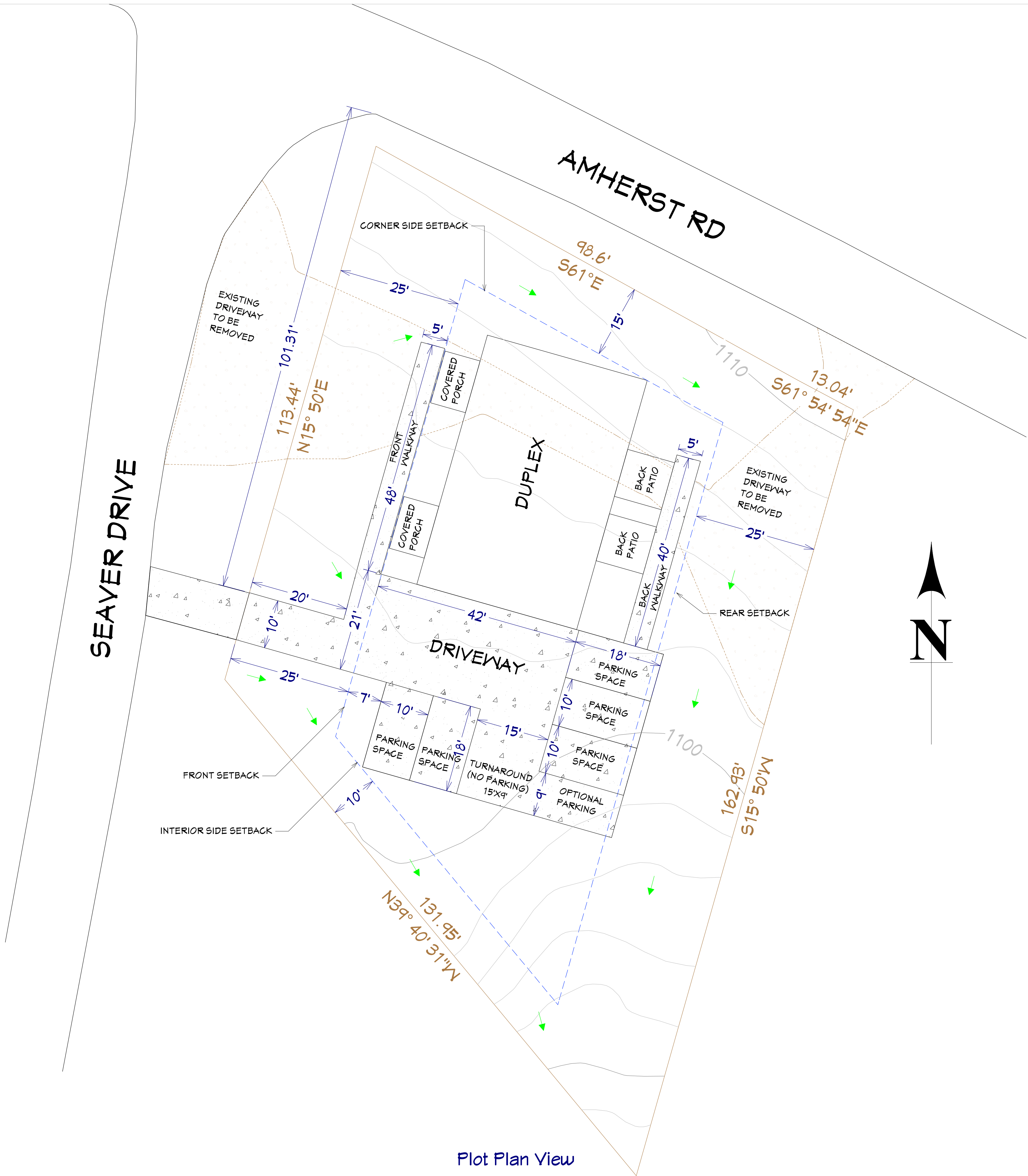
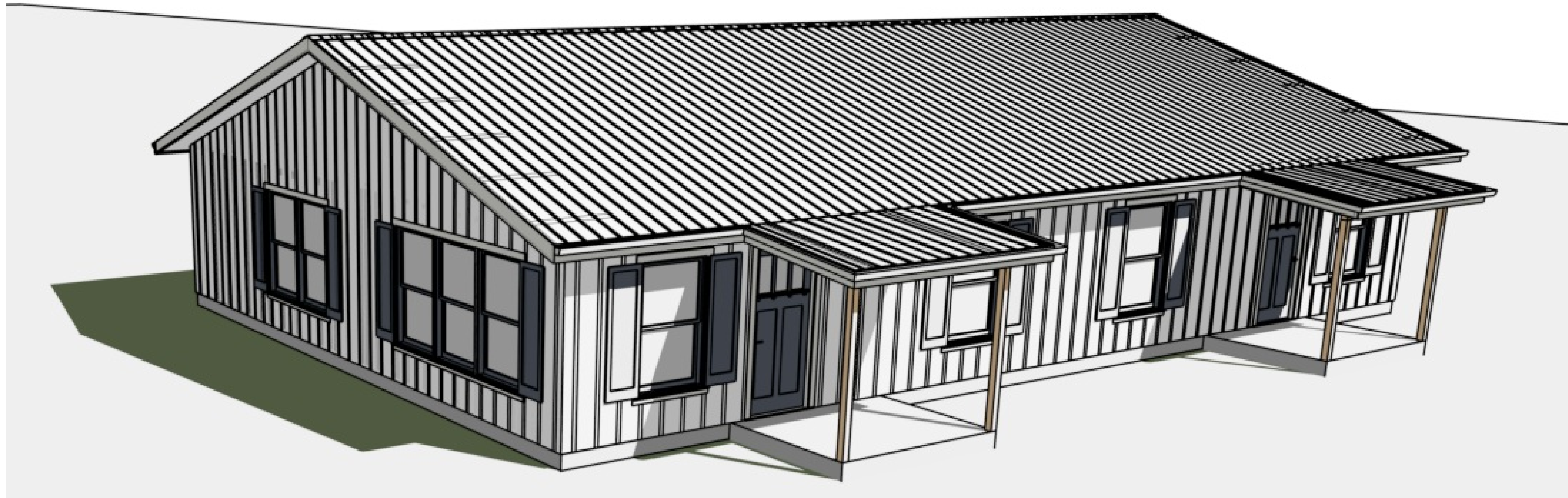


PROPERTY STATISTICS NOTES

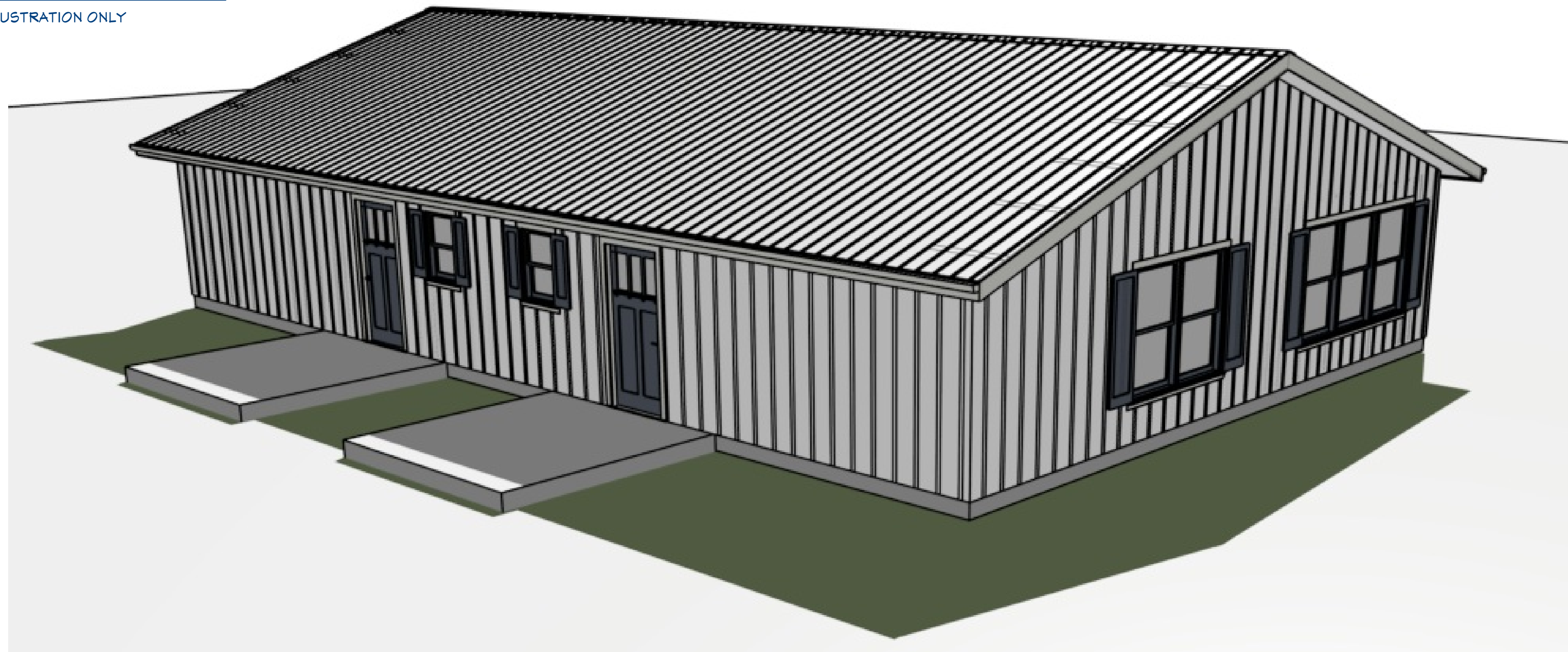
- 1. LOT SIZE: 15,018 SQFT
- 2. BLDG ENVELOPE:1,802 SQFT
- 3. ROOF: 2,035 SQFT
- 4. FRONT/REAR HEIGHT: 14' +/-
- 5. GARAGE: NONE
- 6. COVERED PORCHES: 165 SQFT
- 7. BACK PATIOS: 200 SQFT
- 8. DRIVEWAY: 1,322 SQFT
- 9. TURNAROUND: 135 SQFT
- 10. PARKING: 1,062 SQFT
- 11. WALKWAY: 440 SQFT
- 12. IMPERVIOUS SURFACE COVERAGE: 5,359 +/- SQFT
- 13. FINISHED FLOOR ELEVATION: 1114.0' +/-
- 14. DRIVEWAY / WALKWAY MATERIAL: CONCRETE
- 15. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS. THE GRADE SHALL FALL NOT FEWER THAN 6 INCHES WITHIN THE FIRST 10 FEET.

12-A-22-SU
11/18/2022

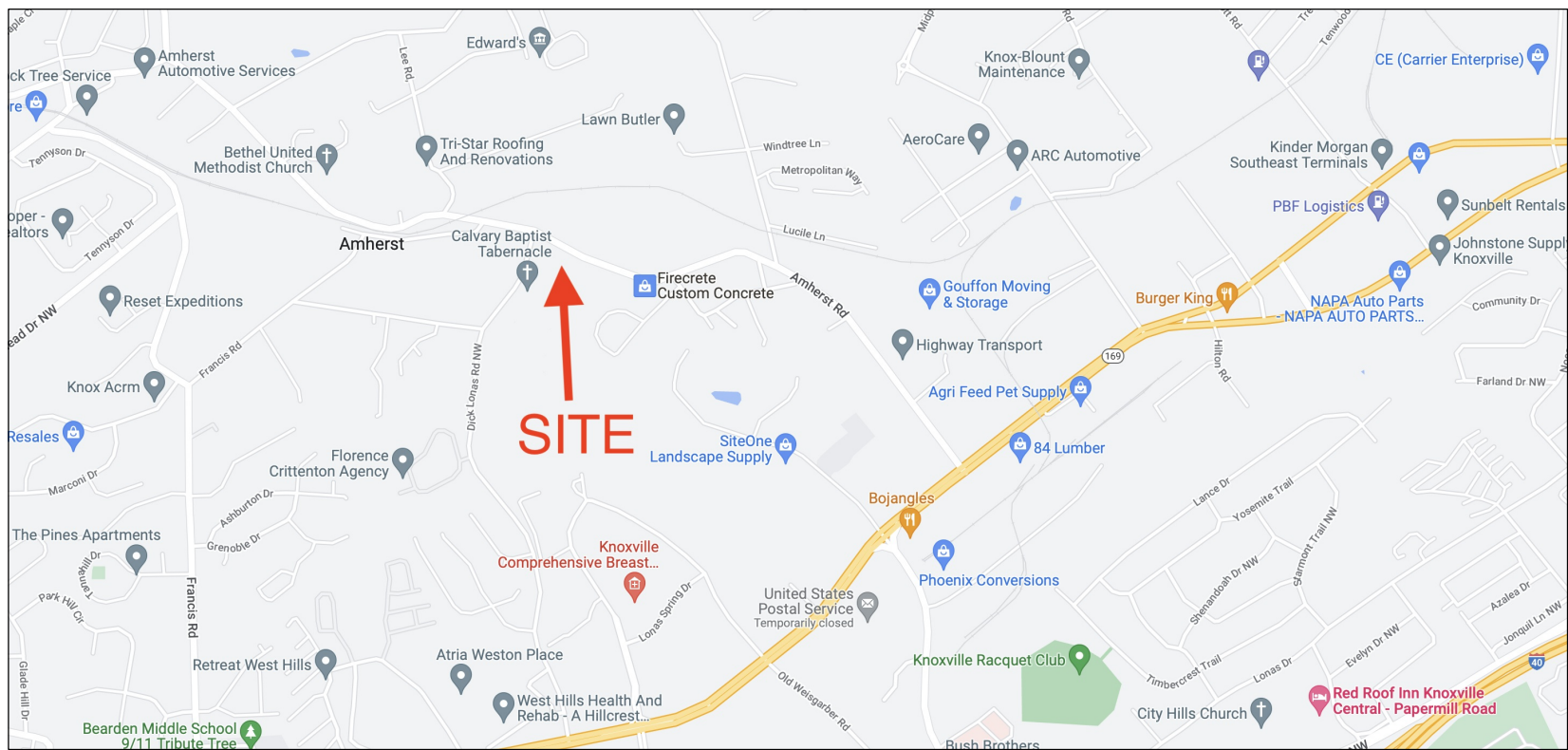




FRONT RENDERING
FOR ILLUSTRATION ONLY



REAR RENDERING
FOR ILLUSTRATION ONLY



VICINITY MAP

12-A-22-SU
11-18-2022

GENERAL NOTES:

THIS PLAN SET, COMBINED WITH THE BUILDING CONTRACT, PROVIDES BUILDING DETAILS FOR THE RESIDENTIAL PROJECT. THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES. CONTRACTOR SHALL BE RESPONSIBLE AND BEAR ANY FINES OR PENALTIES FOR CODE, ORDINANCE, REGULATION OR BUILDING PROCESS VIOLATIONS. INSURANCES SHALL BE IN FORCE THROUGHOUT THE DURATION OF THE BUILDING PROJECT.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/ DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS). ALL TRADES SHALL MAINTAIN A CLEAN WORK SITE AT THE END OF EACH WORK DAY.

Layout Page Table			
Label	Title	Description	Comments
P-1	Project Overview		
P-2	Floor Plan		
P-3	Framing, Floor, Ceiling & Roof Plan View		
P-4	Elevations		

OWNER: CLETUS E. LONG

PROJECT: DUPLEX

ADDRESS: 6900 SEAVER DR, KNOXVILLE, TN 37909

LEGAL:

FIRE DISTRICT: KNOXVILLE CITY

WATER/SEWER: KUB

ZONING / PLANNING: RN1

ENGINEERING:

STORM WATER PERMIT:

BUILDING PERMIT:

REVISION TABLE	
NUMBER	DESCRIPTION

6900 SEAVER DR,
KNOXVILLE, TN 37909

Project Overview

DRAWINGS PROVIDED BY:
STRAIGHT PATH CONSTRUCTION SERVICES, LLC
2400 CASPIAN DR KNOXVILLE, TN 37632

DATE:
SEP 2022

SHEET:
P-1



Floor Plan View Dimensioned

REVISION TABLE		REVISION BY	DESCRIPTION
NUMBER	DATE		

6900 SEAVER DR,
KNOXVILLE, TN 37909

Floor Plan

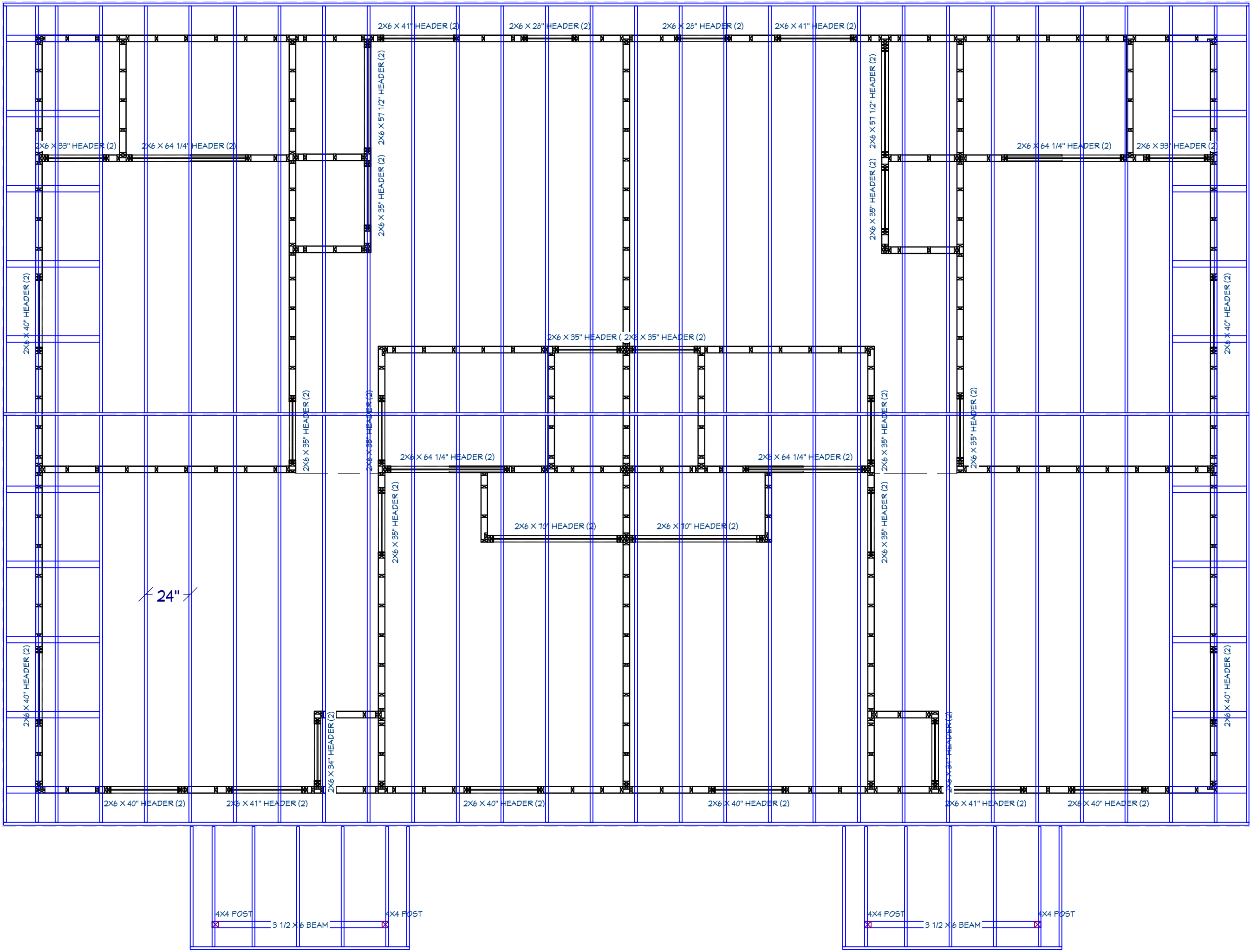
DRAWINGS PROVIDED BY:
STRAIGHT PATH CONSTRUCTION SERVICES, LLC.
2400 CASPIAN DR KNOXVILLE, TN 37932

DATE:

SEP 2022

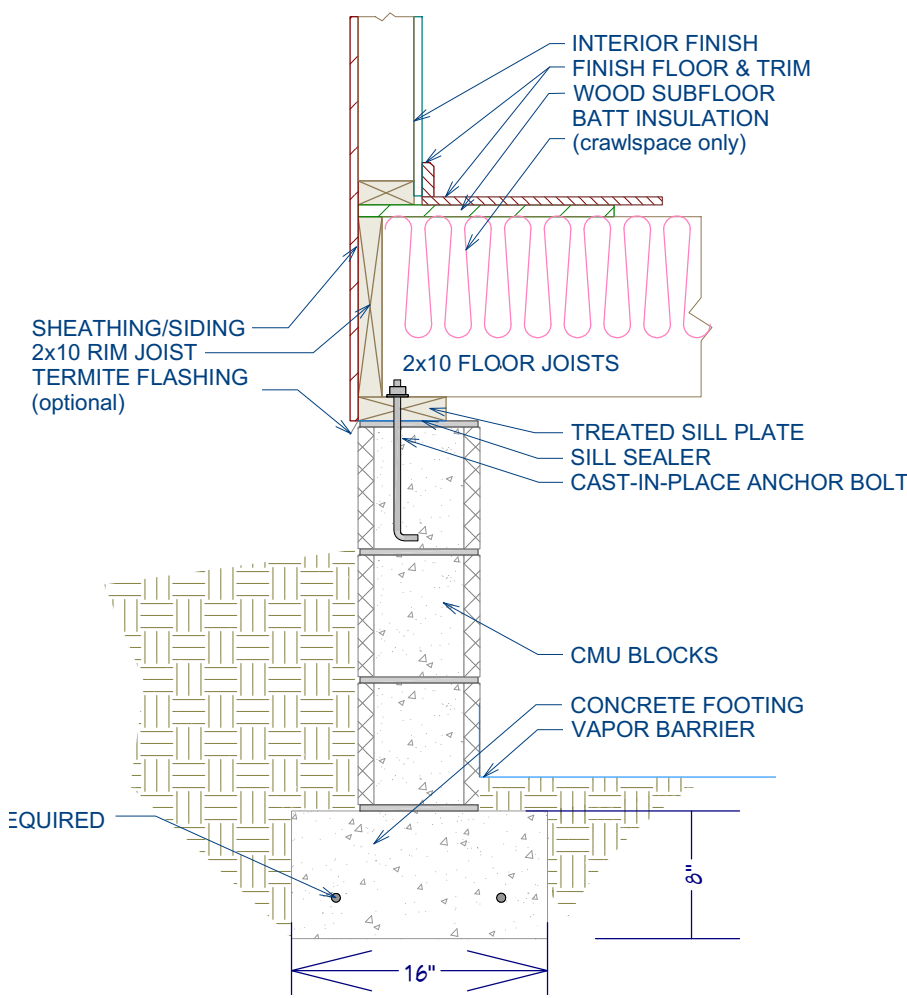
SHEET:

P-2



Framing, Roof Plan View

1. All load-bearing walls shall be placed on continuous concrete footings placed integrally with the exterior wall footings.
2. The minimum actual thickness of a load-bearing masonry wall shall be not less than 4 inches (102 mm) nominal or 3 1/2 inches (92 mm) actual thickness, and shall be bonded integrally with piers spaced in accordance with Section R606.6.4.
3. Piers shall be constructed in accordance with Sections R606.7 and R606.7.1, and shall be bonded into the load-bearing masonry wall in accordance with Section R606.13.1 or R606.13.1.1.



Foundation Detail

- ANCHOR BOLTS:**
SECTION R403.1.6, 2018 IRC: 1/2" (OR LARGER) DIAMETER ANCHOR BOLTS EMBEDDED 7" MINIMUM INTO CONCRETE OR GROUTED CELLS OF CONCRETE MASONRY UNITS AND SPACED 6 FEET ON CENTER MAXIMUM OR APPROVED ANCHORS OR ANCHOR STRAPS ARE REQUIRED.
- NOTES:**
1. ANCHOR BOLTS MUST BE PLACED WITHIN 12" OF EACH WALL CORNER AND ALL SILL PLATE SPLICES AT A MINIMUM 3 1/2" FROM THE EDGE.
 2. MAXIMUM SPACING OF BOLTS IS 6'-0".
 3. BOLTS MUST BE 1/2" DIAMETER MINIMUM SIZE WITH WASHERS.
 4. RIGHT ANGLE BEND ANCHOR BOLTS MUST HAVE 7" EMBEDMENT.

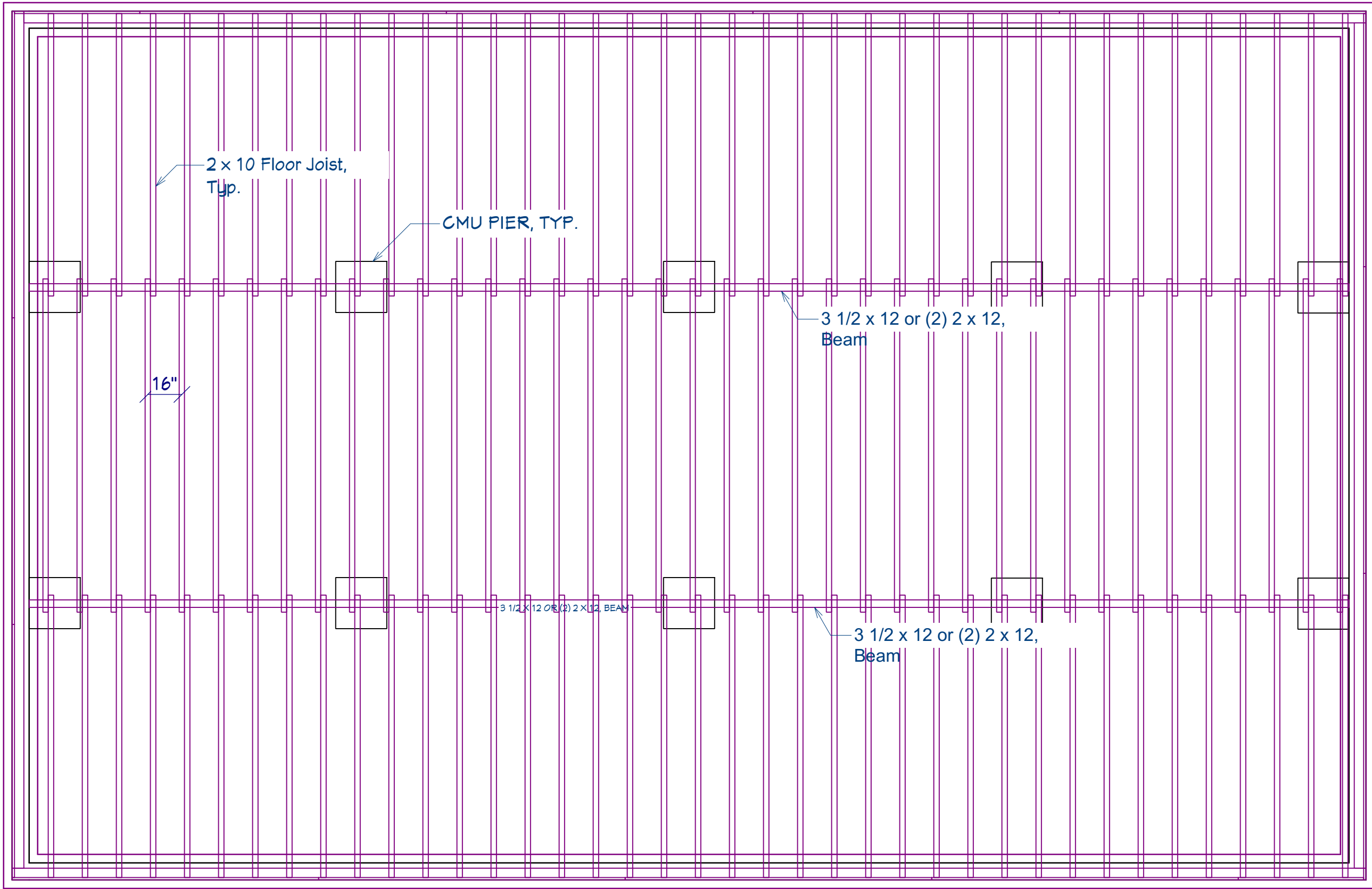
FLOOR JOISTS:
SIZE: 2"x10"
SPACING: 16" OC
INSULATION VALUE: R-19

FRAMING NOTES:
PROVIDE DOUBLE JSTS. UNDER ALL WALLS RUNNING PARALLEL TO JOISTS.

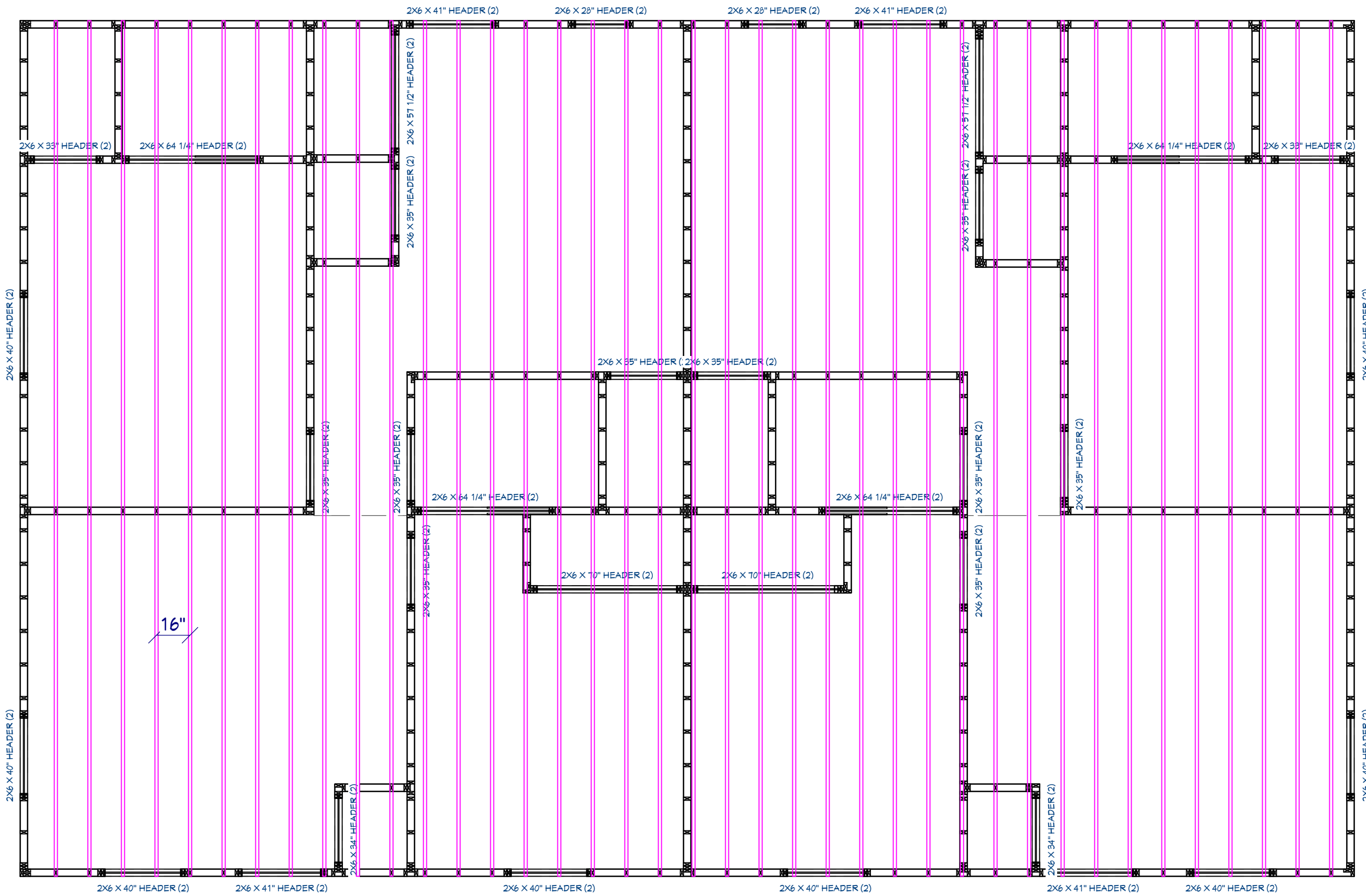
FOOTING AND PIERS

THE MINIMUM ACTUAL THICKNESS OF A LOAD-BEARING MASONRY WALL SHALL BE NOT LESS THAN 4 INCHES (102 MM) NOMINAL OR 3 1/2 INCHES (92 MM) ACTUAL THICKNESS, AND SHALL BE BONDED INTEGRALLY WITH PIERS SPACED IN ACCORDANCE WITH SECTION R606.6.4.

PIERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTIONS R606.7 AND R606.7.1, AND SHALL BE BONDED INTO THE LOAD-BEARING MASONRY WALL IN ACCORDANCE WITH SECTION R606.13.1 OR R606.13.1.1.



Framing, Floor Plan View



Framing, Ceiling Plan View

REVISION TABLE		DESCRIPTION
NUMBER	DATE	REVISD BY

6900 SEAEVER DR,
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Framing, Floor, Ceiling &
Roof Plan View

DRAWINGS PROVIDED BY:
STRAIGHT PATH CONSTRUCTION SERVICES, LLC.
2400 CASPIAN DR KNOXVILLE, TN 37632

DATE:

SEP 2022

SHEET:

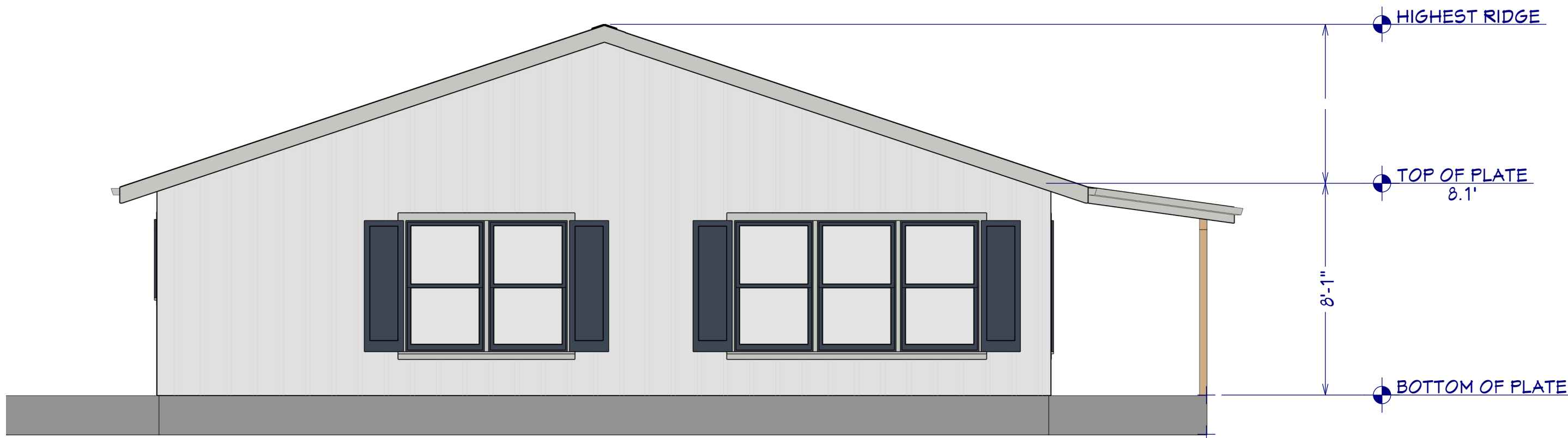
P-3

SEAVER FACING FACADE
TOTAL WALL SURFACE AREA: 4305SQFT
TOTAL TRANSPARENCY AREA: 66 SQFT
15.3% TRANSPARENCY OF FACADE.



Exterior Elevation Front

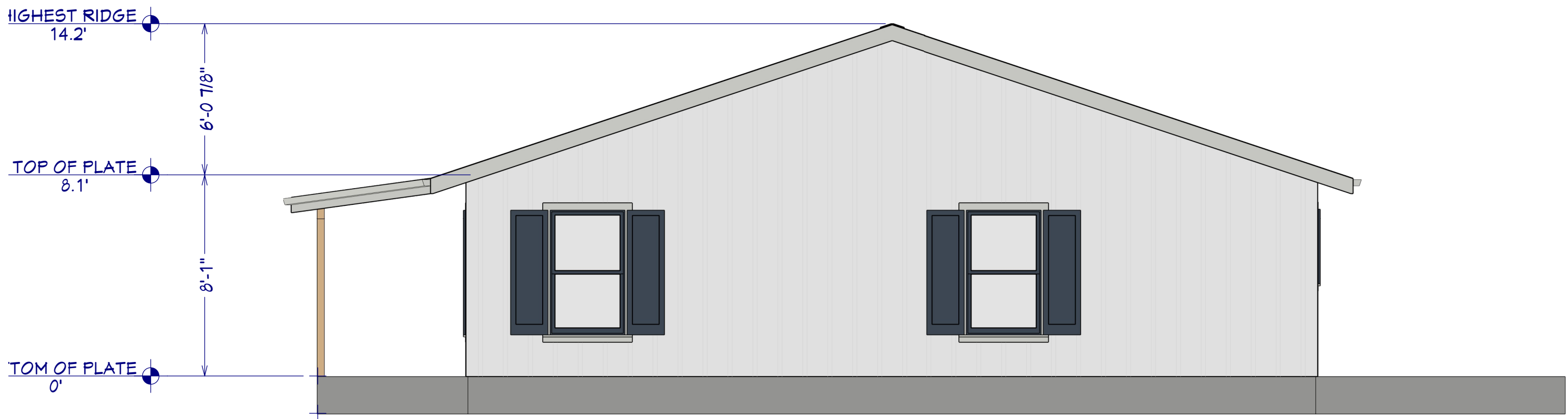
AMHERST FACING FACADE
TOTAL WALL SURFACE AREA: 410 SQFT
TOTAL TRANSPARENCY AREA: 75 SQFT
16.0% TRANSPARENCY OF FACADE.



Exterior Elevation Left



Exterior Elevation Back



Exterior Elevation Right

REVISION TABLE		REVISION BY	DESCRIPTION
NUMBER	DATE		

6900 SEAVER DR,
KNOXVILLE, TN 37909

Elevations

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STRAIGHT PATH CONSTRUCTION SERVICES, LLC.
2400 CASPIAN DR KNOXVILLE, TN 37632

DATE:
SEP 2022
SHEET:
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