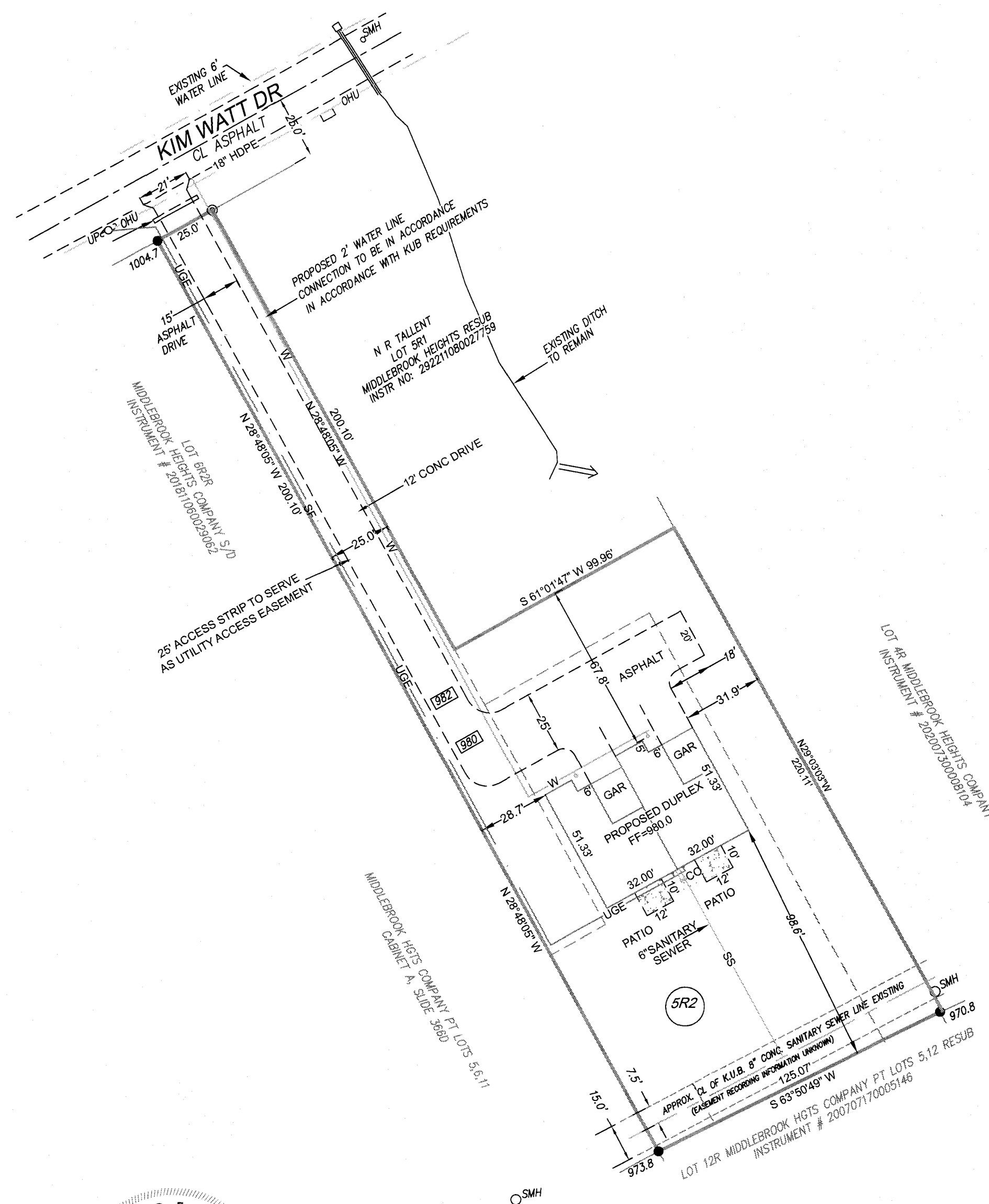


Location Map ----- NTS

LEGEND

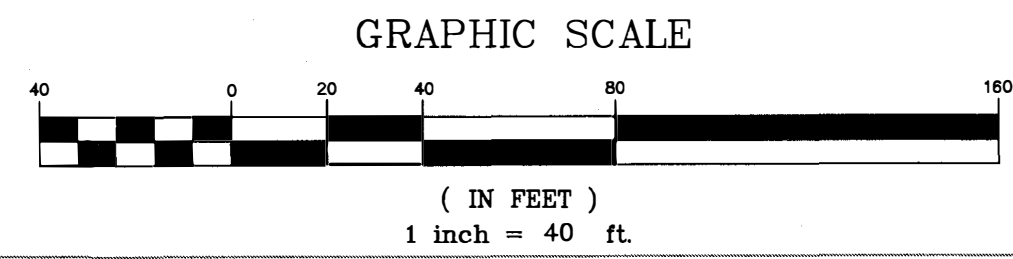
- (S) SMH SANITARY SEWER MANHOLE
- (P) PMH PHONE MANHOLE
- (W) WMH WATER MANHOLE
- (D) SMH STORM DRAIN MANHOLE
- (CB) CATCH BASIN
- (SP) SERVICE POLE
- (PP) POWER POLE
- (GW) GUY WIRE
- (FH) FIRE HYDRANT
- (IV) IRRIGATION VALVE
- (MW) MONITOR WELL
- (WM) WATER METER
- (LS) LIGHT STANDARD
- (CO) CLEANOUT
- (EL) ELECTRIC BOX
- (SP) STAND PIPE
- (GM) GAS METER
- (FL) FLOOD LIGHT
- (IR(O)) IRON ROD (OLD)
- (IR(N)) IRON ROD (NEW)
- (CMP) CORRUGATED METAL PIPE
- (RCP) REINFORCED CONCRETE PIPE
- (W) WATER LINE
- (G) GAS LINE
- (OE) OVERHEAD ELECTRIC
- (UE) UNDERGROUND ELECTRIC
- (OP) OVERHEAD PHONE LINE
- (UP) UNDERGROUND PHONE LINE
- (OU) OVERHEAD UTILITY LINE
- (UU) UNDERGROUND UTILITY LINE
- (ND) NATURAL DRAINAGE



BUILDING SETBACKS: RN-1 ZONING
 FRONT: +/- 10' OF THE AVERAGE OF BLOCKFACE, IN NO CASE LESS THAN 25' SIDES: 8' OR 15% OF LOT WIDTH, WHICHEVER IS LESS; IN NO CASE LESS THAN 20' COMBINED
 REAR: 25'

SITE NOTES

1. CORNER MONUMENTS AS SHOWN HEREON
2. VERIFY EXACT SIZE, DEPTH AND LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION
3. THE REQUIRED UTILITY AND DRAINAGE EASEMENTS SHALL BE TEN (10) FEET IN WIDTH INSIDE ALL EXTERIOR LOT LINES, ADJOINING STREETS, AND PRIVATE RIGHTS-OF-WAY (INCLUDING JOINT PERMANENT EASEMENTS). EASEMENTS OF FIVE (5) FEET IN WIDTH SHALL BE PROVIDED ALONG BOTH SIDES OF ALL INTERIOR LOT LINES AND ON THE INSIDE OF ALL OTHER EXTERIOR LOT LINES
4. DEED REFERENCE: INSTRUMENT # 201710120023185; PLAT: 202211080027759
5. CLT MAP 107, INSERT C, GROUP B, PARCEL 26.02
6. PROPERTIES ZONED: RN-1
NO CERTIFICATION IS MADE REGARDING ZONING CONFORMANCE.
7. TOTAL 27,093.5 SQFT EXCLUDING EASEMENT
8. NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR AND OTHER EASEMENTS AND/OR EXCEPTIONS NOT APPARENT IN THE FIELD MAY OR MAY NOT EXIST AND MAY BE REVEALED BY A TITLE SEARCH BY A TITLE ATTORNEY.
9. SURVEYED PROPERTY IS SUBJECT TO ALL APPLICABLE EASEMENTS, SETBACKS, RIGHT-OF-WAYS, & RESTRICTIONS OF RECORD OR CLAIMS OF EASEMENTS OR RIGHT-OF-WAYS, SHOWN BY PUBLIC RECORDS.



**LeMAY AND ASSOCIATES
CONSULTING ENGINEERS**

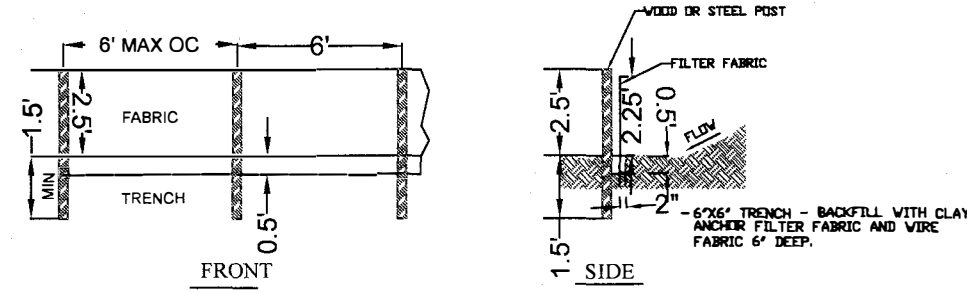
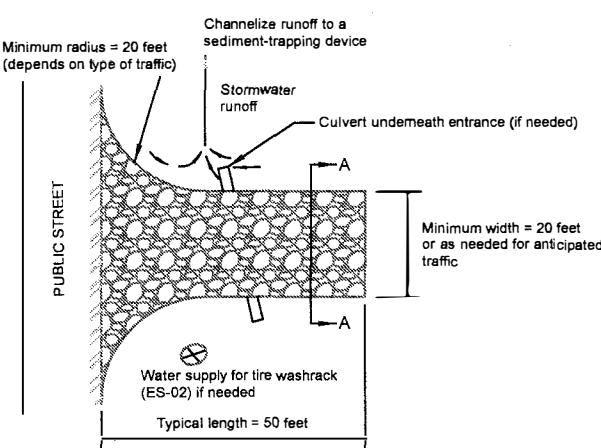
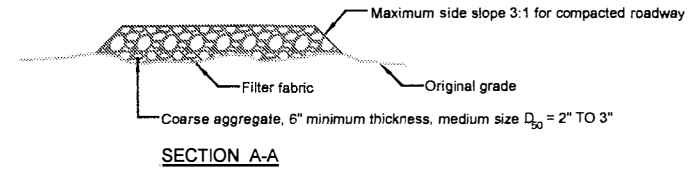
PH: (865) 671-0183
 FAX: (865) 671-0213
 10816 KINGSTON PIKE
 KNOXVILLE, TENNESSEE 37934

12-A-23-SU
 11.28.2023

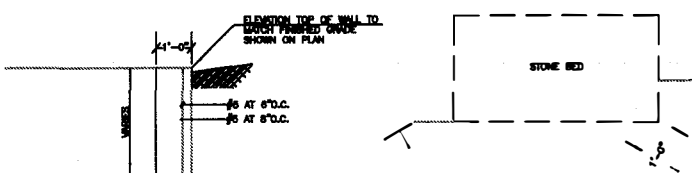
OWNER / DEVELOPER
 NELSON R. TALLENT
 1614 HOPE WAY
 KNOXVILLE TN 37909
 (865) 898-5959

SITE & UTILITY PLAN SHEET 1 OF 2

MIDDLEBROOK HEIGHTS COMPANY		
Scale: 1"= 40'	Approved by: Rel	Drawn by: REL,jr
DATE: 5-2-2023	LATEST REVISION: 11-28-2023	
CITY BLOCK 50350 DISTRICT 8 * WARD 50 * CITY OF KNOXVILLE, TN		
1825 KIM WATT DR		DRAWING NO.: 6215



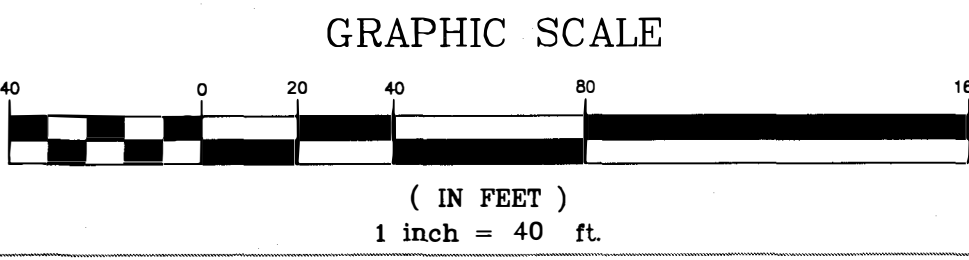
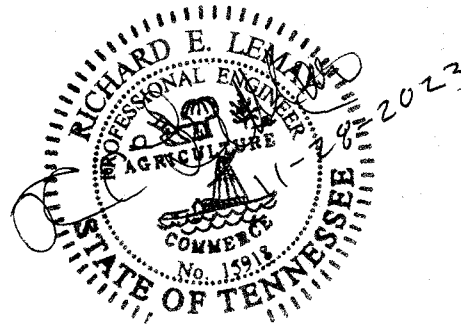
- NOTES:**
1. FILTER FABRIC FENCE TO BE PLACED PRIOR TO START OF SOIL GRADING.
 2. VOID POSTS SHALL BE 3/4" MIN. OF DIA OR SIMILAR HARDWOOD.
 3. POSTS SHALL BE SPACED AT 6' INTERVALS.
 4. WIRE FABRIC AND FILTER FABRIC SHALL BE SECURELY BOUND TO POSTS WITH EITHER STAPLES OR WIRE TIES.
 5. FILTER FABRIC SHALL BE POLYPROPYLENE FABRIC WITH EQUIVALENT SPINNING SIZE (ESS) OF 60 MESH. NOM. DIA. 40 SIEVE, MAX. AS IS TURNED BY CORPS OF ENGINEERS GUIDE SPEC. CV 0.85 IS SHORT TERM.
 6. INSTALLATION AND MAINTENANCE TO BE IN ACCORDANCE WITH THE ATTACHED SVPPP.



BUILDING SETBACKS: RN-1 ZONING
 FRONT: +/- 10' OF THE AVERAGE OF BLOCKFACE, IN NO CASE LESS THAN 25'
 SIDES: 8' OR 15% OF LOT WIDTH, WHICHEVER IS LESS; IN NO CASE LESS THAN 20' COMBINED
 REAR: 25'

SITE NOTES

1. CORNER MONUMENTS AS SHOWN HEREON
2. VERIFY EXACT SIZE, DEPTH AND LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
3. THE REQUIRED UTILITY AND DRAINAGE EASEMENTS SHALL BE TEN (10) FEET IN WIDTH INSIDE ALL EXTERIOR LOT LINES, ADJOINING STREETS, AND PRIVATE RIGHTS-OF-WAY (INCLUDING JOINT PERMANENT EASEMENTS).
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5. CLT MAP 107, INSERT C, GROUP B, PARCEL 26.02
6. PROPERTIES ZONED: RN-1
NO CERTIFICATION IS MADE REGARDING ZONING CONFORMANCE.
7. TOTAL 27,093.5 SQFT EXCLUDING EASEMENT
8. NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR AND OTHER EASEMENTS AND/OR EXCEPTIONS NOT APPARENT IN THE FIELD MAY OR MAY NOT EXIST AND MAY BE REVEALED BY A TITLE SEARCH BY A TITLE ATTORNEY
9. SURVEYED PROPERTY IS SUBJECT TO ALL APPLICABLE EASEMENTS, SETBACKS, RIGHT-OF-WAYS, & RESTRICTIONS OF RECORD OR CLAIMS OF EASEMENTS OR RIGHT-OF-WAYS, SHOWN BY PUBLIC RECORDS.

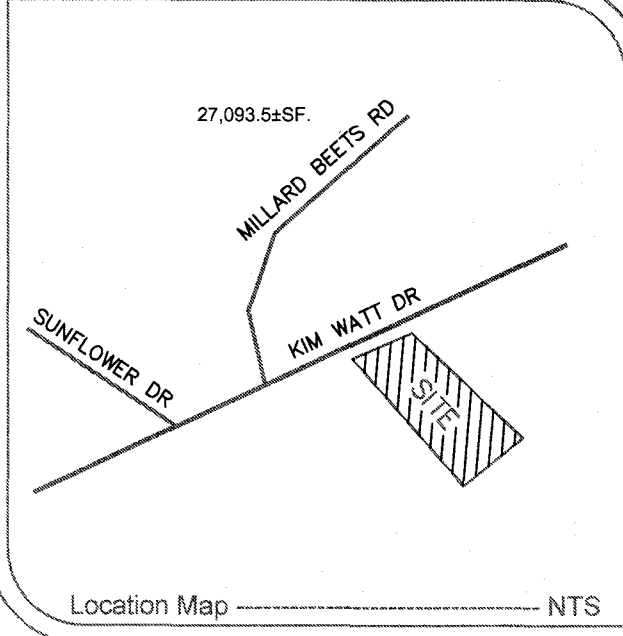


**LeMAY AND ASSOCIATES
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PH: (865) 671-0183
 FAX: (865) 671-0213
 10816 KINGSTON PIKE
 KNOXVILLE, TENNESSEE 37934

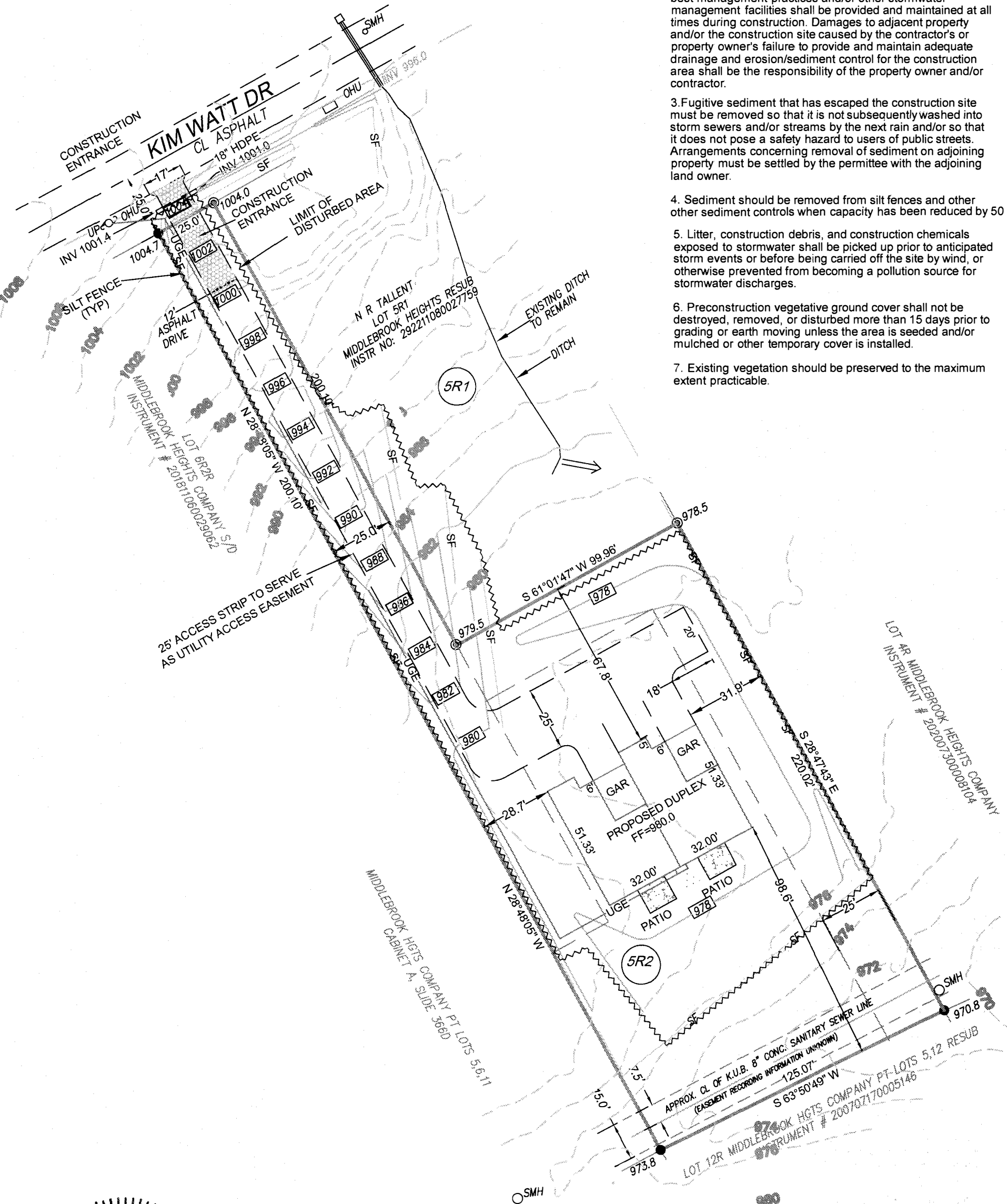
DRAINAGE & EROSION CONTROL NOTES

1. All drainage and erosion control ordinances of the City of Knoxville shall be complied with through out the construction process
2. Adequate drainage, erosion and sediment control measures, best management practices and/or other stormwater management facilities shall be provided and maintained at all times during construction. Damages to adjacent property and/or the construction site caused by the contractor's or property owner's failure to provide and maintain adequate drainage and erosion/sediment control for the construction area shall be the responsibility of the property owner and/or contractor.
3. Fugitive sediment that has escaped the construction site must be removed so that it is not subsequently washed into storm sewers and/or streams by the next rain and/or so that it does not pose a safety hazard to users of public streets. Arrangements concerning removal of sediment on adjoining property must be settled by the permittee with the adjoining land owner.
4. Sediment should be removed from silt fences and other other sediment controls when capacity has been reduced by 50 %.
5. Litter, construction debris, and construction chemicals exposed to stormwater shall be picked up prior to anticipated storm events or before being carried off the site by wind, or otherwise prevented from becoming a pollution source for stormwater discharges.
6. Preconstruction vegetative ground cover shall not be destroyed, removed, or disturbed more than 15 days prior to grading or earth moving unless the area is seeded and/or mulched or other temporary cover is installed.
7. Existing vegetation should be preserved to the maximum extent practicable.



LEGEND

- SMH SANITARY SEWER MANHOLE
- PMH PHONE MANHOLE
- WMH WATER MANHOLE
- SDM STORM DRAIN MANHOLE
- CB CATCH BASIN
- SP SERVICE POLE
- PP POWER POLE
- GW GUY WIRE
- FH FIRE HYDRANT
- IV IRRIGATION VALVE
- MW MONITOR WELL
- WM WATER METER
- LS LIGHT STANDARD
- CO CLEANOUT
- EL ELECTRIC BOX
- SP STAND PIPE
- GM GAS METER
- FL FLOOD LIGHT
- IR(O) IRON ROD (OLD)
- IR(N) IRON ROD (NEW)
- CMP CORRUGATED METAL PIPE
- RCP REINFORCED CONCRETE PIPE
- W WATER LINE
- G GAS LINE
- OE OVERHEAD ELECTRIC
- UE UNDERGROUND ELECTRIC
- OP OVERHEAD PHONE LINE
- UP UNDERGROUND PHONE LINE
- OU OVERHEAD UTILITY LINE
- UGE UNDERGROUND UTILITY LINE
- DISTURBED AREA



12-A-23-SU
 11.28.2023

OWNER / DEVELOPER
 NELSON R. TALLENT
 1614 HOPE WAY
 KNOXVILLE TN 37909
 (865) 898-5959

GRADING PLAN LOT 5R2 SHEET 2 OF 2

MIDDLEBROOK HEIGHTS COMPANY

Scale: 1" = 40' Approved by: Rel Drawn by: REL jr

DATE: 5-2-2023 REV: 11-28-2023

CITY BLOCK 50350 DISTRICT 8 * WARD 50 * CITY OF KNOXVILLE, TN

1825 KIM WATT DR DRAWING NO.: 6215

NOTE:

1. BALLOON FRAME ALL EXTERIOR WALLS WHERE APPLICABLE TO UNDERSIDE OF TRUSSES.
2. TWO (2) LAYERS OF GRADE "D" PAPER IS REQUIRED AT WOOD SHEAR PANELS
3. PROVIDE 1x3 WOOD BATTENS WHERE ROOF EXCEEDS 1:12 SEE E.R. #2656
4. EXTERIOR FINISH TO BE VERTICAL AND HORIZONTAL SIDING TO BE DETERMINED BY OWNER
5. GUTTER LOCATION AND MATERIAL AND STYLE TO BE DETERMINED BY OWNER ALL DOWNSPOUTS TO DRAIN INTO DRAINAGE LINES DISCHARGING AT THE LOWEST SIDE OF THE HOUSE
6. PROVIDE ATTIC VENTILATION AS PER CURRENT IRC SECT. 1203.2 FOR EAVE VENTS PROVIDE 1sf OF VENT FOR EVERY 150sf OF ATTIC.
7. PROVIDE AN APPROVED WATERPROOF BUILDING PAPER UNDER HOOD SIDING

ATTIC VENTS HOUSE

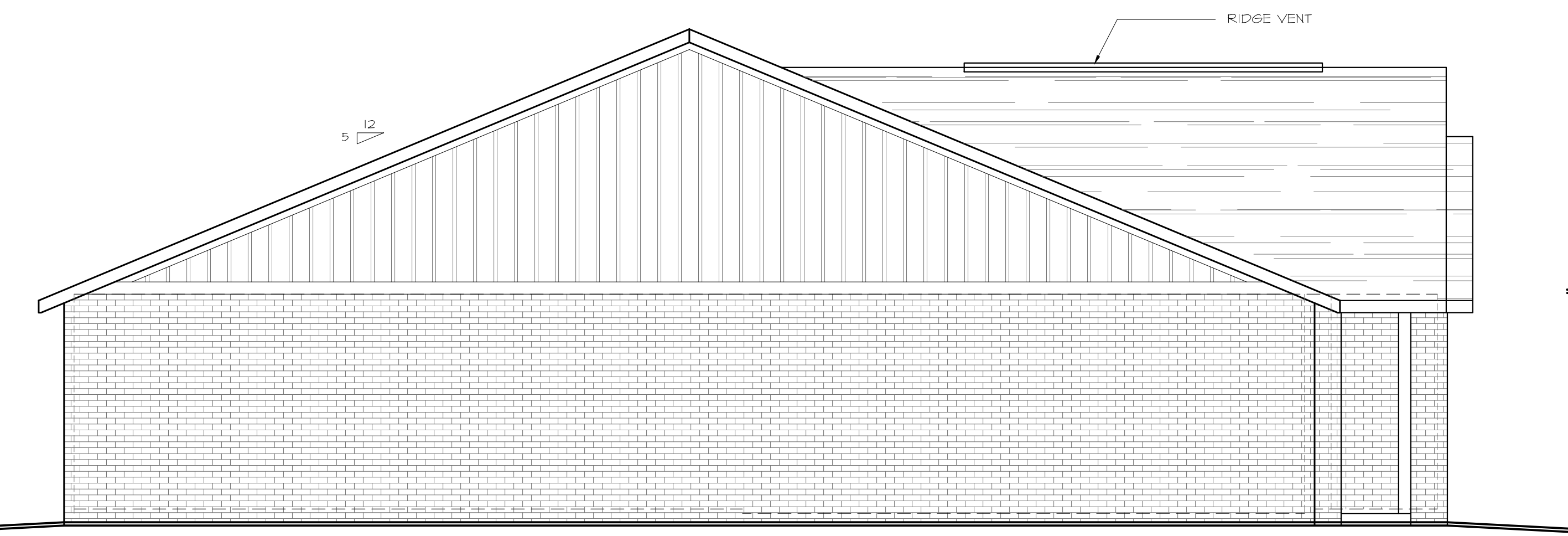
(NOTE FOR 1/300 OF THE AREA OF THE SPACE VENTILATED, PROVIDE A VAPOR RETARDED HAVING A TRANSMISSION RATE NOT TO EXCEED 1 PERM IN ACCORDANCE WITH ASTM E 96 IS INSTALLED ON THE WARM SIDE OF THE ATTIC INSULATION AND PROVIDED 50% OF THE REQUIRED VENTILATING AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3' ABOVE EAVE.)
 FINISH GRADE TO SLOPE 5% AWAY FROM BUILDING 5' MIN.



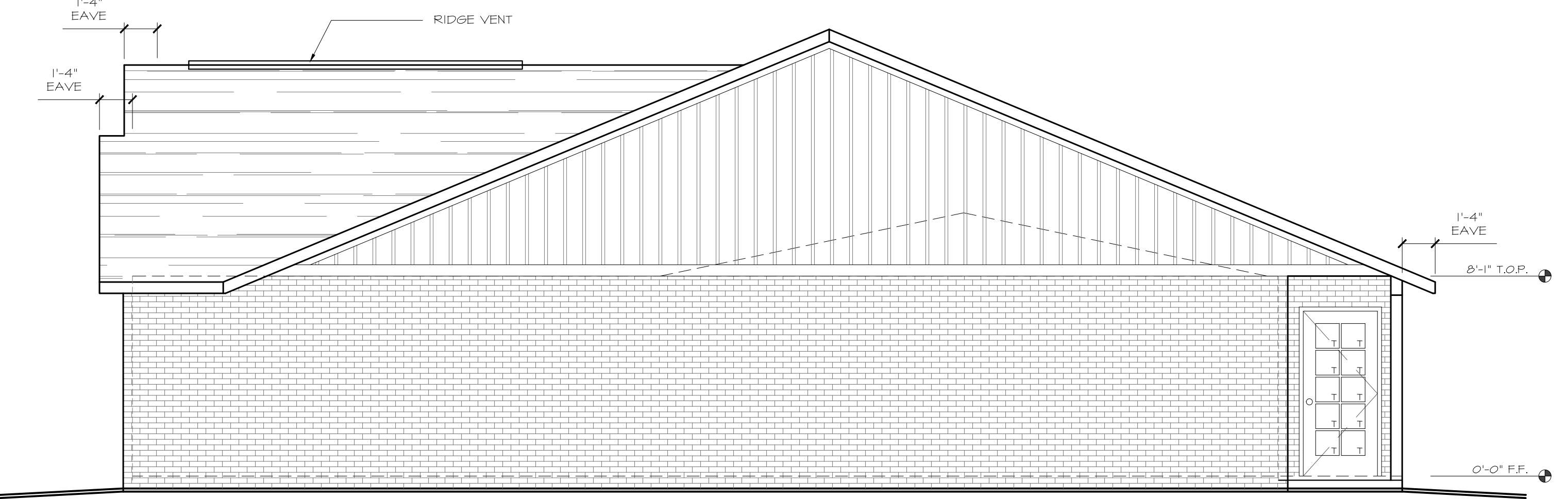
FRONT ELEVATION

UNIT "A" HAS 125sf OF HABITABLE FRONT FACING WALL. MEASURED FROM 2" TO TOP PLATE FROM GRADE, 30% TRANSPARENCY REQUIRED EQUAL 37.5sf. UNIT "A" HAS TWO (2) 3050 WINDOWS 30sf, DOOR SIDE LIGHT 6sf, IN DOOR WINDOW 3.5sf TOTAL = 34.5sf EXCEEDING THE 30% REQUIREMENT. GARAGE WALL DOES NOT EXCEED 40% UNIT "A" WIDTH

UNIT "B" HAS 115sf OF HABITABLE FRONT FACING WALL. MEASURED FROM 2" TO TOP PLATE FROM GRADE, 30% TRANSPARENCY REQUIRED EQUAL 34.5sf. UNIT "A" HAS TWO (2) 3050 WINDOWS 30sf, DOOR SIDE LIGHT 6sf, IN DOOR WINDOW 3.5sf TOTAL = 34.5sf EXCEEDING THE 30% REQUIREMENT. GARAGE WALL DOES NOT EXCEED 40% UNIT "A" WIDTH

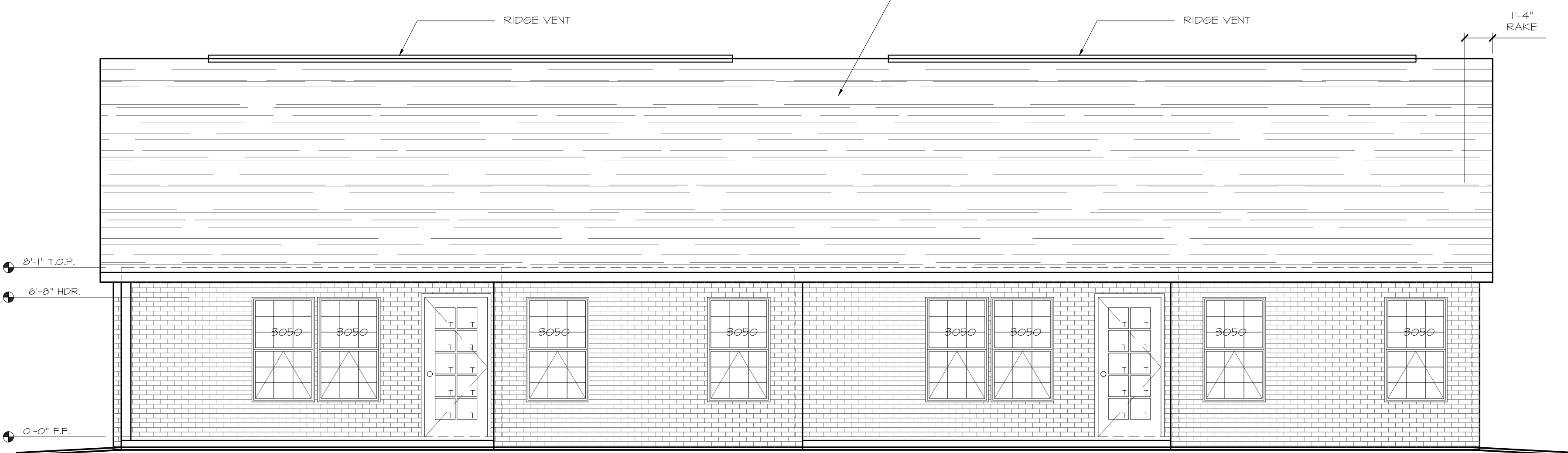


LEFT ELEVATION



RIGHT ELEVATION

ROOFING MATERIAL: COMP. ROOFING OVER 2-LAYERS #15 FELT UNDERLAYMENT LAPPED 18" PLYWOOD SHEATHING (PANEL INDEX: 24/0), OR 15/32 OSB. NAILING SHALL BE 8d @ 6/6:12" REQUIRE TONGUE-AND-GROOVE EDGES OR MUST BE SUPPORTED W/ BLOCKING OR EDGE CLIPS



REAR ELEVATION

REVISIONS	BY

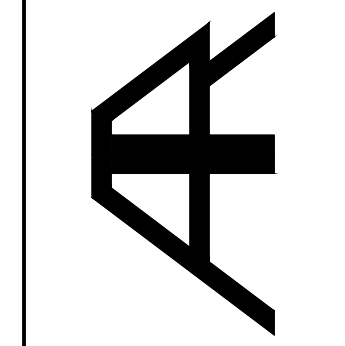
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TALLENT DUPLEX
 1823 KIM WATT ROAD
 KNOXVILLE TN

EXTERIOR ELEVATIONS

A&R DESIGN & DRAFTING SERVICE
 320 CRESTVIEW CIRCLE
 LENOX CITY, TENNESSEE 37112
 (865) 594-8812 RD.LETTER@GMAIL.COM



DATE	12/4/2023
SCALE	1/4"=1'-0"
DRAWN	RJ
JOB	TAL22061
SHEET	A201