

BUILDING A,B,C & D

- BUILDING FOOTPRINT = 27,000 SF
- STORIES = 4

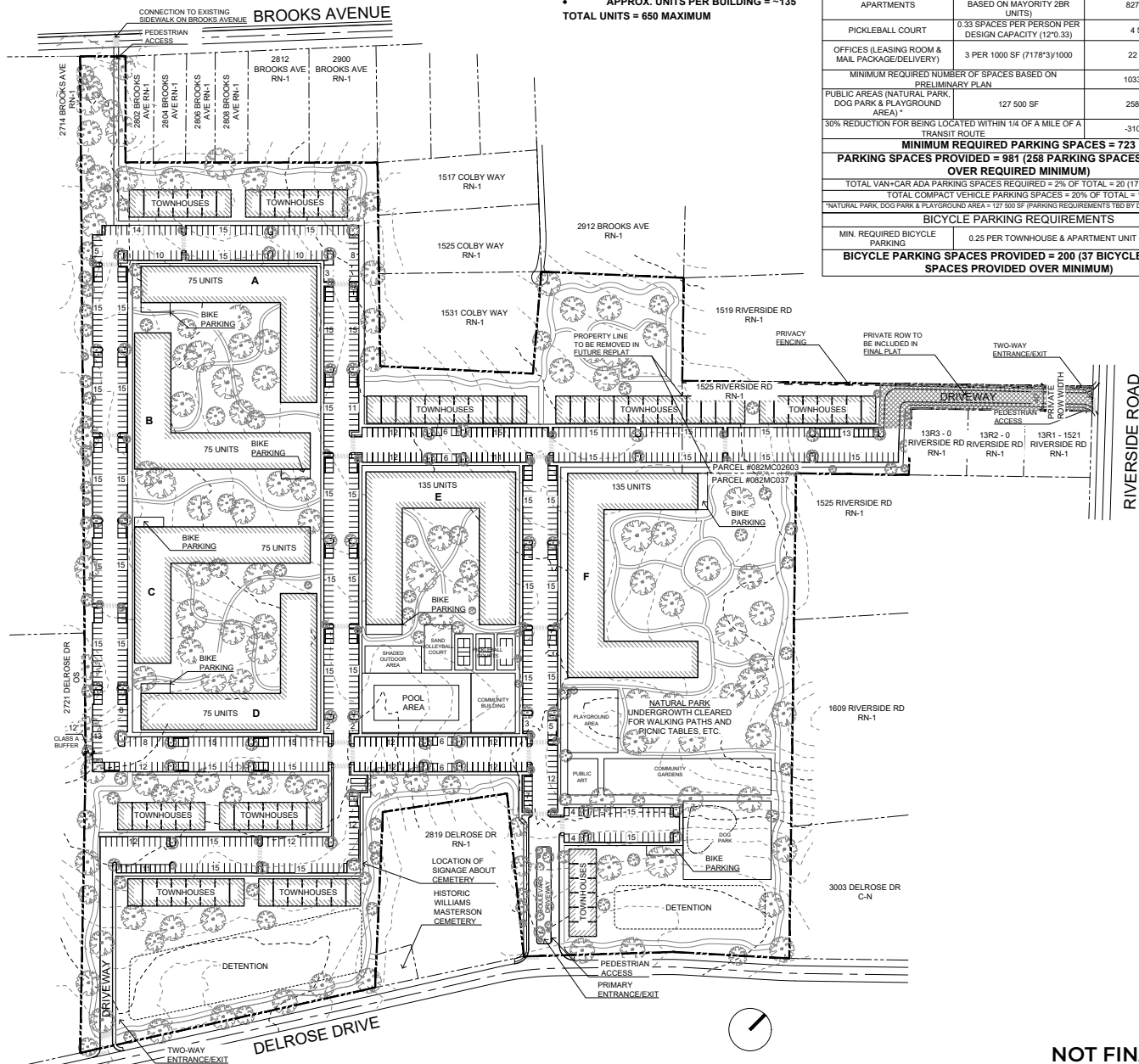
APPROX. UNITS PER BUILDING = ~75

BUILDING E & F

- BUILDING FOOTPRINT = 38,000 SF
- STORIES = 4

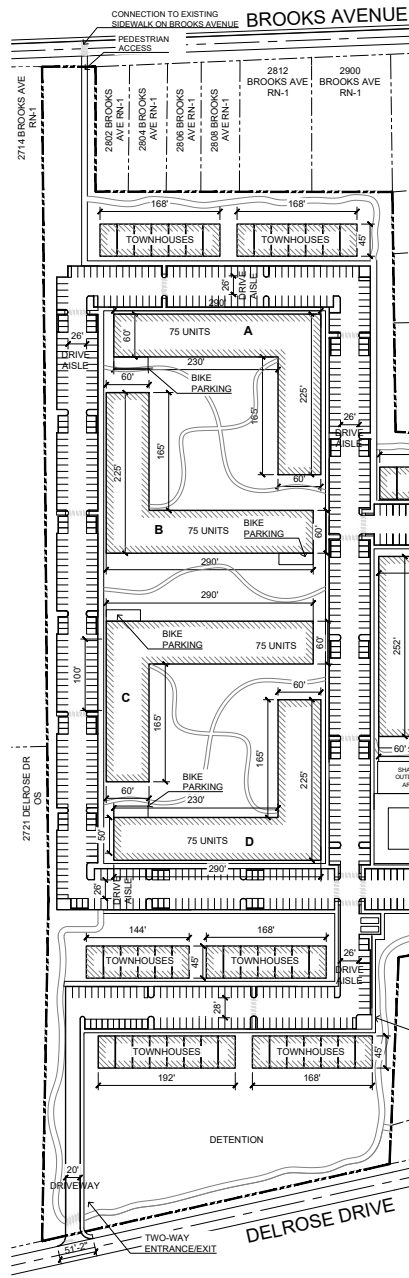
APPROX. UNITS PER BUILDING = ~135
TOTAL UNITS = 650 MAXIMUM

NUMBER OF UNITS PROPOSED		
~570 APARTMENTS	4% TYPE A UNITS = 23 UNITS (MIN TYPE A UNITS REQUIRED 2%)	
80 TOWNHOUSES		
VEHICLE PARKING REQUIREMENTS		
USE	MINIMUM PARKING REQUIRED	TOTALS
TOWNHOUSES	2.25 SPACES	180 SPACES
APARTMENTS	1.2-2.2 PARKING SPACES (1.45 BASED ON MAJORITY 2BR UNITS)	827 SPACES
PICKLEBALL COURT	0.33 SPACES PER PERSON PER DESIGN CAPACITY (12"x0.33)	4 SPACES
OFFICES (LEASING ROOM & MAIL PACKAGE/DELIVERY)	3 PER 1000 SF (7178"x31000)	22 SPACES
MINIMUM REQUIRED NUMBER OF SPACES BASED ON PRELIMINARY PLAN		1033 SPACES
PUBLIC AREAS (NATURAL PARK, DOG PARK & PLAYGROUND AREA)	127 500 SF	258 SPACES
30% REDUCTION FOR BEING LOCATED WITHIN 1/4 OF A MILE OF A TRANSIT ROUTE		-310 SPACES
MINIMUM REQUIRED PARKING SPACES = 723		
PARKING SPACES PROVIDED = 981 (258 PARKING SPACES PROVIDED OVER REQUIRED MINIMUM)		
TOTAL VAN-CAR ADA PARKING SPACES REQUIRED = 2% OF TOTAL = 20 (17 CAR + 3 VAN)		
TOTAL COMPACT VEHICLE PARKING SPACES = 20% OF TOTAL = 195		
NATURAL PARK, DOG PARK & PLAYGROUND AREA = 127 500 SF (PARKING REQUIREMENTS TIED BY DEPT. OF ENGINEERING)		
BICYCLE PARKING REQUIREMENTS		
MIN. REQUIRED BICYCLE PARKING	0.25 PER TOWNHOUSE & APARTMENT UNIT = 0.25*650 = 163	
BICYCLE PARKING SPACES PROVIDED = 200 (37 BICYCLE PARKING SPACES PROVIDED OVER MINIMUM)		



NOT FINAL; SUBJECT TO CHANGE

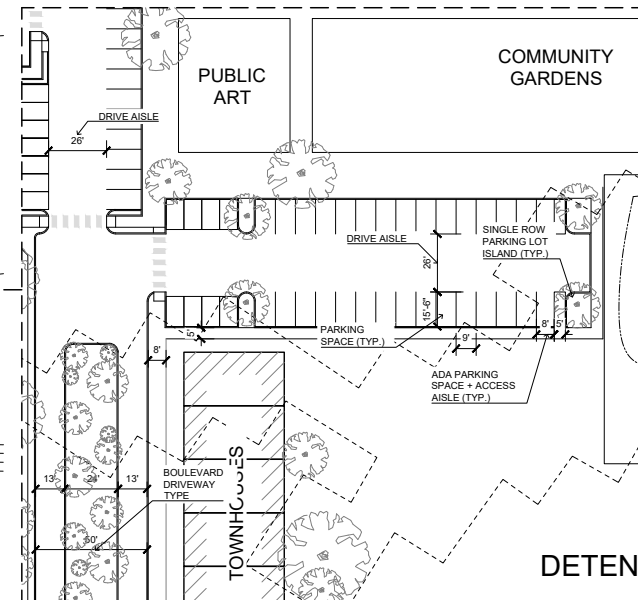
SITE PLAN



NOTE: DIMENSIONS, BUILDING LAYOUTS, AND TOWNHOUSE SHAPES PRESENTED HEREIN ARE INTENDED SOLELY TO DEMONSTRATE COMPLIANCE WITH CODE REQUIREMENTS. THESE ELEMENTS ARE SUBJECT TO MODIFICATION DURING THE DESIGN AND CONSTRUCTION PROCESS AND MAY VARY FROM THE REPRESENTATIONS SHOWN.

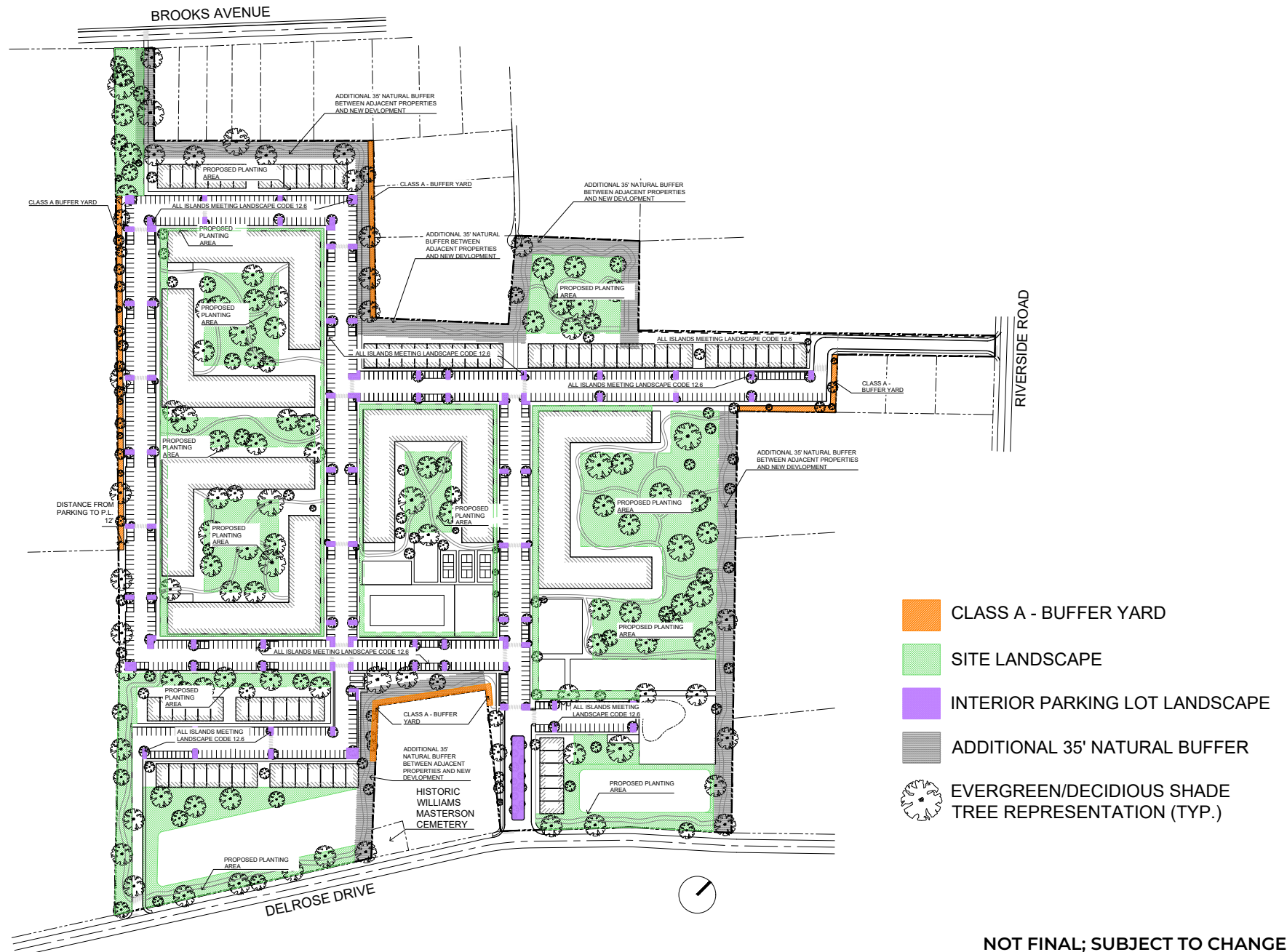
HP - SLOPE ANALYSIS			
CATEGORY	ACRES	LAND DISTURBANCE FACTOR	ACRES OF DISTURBANCE
0 - 15 % SLOPE	0.1406	100%	0.1406
15 - 25 % SLOPE	0.8094	50%	0.4047
25 - 40 % SLOPE	0.1141	20%	0.0228
> 40 % SLOPE	0.0018	10%	0.0002
REAL TOTAL	1.0659		0.5683
TOTAL	1.07		0.57

MAXIMUM LAND DISTURBANCE PER HILLSIDE PROTECTION AREA = 24,829 SF



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DIMENSIONED SITE PLAN



LANDSCAPING INTENT CONCEPT PLAN