



STATE SITE CODE: 041-1065
GBL NUMBER: 195500569246

STATE SITE CODE	041-1065
GBL NUMBER	195500569246
CIVIL ENGINEER	BRITT PETERS & ASSOCIATES, INC 550 S. MAIN STREET STE. 301 GREENVILLE, SC 29601 864.271.8869
LAND USE/PLANNING	
- ZONING	PC/TO
- EXISTING USE	BUSINESS
- PROPOSED USE	BUSINESS
BUILDING SETBACKS	
- FRONT	25'/53.5'/50'
- SIDE	25'/48.8'
- REAR	25'/53.5'
PROVIDED PARKING SPACES	
- STANDARD	35
- ACCESSIBLE, CAR	0
- ACCESSIBLE, VAN	2
PROVIDED TOTAL	37
REQUIRED PARKING SPACES	
- STANDARD	28
- ACCESSIBLE, CAR	1
- ACCESSIBLE, VAN	1
REQUIRED TOTAL	30
SITE DATA	
- AREA	1.68 AC
- DISTURBED AREA	1.4 AC
- IMPERVIOUS RATIO (ACTUAL)	59.2%
- IMPERVIOUS RATIO (REQUIRED)	80% Max.
- CUT & FILL QUANTITIES	1,500 CY Cut / 2,500 CY Fill
BUILDING DATA	
- AREA	4,365 SF
GROUND AREA COVERAGE (GAC)	4,636 SF / 73,181 SF = 6.3%
FLOOR AREA RATIO (FAR)	4,470 SF / 73,181 SF = 6.1%

WATER:
WEST KNOX UTILITY DISTRICT
WAYNE HASTINGS
2328 LOVELL ROAD
KNOXVILLE, TN 37392
TEL: 865.690.X2521 X220

STORM SEWER:
KNOX COUNTY STORMWATER
BRIAN HUBBS
ENGINEERING & PUBLIC WORKS
205 WEST BAXTER AVENUE
KNOXVILLE, TN 37917
TEL: 865.215.5836

SANITARY SEWER:
WEST KNOX UTILITY DISTRICT
WAYNE HASTINGS
2328 LOVELL ROAD
KNOXVILLE, TN 37392
TEL: 865.690.X2521 X220

SEWER:
KNOX METROPOLITAN PLANNING
COMMISSION
BUZZ JOHNSON
CITY COUNTY BLDG ROOM 403
400 MAIN AVENUE
KNOXVILLE, TN 37902
TEL: 865.215.2500

SIGNAGE:
KNOX METROPOLITAN PLANNING
COMMISSION
BUZZ JOHNSON
CITY COUNTY BLDG ROOM 403
400 MAIN AVENUE
KNOXVILLE, TN 37902
TEL: 865.215.2500

BUILDING & INSPECTIONS:
KNOX COUNTY
RON MAUER
CITY COUNTY BLDG ROOM 457
400 MAIN AVENUE
KNOXVILLE, TN 37902
TEL: 865.215.2325

STREET & HIGHWAY:
HARDIN VALLEY LAND PARTNERS, LLC
P.O BOX 23678
KNOXVILLE, TN 37933
PHONE 865-633-LAND
RUSTY@HARDINVALLEYLAND.COM

WATER:
WEST KNOX UTILITY DISTRICT
WAYNE HASTINGS
2328 LOVELL ROAD
KNOXVILLE, TN 37392
TEL: 865.690.X2521 X220

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205 WEST BAXTER AVENUE
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TEL: 865.215.5836

SANITARY SEWER:
WEST KNOX UTILITY DISTRICT
WAYNE HASTINGS
2328 LOVELL ROAD
KNOXVILLE, TN 37392
TEL: 865.690.X2521 X220

FIRE:
KNOX COUNTY
TRAVIS EVANS
400 MAIN AVENUE
KNOXVILLE, TN 37902
TEL: 865.215.4660

HVAC:
KNOX COUNTY
RON MAUER
CITY COUNTY BLDG ROOM 457
400 MAIN AVENUE
KNOXVILLE, TN 37902
TEL: 865.215.2325

GAS:
KNOXVILLE UTILITIES BOARD
TONY JARNAGIN
4505 MIDDLEBROOK PIKE
NEW SERVICE DEPARTMENT
KNOXVILLE, TN 37921
TEL: 865.558.2625

ELECTRIC:
LENOIR CITY UTILITIES BOARD
JAY HINES
200 DEPOT STREET
LENOIR CITY TN, 37774
TEL: 865.986.6591

TELEPHONE:
AT&T
DONNIE HILL
9733 PARKSIDE DRIVE
KNOXVILLE, TN 37922
TEL: 865.539.8511

HEALTH:
KNOX COUNTY HEALTH DEPARTMENT
SCOTT BRYAN
140 DAMERON AVENUE
KNOXVILLE, TN 37917
TEL: 865.215.5000

KNOXVILLE, TENNESSEE

N

SOLWAY RD

HARDIN VALLEY RD

PELLISSIPPI PARKWAY

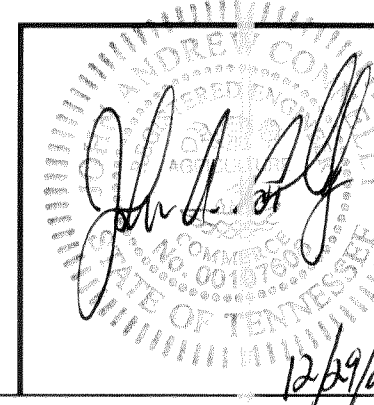
CASTAIC LANE

VALLEY VISTA RD

SITE

REV. 2 12.29.09	1st ISSUE 10.23.09	DWG. NUMBER	DRAWING DESCRIPTION
■	■	C-1	COVER SHEET
	■	C-2	TOPOGRAPHIC SURVEY
■	■	C-3	SITE PLAN
	■	C-4	ADA ACCESSIBILITY PLAN
■	■	C-5	GRADING/EROSION CONTROL PLAN
■	■	C-6	UTILITY PLAN
	■	C-7	DETAILS
	■	C-8	DETAILS
	■	C-9	DETAILS
	■	C-10	MENUBOARD DETAILS
	■	C-11	SD DETAILS
■	■	C-12	DEMOLITION PLAN
■	■	C-13	PROFILES
■	■	L-1	LANDSCAPE PLAN
■	■	L-2	LIGHTING PLAN
■	■	TC-1	TRASH DUMPSTER ENCLOSURE/STORAGE BUILDING
■	■	TC-2	TRASH DUMPSTER ENCLOSURE DETAILS

12-B-09-UK
REVISED
12-30-09



PLAN APPROVAL		DATE		BY		ISSUE/REV	
REGIONAL MGR							
REGIONAL DEV. DIRECTOR							
REGIONAL CONSTRUCTION MGR							
REGIONAL REAL ESTATE MGR							
CO-SIGN SIGNATURES							
AREA CONSTRUCTION MGR							
CONTRACTOR							
OFFICE		RALEIGH REGION					
ADDRESS							



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BRITT PETERS
AND
ASSOCIATES
I N C.
c o n s u l t i n g e n g i n e e r s

550 S. Main Street
Suite 301
Greenville, SC 29601
(864) 271-8869
Fax (864) 233-5140
www.brittpeters.com

C-1

COVER SHEET

SITE KEY NOTES:

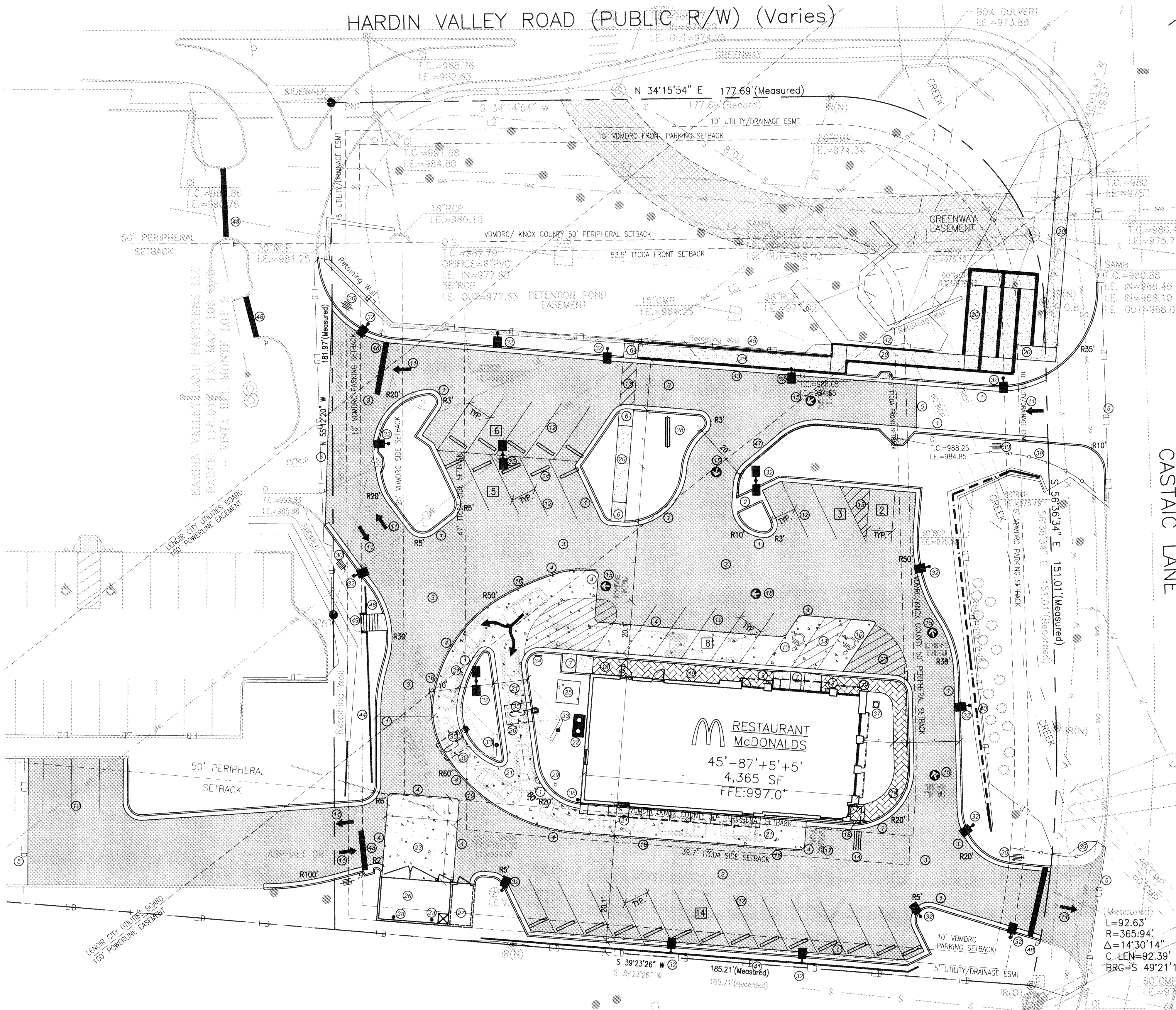
1. CONSTRUCT 2' CURB AND GUTTER PER DETAIL SHEET
2. CONSTRUCT 3' CONCRETE FLUME PER DETAIL SHEET
3. ASPHALT PAVEMENT PER SOILS REPORT SPECIFICATIONS
4. TRANSITION FROM ASPHALT TO CONCRETE PAVEMENT PER DETAIL SHEET
5. MATCH EXISTING ASPHALT
6. CONSTRUCT STANDARD CONCRETE H.C. RAMP PER DETAIL SHEET
7. CONSTRUCT FLUSH CONCRETE H.C. RAMP PER DETAIL SHEET
8. DELIVERY RAMP
9. INSTALL H.C. SIGN PER DETAIL SHEET
10. PAINT H.C. SYMBOL PER DETAIL SHEET
11. PAINT TRAFFIC ARROWS PER DETAIL SHEET
12. PAINT 4" WIDE STRIPE, WHITE
13. PAINT 4" WIDE STRIPES, WHITE @ 45° 2'-0" O.C.
14. GRILL STALL / PICKUP AREA, PAINT FOUR 4" WIDE STRIPE, WHITE
15. PAINTED "DRIVE-THRU" DIRECTIONAL ARROW, YELLOW, COORDINATE WITH MCDONALD'S WITH MCDONALD'S CONSTRUCTION MANAGER
16. PAINT 6" WIDE YELLOW STRIPE ON ASPHALT FROM EDGE OF CONCRETE DRIVE-THRU LANE
17. PAINT "THANK YOU" PER DETAIL SHEET
18. GUARD RAIL REFER TO ARCHITECTURAL
19. CONSTRUCT CONCRETE WALK WITH TILE SURFACE PER MCDONALD'S SPECIFICATIONS
20. CONSTRUCT CONCRETE SIDEWALK PER DETAIL SHEET
21. CONCRETE PAD @ DRIVE-THRU, 10' CONTROL JOINTS, 20' EXPANSION JOINTS OR PER SOILS REPORT SPECIFICATIONS
22. CONCRETE PAD FOR GREASE TRAP, SEE PLUMBING PLANS MCDONALD'S SPECIFICATIONS
23. CONSTRUCT CONCRETE DUMPSTER PAD PER SOILS REPORT SPECIFICATIONS
24. CONCRETE WHEEL STOP PER DETAIL SHEET
25. CONCRETE TRANSFORMER PAD (COORDINATE SIZE AND LOCATION WITH POWER COMPANY)
26. CONSTRUCT DUMPSTER ENCLOSURE (TO MATCH BUILDING) PER DETAIL SHEET
27. 8' X 16' STORAGE SHED (PER DETAIL SHEET), EXTERIOR FINISH TO MATCH DUMPSTER ENCLOSURE
28. SITE IDENTIFICATION SIGN (CONTRACTOR SHALL COORDINATE WITH SIGN COMPANY AND CONSTRUCTION MANAGER)
29. "PLEASE HAVE MONEY ..." SIGN SUPPLIED BY AND INSTALLED BY SIGN CONTRACTOR
30. DIRECTIONAL SIGNAGE (PER DETAIL SHEET): GALVANIZED ANCHOR BOLTS, (6" ABOVE GRADE), FOOTINGS AND ELECTRICITY BY GENERAL CONTRACTOR, SIGN INSTALLED BY SIGN CONTRACTOR, CONTRACTOR TO COORDINATE WITH MCDONALD'S CONSTRUCTION MANAGER
31. GATEWAY SIGN (PER DETAIL SHEET): GALVANIZED ANCHOR BOLTS, (6" ABOVE GRADE), FOOTINGS AND ELECTRICITY BY GENERAL CONTRACTOR, SIGN INSTALLED BY SIGN CONTRACTOR, CONTRACTOR TO COORDINATE WITH MCDONALD'S CONSTRUCTION MANAGER
32. POLE MOUNTED AREA LIGHT(S) SEE LIGHTING PLAN; GALVANIZED ANCHOR BOLTS, (6" ABOVE GRADE), FOOTINGS BY GENERAL CONTRACTOR, POLE INSTALLED BY SIGN CONTRACTOR, CONTRACTOR TO COORDINATE WITH MCDONALD'S CONSTRUCTION MANAGER
33. MENU BOARD (PER DETAIL SHEET): GALVANIZED ANCHOR BOLTS, (6" ABOVE GRADE), FOOTINGS AND ELECTRICITY BY GENERAL CONTRACTOR, SIGN INSTALLED BY SIGN CONTRACTOR, CONTRACTOR TO COORDINATE WITH MCDONALD'S CONSTRUCTION MANAGER
34. VERTICAL PREVIEW "PRE-SELL" BOARD (PER DETAIL SHEET): GALVANIZED ANCHOR BOLTS, (6" ABOVE GRADE), FOOTINGS AND ELECTRICITY BY GENERAL CONTRACTOR, SIGN INSTALLED BY SIGN CONTRACTOR, CONTRACTOR TO COORDINATE WITH MCDONALD'S CONSTRUCTION MANAGER
35. CUSTOMER ORDER DISPLAY WITH DETECTOR LOOP (PER DETAIL SHEET): GALVANIZED ANCHOR BOLTS, (6" ABOVE GRADE), FOOTINGS AND ELECTRICITY BY GENERAL CONTRACTOR, SIGN INSTALLED BY SIGN CONTRACTOR, CONTRACTOR TO COORDINATE WITH MCDONALD'S CONSTRUCTION MANAGER
36. DRIVE-THRU CANOPY (PER DETAIL SHEET): GALVANIZED ANCHOR BOLTS, (6" ABOVE GRADE), FOOTINGS AND ELECTRICITY BY GENERAL CONTRACTOR, SIGN INSTALLED BY SIGN CONTRACTOR, CONTRACTOR TO COORDINATE WITH MCDONALD'S CONSTRUCTION MANAGER
37. 30'-0" FLAG POLE, ALUMINUM FINISH POLE AND FLAG (PER DETAIL SHEET), GALVANIZED ANCHOR BOLTS, (6" ABOVE GRADE), FOOTINGS BY GENERAL CONTRACTOR, POLE INSTALLED BY SIGN CONTRACTOR, CONTRACTOR TO COORDINATE WITH MCDONALD'S CONSTRUCTION MANAGER
38. STEEL PIPE BOLLARD PER DETAIL SHEET
39. GUARD RAIL, CONFORMING TO TDOT REQUIREMENTS
40. INSTALL 155 LF OF WROUGHT IRON FENCE ON TOP OF THE WALL TO MATCH EXISTING ON SITE
41. 160 LF OF SEGMENTAL RETAINING WALL (DESIGN BY OTHERS), COORDINATE MATERIALS WITH MCDONALD'S ACM, INSTALL WROUGHT IRON FENCE ON TOP OF WALL TO MATCH EXISTING
42. 126 LF OF SEGMENTAL RETAINING WALL (DESIGN BY OTHERS), COORDINATE MATERIALS WITH MCDONALD'S ACM, INSTALL WROUGHT IRON FENCE ON TOP OF WALL TO MATCH EXISTING
43. 93 LF OF SEGMENTAL RETAINING WALL (DESIGN BY OTHERS), COORDINATE MATERIALS WITH MCDONALD'S ACM, INSTALL WROUGHT IRON FENCE ON TOP OF WALL TO MATCH EXISTING
44. 73 LF OF SEGMENTAL RETAINING WALL (DESIGN BY OTHERS) WITH WROUGHT IRON FENCE ON TOP OF WALL TO MATCH EXISTING, COORDINATE MATERIALS WITH MCDONALD'S ACM
45. RAISE HEIGHT OF SEGMENTAL RETAINING WALL AS SHOWN IN GRADING PLAN, RE-INSTALL WROUGHT IRON FENCE ON TOP OF THE WALL
46. 36 LF OF CONCRETE CURB
47. 65 LF OF MOUNTABLE CURB
48. STOP SIGN AND 2" WIDE PAINTED WHITE STOP BAR
49. CONCRETE STEPS, REFER TO DETAILS

GENERAL SITE NOTES:

1. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES THE CONTRACTOR(S) SHALL CONTACT TENNESSEE ONE CALL AT 1-800-922-0883 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
2. THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK, MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
4. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS. ACCESS SHALL BE LIMITED UNTIL PERMISSION IS GRANTED.
5. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
6. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
7. ALL SITE DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
8. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES AND REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
9. BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
10. ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
11. ALL WORK IN RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS.
12. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY.

REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, ACCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

13. SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X AS DEFINED BY HUD F.I.R.M. COMMUNITY PANEL NUMBER 9233, WITH AN EFFECTIVE DATE OF MAY 22/2007.



LEGEND		
	2' CURB & GUTTER	
	HANDICAP RAMP	
	HANDICAP STALL	
	CONCRETE	
	PROPERTY LINE	
	SIGN	
	BOLLARD	
	EX FIRE HYDRANT	
	FENCE	
	POLE MOUNTED AREA LIGHT	
	PROPERTY CORNER	
	FINISH FLOOR ELEVATION	
PAVING SPECIFICATIONS		
CONTRACTOR TO REFER TO SOILS REPORT FOR SITE SPECIFIC PAVEMENT SPECIFICATIONS.		
NOTE: MCDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF MCDONALD'S. OTHERWISE, GENERAL CONTRACTOR WILL BE CHARGED.		
PARKING INFORMATION		
TOTAL SPACES 38	- SPACES	- X @ 30'
	2 HANDICAP SPACES	9' X @ 60'
	- SPACES	- X @ 45'
	34 SPACES	9' X @ 60'
	2 SPACES	9' X @ 90'
UTILITY INFORMATION		
SIZE	TYPE	LOCATION
SANITARY SEWER	SEWER MAIN IN CASTAIC LANE ROW	
WATER	WATER MAIN IN CASTAIC LANE ROW	
STORM SEWER	DETENTION POND TO CREEK	
ELECTRIC	POWER BOX IN CASTAIC LANE ROW	
GAS	GAS MAIN IN CASTAIC LANE ROW	
SURVEY INFORMATION		
PREPARED BY: RANDALL WHITE LAND SURVEYS 5443 MALACHI CIRCLE KNOXVILLE, TN 37918 865.925.2404 DATE OF SURVEY: 4-22-09		
PLAN SCALE: 1"=20'		
STREET ADDRESS 10708 HARDIN VALLEY RD		
CITY KNOXVILLE	STATE TN	
COUNTY KNOX		
TAX PARCEL NUMBER 103 11906 LOT 3	LOCATION CODE: NUMBER 41-1035	
CSD FILENAME: 09243		

ERITT PETERS
AND
ASSOCIATES
I N C.
c o n s u l t i n g e n g i n e e r s

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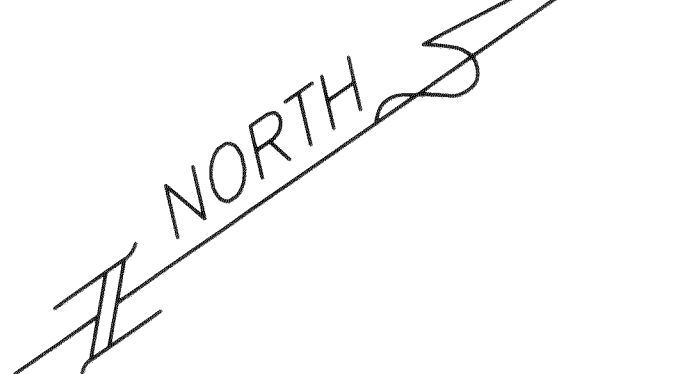
McDonald's

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RALEIGH REGION
4601 SIX FORKS ROAD - SUITE 200 - RALEIGH, N.C. 27609

PLAN APPROVAL		DATE		
REGIONAL MGR REGIONAL DEV REGIONAL CONSTRUCTION MGR REGIONAL REAL ESTATE MGR AREA CONSTRUCTION MGR CONTRACTOR	CO-SIGN SIGNATURES	SIGNATURE (2 REQUIRED)	DATE	
STATUS		DATE	BY	
FILED		-	-	
PL IN CHECKED		-	-	
AS BUILT		-	-	

C-3
SITE PLAN



"ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR"

MAINTENANCE NOTES:

IN GENERAL, ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED AND MAINTAINED DAILY AND AFTER EACH RAINFALL GREATER THAN 0.5 INCHES. ANY SEDIMENT THAT HAS BEEN TRANSPORTED BEYOND THE PROJECT LIMITS SHALL BE REMOVED. THE FOLLOWING ITEMS WILL BE CHECKED IN PARTICULAR:

CONSTRUCTION ENTRANCE:

INSPECT CONSTRUCTION ROADS AND PARKING AREAS PERIODICALLY FOR CONDITION OF SURFACE. TOP DRESSES WITH NEW GRAVEL AS NEEDED. CHECK ROAD DITCHES AND OTHER SEEDED AREAS FOR EROSION AND SEDIMENTATION AFTER RUNOFF-PRODUCING RAINS. MAINTAIN ALL VEGETATION IN A HEALTHY, VIGOROUS CONDITION. SEDIMENT PRODUCING AREAS SHOULD BE TREATED IMMEDIATELY.

SILT FENCE:

INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE. DURING CLEANOUT, REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

SILT FENCE GRAVEL OUTLET:

INSPECT SEDIMENT FENCE GRAVEL OUTLETS AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN. ANY RIP RAP DISPLACED MUST BE REPLACED IMMEDIATELY.

OUTLET STABILIZATION STRUCTURE:

INSPECT RIP RAP STRUCTURES WEEKLY AND AFTER SIGNIFICANT (0.5 INCH OR GREATER) RAINFALL EVENTS TO SEE IF ANY EROSION AROUND OR BELOW THE RIP RAP HAS TAKEN PLACE. OR IF STONES HAVE BEEN DISLODGED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.

BLOCK AND GRAVEL INLET PROTECTION:

INSPECT THE BARRIER OF AFTER EACH RAIN AND MAKE REPAIRS AS NEEDED. REMOVE SEDIMENT AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR SUBSEQUENT RAINS. WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN ADEQUATELY STABILIZED, REMOVE ALL MATERIALS AND ANY UNSTABLE SOIL, AND EITHER SALVAGE OR DISPOSE OF IT PROPERLY. BRING THE DISTURBED AREA TO PROPER GRADE, THEN SMOOTH AND COMPACT IT. APPROPRIATELY STABILIZE ALL BARE AREAS AROUND THE INLET.

SEDIMENT TRAP:

INSPECT TEMPORARY SEDIMENT TRAPS AT LEAST WEEKLY AND AFTER RAINFALL EVENTS 0.5 INCHES OR MORE. REMOVE SEDIMENT AND RESTORE THE TRAP TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF THE TRAP. PLACE THE SEDIMENT THAT IS REMOVED IN THE DESIGNATED DISPOSAL AREA, AND REPLACE THE PART OF THE GRAVEL FACING THAT IS IMPAIRED BY SEDIMENT. CHECK THE STRUCTURE FOR DAMAGE FROM EROSION OR PILING. PERIODICALLY CHECK THE DEPTH OF THE SPILLWAY TO ENSURE IT IS A MINIMUM OF 1.5 FEET BELOW THE LOW POINT OF THE EMBANKMENT. IMMEDIATELY FILL ANY SETTLEMENT OF THE EMBANKMENT TO SLIGHTLY ABOVE DESIGN GRADE. ANY RIP RAP DISPLACED FROM THE SPILLWAY MUST BE REPLACED IMMEDIATELY.

CONSTRUCTION SEQUENCE:

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT EROSION IS MINIMIZED AND THAT COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, REGULATIONS, AND ORDINANCES IS MAINTAINED THROUGHOUT EXECUTION OF THIS PROJECT.

- OBTAIN A LAND DISTURBING PERMIT. SCHEDULE A PRE-CONSTRUCTION MEETING.
- INSTALL GRAVEL CONSTRUCTION PAD, TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT TRAPS OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS, BERMS AND BASINS IMMEDIATELY AFTER CONSTRUCTION. SEE DETAIL ON SEEDING SCHEDULE. CONTRACTOR SHALL BEGIN WITH SEDIMENT FENCING AND ALL OTHER SEDIMENT CONTAINMENT DEVICES FOLLOWED BY ALL DIVERSION AND BY-PASS DITCHES/BERMS.
- BEGIN CLEARING/GRUBBING AND GENERAL EXCAVATION ON SITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PHASE/STAGE EROSION CONTROL TO ALLOW FOR CONSTRUCTION.
NOTE: CONTRACTOR SHALL INSPECT AND REPAIR ALL EROSION DEVICES AT LEAST ONCE A WEEK AND AFTER EVERY RAINFALL. GRADING ACTIVITY SHALL BE PROHIBITED IN THE AREAS OF THE SEDIMENT CONTROL DEVICES/SEDIMENT TRAPS UNTIL THE AREAS UPSTREAM OF THESE DEVICES HAVE BEEN STABILIZED AND APPROVED.
- BEGIN INSTALLING UPSTREAM STORM DRAINAGE SYSTEM. INSTALL APPROVED INLET PROTECTION, TERMINATE STORM DRAINAGE SYSTEM AT TEMPORARY SEDIMENT TRAP DEVICES UNTIL SUCH DEVICES HAVE BEEN APPROVED FOR REMOVAL. ADDITIONAL MEASURES MAY BE REQUIRED BY THE INSPECTOR DUE TO THE ROUTING OF THE STORM DRAINAGE SYSTEM AND ACTUAL FIELD CONDITIONS.
NOTE: SEDIMENT BASINS SHALL BE FUNCTIONAL THROUGHOUT GRADING AND EXCAVATING.
- STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDDED AREAS WITHIN FIFTEEN (15) DAYS OF COMPLETION OF ANY PHASE OF CONSTRUCTION.
NOTE: THE CONTRACTOR SHALL ENSURE THAT THE EROSION CONTROL DEVICES REMAIN UNDISTURBED DURING CONSTRUCTION OF THE BUILDING PADS AND ASSOCIATED PARKING/DRIVE AREAS ADJACENT TO THESE DEVICES UNTIL THE CONTRIBUTING UPSTREAM AREAS HAVE BEEN STABILIZED AND APPROVED.
- WHEN SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCING, SEDIMENT BASINS, ETC., AND SEED OUT OR PAVE ANY RESULTING BARE AREAS.

PROPOSED STORM DRAINAGE TABLE			
LABEL	TYPE	T/C	INVERT
CB(1)	CI	993.0	999.0
CB(2)	CI	993.7	998.8
CB(3)	CI	993.5	995.7
CB(4)	EX CI	998.7	994.85
CB(5)	EX CI	998.2	994.65
CB(6)	CI	999.3	996.2
CB(7)	CI	999.7	995.9
CB(8)	JB	999.7	995.7±
CB(9)	EX CI	997.7	994.88

PROPOSED STORM PIPE TABLE				
LABEL	TYPE	SLOPE	SIZE	LENGTH
P-1	RCP/HDPE	0.6 %	15"	33'
P-2	RCP/HDPE	2.6 %	15"	119'
P-3	RCP/HDPE	5.3 %	15"	16'
P-4	RCP/HDPE	0.8 %	15"	24'
P-5	RCP/HDPE	1.2 %	15"	25'
P-6	RCP/HDPE	2.5 %	15"	8'

GRADING/EROSION CONTROL NOTES:

- THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL, ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND UTILITIES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT TENNESSEE ONE CALL AT 1-800-922-0863 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE 2 AS DEFINED BY HUD F.I.R.M. COMMUNITY PANEL NUMBER 2233 WITH AN EFFECTIVE DATE OF MAY 22/2007.
- ALL GRADING AND BACKFILLING, EXCAVATING, ETC., SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL INVESTIGATION REPORTS. REFER TO THESE REPORTS FOR ADDITIONAL INFORMATION NOT TRANSFERRED TO THESE PLANS.
- THE EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO ANY EARTHWORK.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
- ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED AND REPAIRED AT A MINIMUM OF WEEKLY BASIS AND AFTER EVERY RAIN EVENT.
- ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM.
- ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE VIA THE CONSTRUCTION ENTRANCES.
- THE APPROXIMATE AREA OF THE LIMITS OF CLEARING, GRADING AND CONSTRUCTION IS 1.3 ACRES.
- PROVIDE A GROUND COVER (TEMPORARY OR PERMANENT) ON EXPOSED SLOPES WITHIN 21 CALENDAR DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING, AND A PERMANENT GROUND COVER FOR ALL DISTURBED AREAS WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.
1. SPRING SEEDING: MARCH 1 - APRIL 30. SPRING OATS 2.5 LBS PER 1,000 SQUARE FOOT.
2. SUMMER SEEDING: MAY 1 - AUGUST 1. WEEPING LOVE GRASS AT 2 OZ. PER SQUARE FOOT MIXED WITH 1 BUSHEL OF SAWDUST FOR UNIFORM SEEDING.
3. ASPHALT MULCH 6 GALLONS PER 1,000 SQUARE FOOT. ALL SEEDING WILL BE MULCHED.
- SEE LANDSCAPE PLAN FOR PERMANENT SEEDING OR SOD SPECIFICATIONS.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK.
- THIS SITE IS A PRIORITY CONSTRUCTION ACTIVITY. STRICTER PENALTIES WILL BE ENFORCED FOR IMPAIRED STREAMS.

LEGEND

- DROP INLET
- CURB INLET
- STORM PIPE
- TOP OF CURB
- BOTTOM OF CURB
- CURB & GUTTER
- INLINE DRAIN
- INLET PROTECTION
- SILT FENCE
- LIMITS OF DISTURBANCE
- WATER QUALITY / NOT CRYSTAL STREAM
- SINGLE WALKWAY (6'X4'WX6") REFER TO C-8
- ROOF DRAIN
- 8" CORRUGATED PLASTIC
- 2" MIN. SLOPE
- PVC IN TRAFFIC AREAS
- CLEARWAYS LOCATED @ ALL BENTS
- CONSTRUCTION ENTRANCE
- TURF MAT REINFORCEMENT
- SHALL BE WESTERN EXCELSION EXCEL CS-3 OR APPROVED ALTERNATE
- HANDICAP PARKING AREA
- 2% MAX. SLOPE
- TW IS GROUND AT TOP OF WALL
- TW IS GROUND AT BOTTOM OF WALL

PAVING SPECIFICATIONS

CONTRACTOR TO REFER TO SOILS REPORT FOR SITE SPECIFIC PAVEMENT SPECIFICATIONS.

NOTE: McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION. TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, GENERAL CONTRACTOR WILL BE CHARGED.

PARKING INFORMATION

TOTAL SPACES	SPACES		X		@ 30'	
	2	HANDICAP SPACES	9'	X	2'	@ 60'
38	SPACES		X		@ 45'	
	34	SPACES	9'	X	2'	@ 60'
2	SPACES	9'	X	2'	@ 90'	

UTILITY INFORMATION

	SIZE	TYPE	LOCATION
SANITARY SEWER		SEWER MAIN IN CASTAIC LANE ROW	
WATER		WATER MAIN IN CASTAIC LANE ROW	
STORM SEWER		DETENTION POND TO CREEK	
ELECTRIC		POWER BOX IN CASTAIC LANE ROW	
GAS		GAS MAIN IN CASTAIC LANE ROW	

SURVEY INFORMATION

PREPARED BY: RANDALL WHITE LAND SURVEYS
5443 MALACHI CIRCLE
KNOXVILLE, TN 37919
605.925.2404
DATE OF SURVEY: 4-22-09

PLAN SCALE: 1" = 20'

STREET ADDRESS
10708 HARDIN VALLEY RD

CITY	STATE
KNOXVILLE	TN
COUNTY	NUMBER
KNOX	41-1065
TAX PARCEL NUMBER	CSD FILENAME:
103 11906 LOT 3	09243

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www.brittpeters.com

McDonald's

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

RALEIGH REGION

4801 SIX FORKS ROAD, SUITE 200 - RALEIGH, N.C. 27609

OFFICE ADDRESS

PLAN APPROVAL

SIGNATURE (2 REQUIRED)

DATE

STATUS

DATE

BY

FINAL

PLN / CHECKED

AS-BUILT

REGIONAL MGR

REGIONAL DIR / DIRECTOR

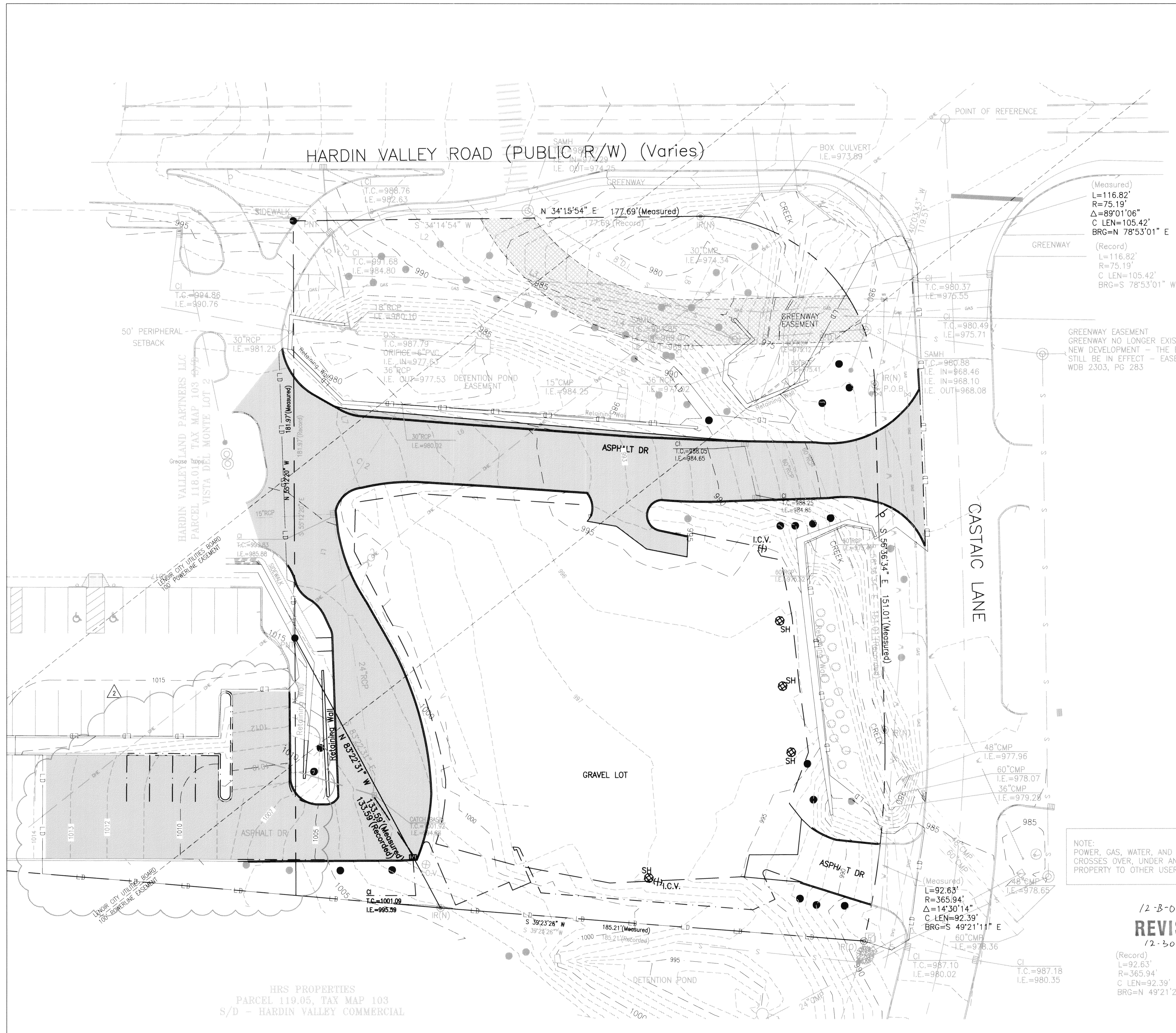
REGIONAL CONSTRUCTION MGR

REGIONAL REAL ESTATE MGR

AREA CONSTRUCTION MGR

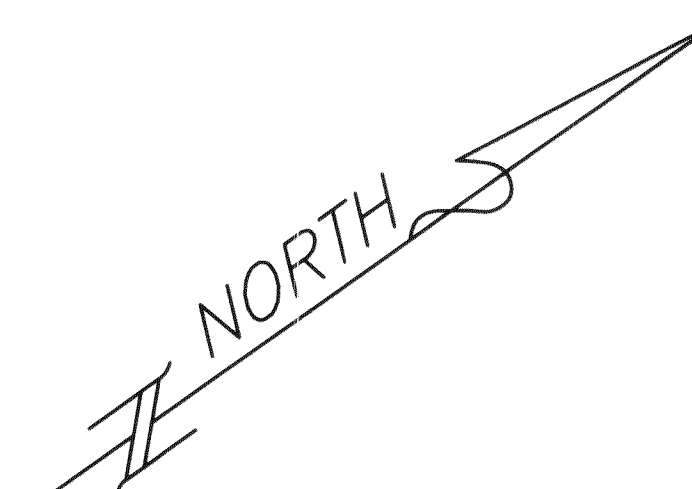
CONTRACTOR

C-5 GRADING/EROSION CONTROL PLAN



DEMOLITION NOTES:

- 1) EXISTING SITE CONDITIONS SHALL BE VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPORT ANY DIFFERENCES FROM THE PLAN THAT WILL AFFECT CONSTRUCTION, IN WRITING, TO THE ENGINEER AND AWAIT FURTHER INSTRUCTIONS.
- 2) ALL EXISTING TO REMAIN SHALL BE PROTECTED FROM DAMAGE. IN THE EVENT THAT EXISTING ITEMS TO REMAIN ARE DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE THE ITEM AT NO COST TO THE OWNER.
- 3) VERIFY ALL DEMOLITION IN THE R/W WITH THE APPROVED ENCROACHMENT PERMIT.
- 4) ALL DEPRESSIONS FORMED BY DEMOLITION SHALL BE FILLED. REFER TO THE GRADING PLAN FOR FURTHER SPECIFICATIONS FOR FILL REQUIREMENTS.



DEMOLITION LEGEND


DENOTES EXISTING ITEM
TO BE REMOVED

DENOTES EXISTING ITEM
TO REMAIN


DENOTES ASPHALT PAVEMENT
SHALL BE REMOVED

		PARKING INFORMATION		17' - 20'	
TOTAL SPACES	-	SPACES	-	X	@ 30
	2	HANDICAP SPACES	9'	X	@ 60
	-	SPACES	-	X	@ 45
	34	SPACES	9'	X	@ 60
38	2	SPACES	9'	X	@ 90
UTILITY INFORMATION					
	SIZE	TYPE		LOCATION	
SANITARY SEWER	SEWER MAIN IN CASTAIC LANE ROW				
WATER	WATER MAIN IN CASTAIC LANE ROW				
STORM SEWER	DETENTION POND TO CREEK				
ELECTRIC	POWER BOX IN CASTAIC LANE ROW				
GAS	GAS MAIN IN CASTAIC LANE ROW				
SURVEY INFORMATION					
PREPARED BY:	RANDALL WHITE LAND SURVEYS 5443 MALACHI CIRCLE KNOXVILLE, TN 37918 865.925.2404				
DATE OF SURVEY:	4-22-09				
PLAN SCALE: 1" = 20'					
STREET ADDRESS					
10708 HARDIN VALLEY RD					
CITY KNOXVILLE			STATE TN		
COUNTY KNOX					
TAX PARCEL NUMBER 103 11906 LOT 3			LOCATION CODE NUMBER		
CSD FILENAME: 09243			41-1065		

PLAN APPROVAL		SIGNATURE (REQUIRED)		DATE	REV	DATE	DESCRIPTION	BY	ISSUE/REF
REGIONAL MGR					1	10-23-09	ISSUE FOR PERMIT	JAG	
REGIONAL DEV. DIRECTOR					2	12-29-09	ADDRESSED REVIEW COMMENTS	JAG	
REGIONAL CONSTRUCTION MGR									
REGIONAL REAL ESTATE MGR									
CO-SIGN SIGNATURES									
AREA CONSTRUCTION MGR									
CONTRACTOR									
OFFICE ADDRESS				RALEIGH REGION					
4601 SIX FORKS ROAD - SUITE 200 - RALEIGH, N.C. 27609									



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**BRITT PETERS
— AND —
ASSOCIATES**
I N C.
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(864) 271-8869
Fax (864) 233-5140
www.brittpeters.com

C-12

DE MOLITION PLAN

IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE IRRIGATION CONTRACTOR, FOR IRRIGATION SLEEVE SIZE, FOR IRRIGATION SYSTEM.

HARDIN VALLEY ROAD (PUBLIC R/W) (Varies)

GREENWAY

DETONATION POND EASEMENT

DETONATION POND

CASTAIC LANE

McDONALD'S RESTAURANT

45'-87'+5'+5'

4,365 SF

FFE:997.0'

LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT TENNESSEE ONE CALL AT 1-800-922-0983 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.

2. ENTIRE SITE SHALL BE SODDED UNLESS SPECIFIED ON PLAN OR REQUESTED BY REGIONAL CONSTRUCTION MANAGER USE LOCALLY ADAPTED SOD.

3. THE GENERAL CONTRACTOR SHALL LEAVE THIS SITE AT 6" FROM FINISHED GRADE. THE LANDSCAPE CONTRACTOR SHALL REVISE GRADES AT A MINIMUM TO ENSURE SMOOTH TRANSITIONS BETWEEN PLANTING BEDS AND LAWN AREAS.

4. PLANT GUARANTEE: ALL PLANTS SHALL BE GUARANTEED TO LIVE FOR TWELVE MONTHS. THE GUARANTEE SHALL COMMENCE UPON FINAL ACCEPTANCE OF THE PROJECT. IF ANY PLANTS ARE DEAD OR IN AN UNHEALTHY CONDITION BEFORE FINAL ACCEPTANCE, THE LANDSCAPE CONTRACTOR SHALL REPLACE DEAD OR DYING PLANT MATERIAL AT HIS EXPENSE. THIS REPLACEMENT SHALL NOT BE CONSIDERED A GUARANTEED REPLACEMENT.

5. ALL PLANTING SHALL BE PLACED WITHIN A MULCHED PLANTING BED.

6. ALL STRAPPING AND THE TOP 2/3 OF WIRE BASKETS MUST BE CUT AWAY AND REMOVED FROM ROOT BALLS PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.

7. ALL LANDSCAPE WORK SHALL BE IN ACCORDANCE WITH CURRENT CITY STANDARD DETAILS AND SPECIFICATIONS.

8. ALL AREAS NOT MULCHED SHALL BE SEEDED OR SODDED IN ACCORDANCE WITH THE AREA SPECIFIED ON PLANS WITH GRASS SPECIES RECOMMENDED FOR REGION AS PRESCRIBED IN THE SEEDING SCHEDULE AS SHOWN ON THIS SHEET.

9. SITE LIGHTING SHALL NOT BE PLACED IN CONFLICT WITH PLANTED TREES.

10. TREE PROTECTION FENCING TO BE PROVIDED AROUND TREE PRESERVATION AREAS IN ACCORDANCE WITH CITY STANDARDS.

11. COORDINATE ALL WORK WITH SITE LAYOUT AND SITE GRADING, DRAINAGE & UTILITIES PLAN.

12. MULCH ALL AREAS, THAT ARE NOT SEEDED OR SODDED, WITH SHREDDED HARDWOOD MULCH OR APPROVED EQUAL AS SPECIFIED TO A DEPTH OF 3-4".

13. THE SELECTION AND INSTALLATION OF PLANTS AND PLANTING METHODS SHALL CONFORM WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSEMEYER OR THE CITY STANDARD DETAILS AND SPECIFICATIONS, WHICHEVER IS STRICTER.

14. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES. DRAWINGS SHALL RULE OVER PLANT LISTS.

15. SUBSTITUTIONS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT OR ENGINEER FOR APPROVAL, PRIOR TO INSTALLATION. SUBSTITUTIONS MAY REQUIRE ADDITIONAL APPROVAL BY THE GOVERNING JURISDICTION.

16. ALL LANDSCAPING SOIL AND FILL SHALL BE FREE FROM WEEDS, REFUSE, AND DEBRIS AT ALL TIMES.

17. TREES AND LARGE SHRUBS SHALL BE ADEQUATELY SUPPORTED, AS NECESSARY, USING STAKES AND GUYS. SUCH SUPPORTS SHALL BE DESIGNED SO AS TO PROTECT TREES AND SHRUBS FROM INJURY. TREES AND SHRUBS SHALL BE FASTENED TO THE SUPPORT WITH AN ACCEPTABLE COMMERCIAL TREE TIE OF PLASTIC OR HOSE COVERED WIRE.

18. THE MAXIMUM GROWTH HEIGHT OF ANY LANDSCAPING WITHIN THE SIGHT TRIANGLE SHALL BE THREE (3) FEET IN HEIGHT OR AS REQUIRED AGENCIES HAVING AUTHORITY OVER THE PROJECT.

19. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.

SHRUB PIT TO COMPILE WITH DEPTHS AND WIDTHS FOUND IN THE SPECS.

TYPICAL CONTAINER (POTTED) DECIDUOUS SHRUB

SHREDDED HARDWOOD BARK MULCH

3" - 4" MIDDLE RING

PLANT BALL

PLANTING SOIL

CONSTRUCTION SOIL

VARIES

SHRUB PLANTING DETAIL

TYPICAL B&B TREE

NOTE: NONE OF THE B&B TREES ARE TO BE STAKED UNLESS INDICATED.

PLASTIC SPIRAL TREE PROTECTION

SHREDDED HARDWOOD BARK MULCH

3" - 4" MIDDLE RING

TREE BALL

PLANTING SOIL

CONSTRUCTION SOIL

VARIES

TREE PLANTING DETAIL

NOTE: 1. ALL TREES SHOULD BE PRUNED ONLY AFTER INSTALLATION AND WATERING IN THE TREE. PRUNE TO GROWERS SPECIFICATIONS. 2. ALL TREES SHALL COMPLY WITH THE AMERICAN STANDARDS FOR NURSERY STOCK - INCLUDING TREE PIT DEPTH AND WIDTH.

LEGEND

WILLOW OAK QUERCUS PHellos 2-1/2" CALIPER 10' TALL 4

EASTERN REDBUD CERCIS CANADENSIS 2" CALIPER 3

INDIAN HAWTHORN RAPHIOLEPIS INDICA 3 GALLON 42

LIGUSTRUM LIGUSTRUM JAPONICA 7 GALLON 10

SOD

FESCUE

HARDWOOD

ANNUAL COLOR

VARIATED LIRIOPE LIRIOPE MUSCARI VARIEGATA

PARKING INFORMATION

TOTAL SPACES 38

SPACES X @ 30'

HANDICAP SPACES 2' X 2' 1' @ 60'

SPACES X @ 45'

SPACES 9' X 2' 1' @ 60'

SPACES 9' X 2' 1' @ 90'

UTILITY INFORMATION

SIZE TYPE LOCATION

SANITARY SEWER SEWER MAIN IN CASTAIC LANE ROW

WATER WATER MAIN IN CASTAIC LANE ROW

STORM SEWER DETENTION POND TO CREEK

ELECTRIC POWER BOX IN CASTAIC LANE ROW

GAS GAS MAIN IN CASTAIC LANE ROW

SURVEY INFORMATION

PREPARED BY: RANDALL WHITE LAND SURVEYS 5443 MALACHI CIRCLE KNOXVILLE, TN 37918 865.926.2404

DATE OF SURVEY: 4-22-09

PLAN SCALE: 1" = 20'

STREET ADDRESS 10708 HARDIN VALLEY RD

CITY KNOXVILLE STATE TN

COUNTY KNOX

TAX PARCEL NUMBER 103 11906 LOT 3

CSD FILENAME: 09243

LOCATION CODE JUMBER 41-1065

STATUS DATE BY

FIN L - -

PLA 4 CHECKED - -

AS-UILT - -

L-1 LANDSCAPE PLAN

ERITT PETERS AND ASSOCIATES INC. consulting engineers

55 S. Main Street Suite 301 Greenville, SC 29601 (814) 271-8869 Fax (864) 233-5140 www.brittspeters.com

McDonald's

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OFFICE ADDRESS: 4601 SIX FORKS ROAD - SUITE 200 - RALEIGH, N.C. 27609

PLAN APPROVAL

SIGNATURE (2 REQUIRED) DATE

REGIONAL MGR REGIONAL DEV. DIRECTOR REGIONAL CONSTRUCTION MGR REGIONAL REAL ESTATE MGR CO-SIGN SIGNATURES AREA CONSTRUCTION MGR CONTRACTOR

REVISED 12-30-09

55 J. S. Main Street
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Greenville, SC 29601
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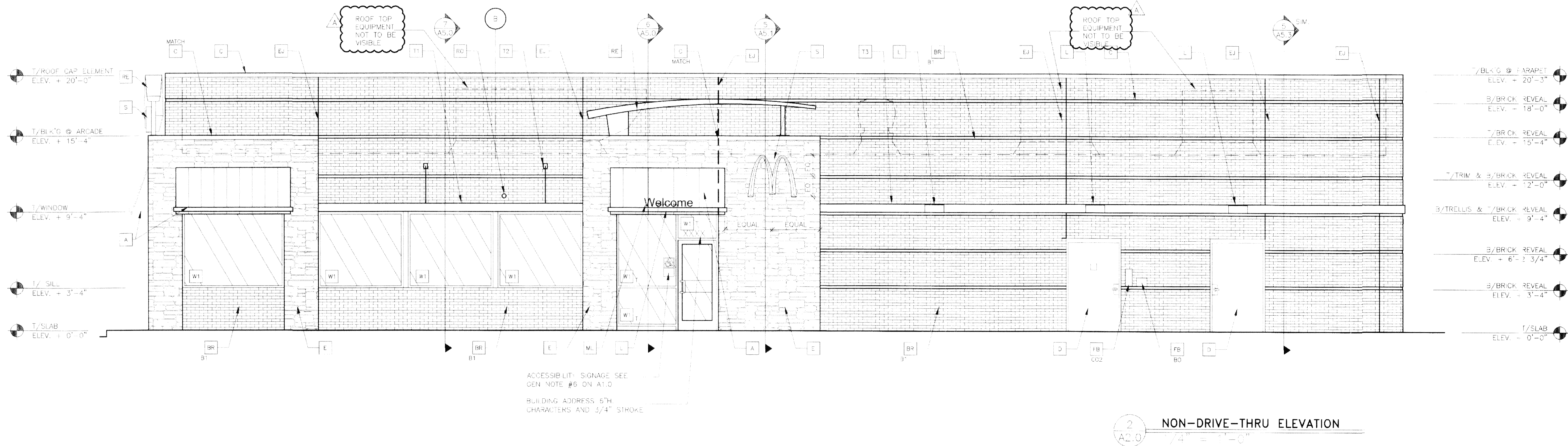
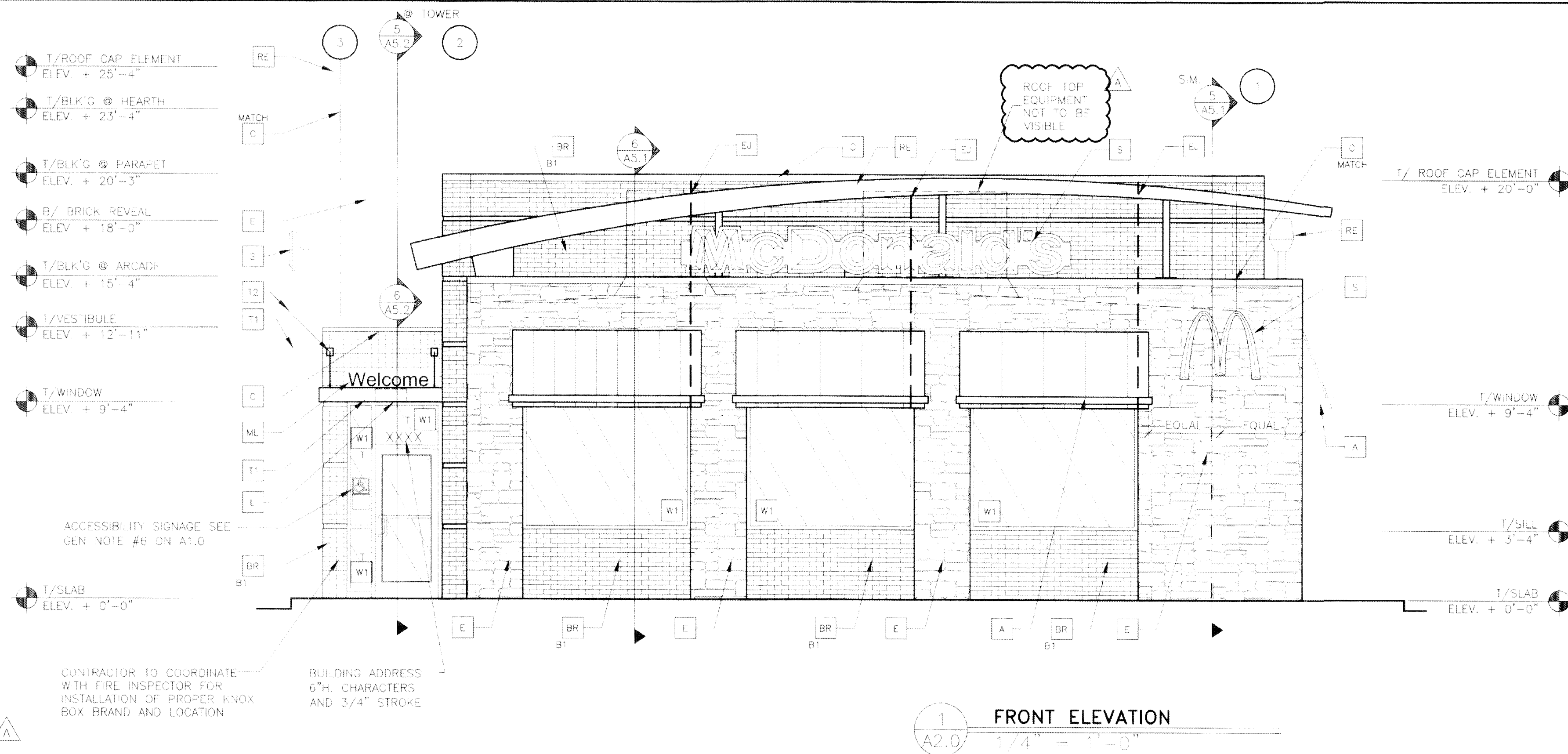
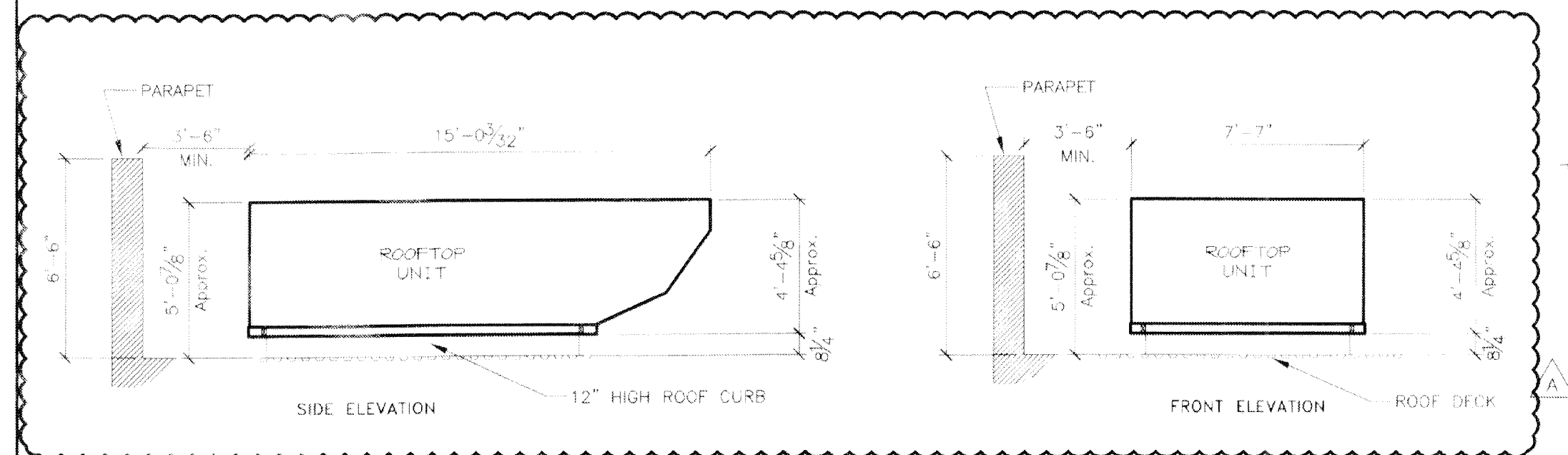
SS	RALEIGH REGION	4601 SIX FORKS ROAD - SUITE 200 - RALEIGH, N.C. 27609
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PLAN APPROVAL		DATE
SIGNATURE (2 REQUIRED)		
REGIONAL MGR		
REGIONAL DEV. DIRECTOR		
REGIONAL CONSTRUCTION MGR		
REGIONAL REAL ESTATE MGR		
CO-SIGN SIGNATURES		
AREA CONSTRUCTION MGR		
CONTRACTOR		
STATUS	DATE	BY
FINAL	-	-
PLAN CHECKED	-	-
AS-BUILT	-	-

L-1

LANDSCAPE PLAN

K:\JUV LAST - RAL\04-1065-06-A KNOXVILLE-ILLY.DWG 12-07-2009 15:00

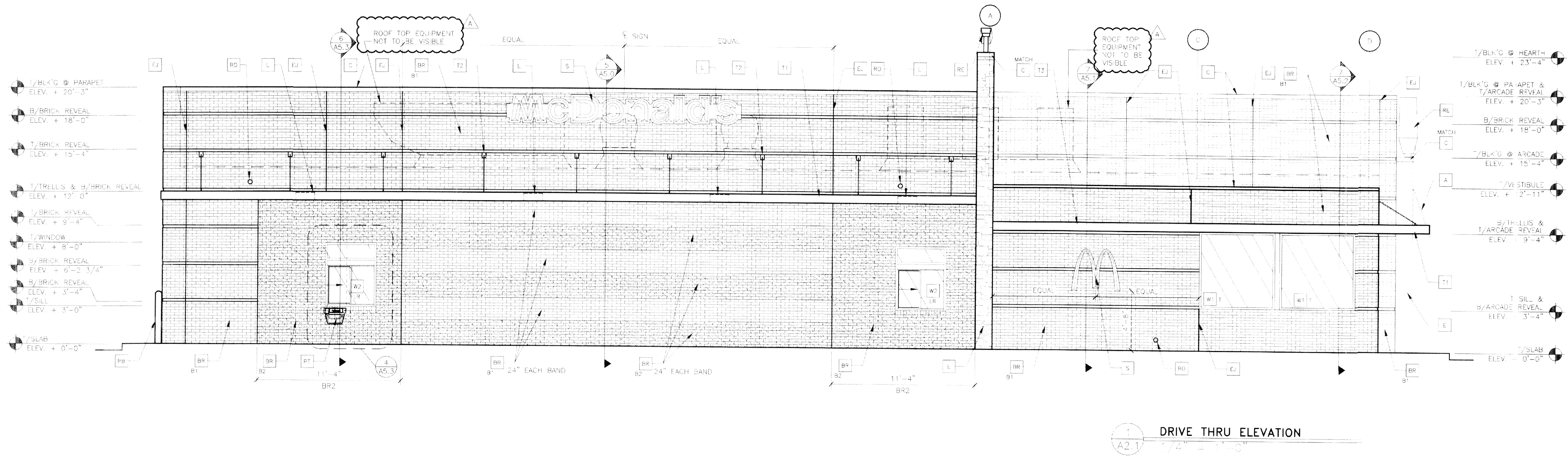


KEY NOTES:

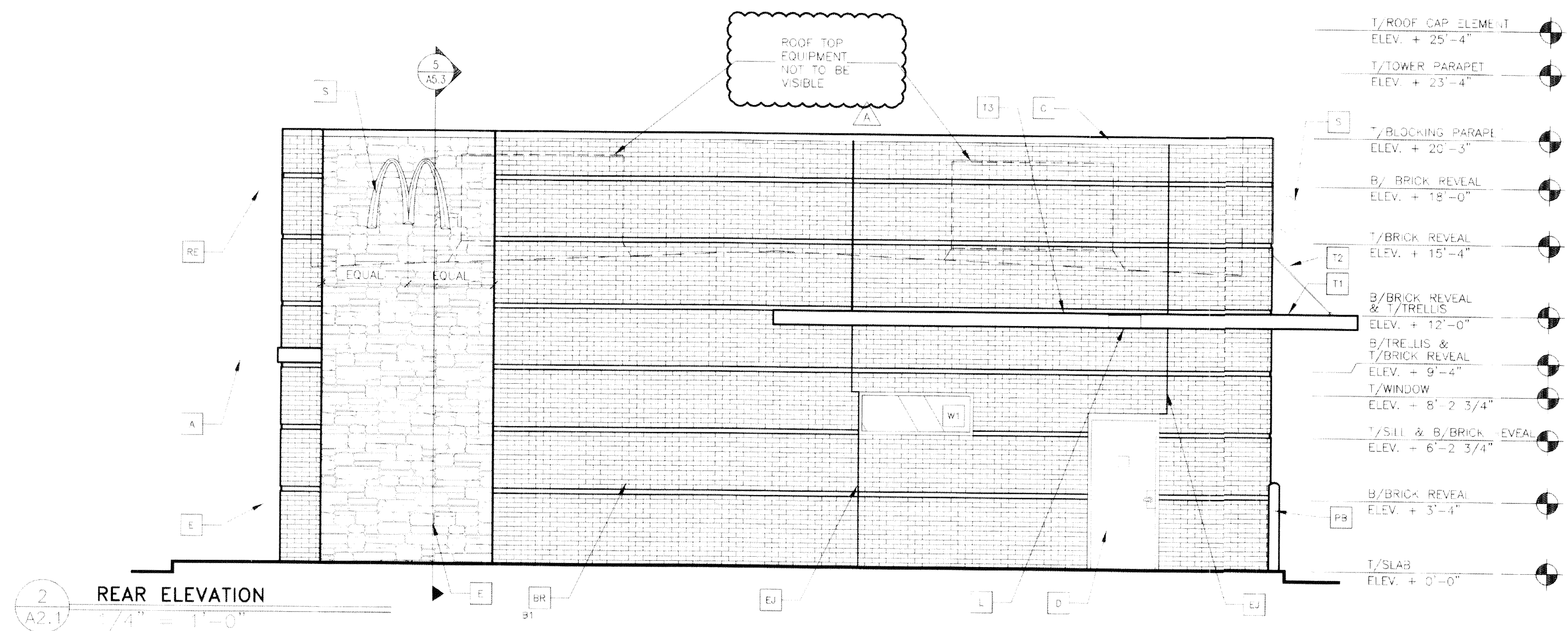
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|---|--|---|--|---|--|
| <p>[A] METAL AWNING - UNDER SEPARATE PERMIT. COLOR TO BE ALTERNATING STRIPES TO MATCH PANTONE 123C AND 109C</p> <p>[BR] FACEBRICK</p> <p>B1 = "RUBIGO RED VELOUR" 3" BELDEN OR EQUAL</p> <p>B2 = "MODULAR MIDLAND BLEND A" BY BELDEN OR EQUAL</p> | <p>[C] METAL COPING - COLOR = ALUMINUM</p> <p>[C] METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL</p> <p>[D] HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL</p> | <p>[E] CULTURED STONE, COBBLEFIELD - AUSTIN, CSV-2035 BY OWENS CORNING</p> <p>[FJ] MOVEMENT JOINT, SEE DETAIL 7/A4.1</p> <p>[FB] CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)</p> <p>[FB] CO2</p> <p>[FB] OPTIONAL, BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18) - CONFIRM USE WITH MCD PROJECT MANAGER</p> | <p>[L] LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL</p> <p>[ML] METAL LETTERING - BY OTHERS</p> <p>[PB] PIPE BOLLARD - PAINTED YELLOW</p> <p>[PT] (RM-6) COIN COLLECTOR</p> <p>[RE] ROOF CAP ELEMENT BY OTHERS</p> | <p>[R0] ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL</p> <p>[S] MCDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT</p> <p>[T1] ALUMINUM TRELLIS</p> <p>[T2] TRELLIS TIE-BACK</p> <p>[T3] 2" x 8" WALL FASCIA - REFER TO S.M. DETAIL 3 ON SHEET A2.1</p> | <p>[W] EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES ON SHEET A2.3</p> <p>T = TEMPERED GLASS</p> <p>[A2] DRIVE-THRU WINDOW BY READY ACCESS - CONFIRM VEHICLE OPTIONS, AND SIZE WITH VCD AREA CONSTRUCTION MANAGER. OPTIONS INCLUDE: TRANSOM (SHOWN)</p> <p>SLIDE DIRECTION: RL = RIGHT TO LEFT, LR = LEFT TO RIGHT</p> |
|---|--|---|--|---|--|

12-B-09-UR
REVISED
12-30-09

PREPARED BY: Michael J. Ceferin, Registered Architect, 2141 McDonald Drive, Oak Brook, IL 60521	
DATE: 12/4/09	REV: 4
DESCRIPTION: 2009 STANDARD BUILDING 4587 + 5-5-MASONRY/STEEL BLDG.	
SITE ADDRESS: 10708 Murdick Valley Road, KNOXVILLE, TN	
SHEET NO: A2.0 ELEVATIONS	



1
A2.1 DRIVE THRU ELEVATION
1/4" = 1'-0"



2 REAR ELEVATION
A2.1 1'-4" 1'-0"

KEY NOTES:

- | | | |
|--|---|---|
| <div style="border: 1px solid black; padding: 2px; width: 30px; float: left; margin-right: 5px;">A</div> METAL AWNING - UNDER SEPARATE PERMIT. COLOR TO BE ALTERNATING STRIPES TO MATCH PANTONE 123C AND 199C

<div style="clear: both;"></div> | <div style="border: 1px solid black; padding: 2px; width: 30px; float: left; margin-right: 5px;">C</div> METAL COPING - COLOR = A-UMIUM-
ALUM.

<div style="clear: both;"></div> | <div style="border: 1px solid black; padding: 2px; width: 30px; float: left; margin-right: 5px;">E</div> CULTURED STONE, DOBBELFELD - AUSTIN, CSV=2935 BY OWENS CORNING

<div style="clear: both;"></div> |
| <div style="border: 1px solid black; padding: 2px; width: 30px; float: left; margin-right: 5px;">BR</div> FACEBRIK

<div style="clear: both;"></div> | <div style="border: 1px solid black; padding: 2px; width: 30px; float: left; margin-right: 5px;">C</div> METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL
MATCH

<div style="clear: both;"></div> | <div style="border: 1px solid black; padding: 2px; width: 30px; float: left; margin-right: 5px;">EJ</div> MOVEMENT JOINT, SEE DETAIL 7/A-1

<div style="clear: both;"></div> |
| <div style="border: 1px solid black; padding: 2px; width: 30px; float: left; margin-right: 5px;">B1</div> COLOR:
B1 = "RUBIGO RED VELOUR" BY BELDEN OR EQUAL
B2 = "MODULAR MIDLAND BLEND A" BY BELDEN OR EQUAL

<div style="clear: both;"></div> | <div style="border: 1px solid black; padding: 2px; width: 30px; float: left; margin-right: 5px;">D</div> HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL

<div style="clear: both;"></div> | <div style="border: 1px solid black; padding: 2px; width: 30px; float: left; margin-right: 5px;">FB</div> CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)
CO2

<div style="clear: both;"></div> |
| | | <div style="border: 1px solid black; padding: 2px; width: 30px; float: left; margin-right: 5px;">FB</div> OPTIONAL BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)
CONFIRM USE WITH MCD PROJECT MANAGER
OIL

<div style="clear: both;"></div> |

- | | |
|----|--|
| LI | LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL |
| ML | METAL LETTERING - BY OTHERS |
| PR | PIPE BOLLARD - PAINTED YELLOW |
| PT | (RMHC) COIN COLLECTOR |
| RL | ROOF CAP ELEMENT BY OTHERS |

- | | |
|----|--|
| 10 | ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL |
| 5 | MCDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT |
| 1 | ALUMINUM TRELLIS |
| 2 | TRELLIS "E" BACK |
| 13 | 2" x 2" WALL FASCIA -- REFER TO SIM. DETAIL 3 ON SHEET A5. |

- W1 EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTATION
ON SHEET A5.0
T - TEMPERED GLASS
- W2 DRIVE-THRU WINDOW BY REAR ACCESS - CONFIRM MODEL,
OPTIONS, AND SIZE WITH MCD AREA CONSTRUCTION MANAGER
OPTIONS INCLUDE: TRANSCAM (SHOWN)
- XX SLIDE DIRECTION. RL = RIGHT TO LEFT
LR = LEFT TO RIGHT

12-B-09-UR
REVISED
12-30-09

Michael J. Ceferin
Registered Architect

PREPARED FOR:
McDonald's USA, LLC
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SHEET NO.	2009 STANDARD BUILDING	4587 15th MASONRY/STEEL BLDG.	DRAWN BY GAWAN, BR RIP
ELEVATIONS	DESCRIPTION 8" CMU BEARING WALLS / FACE BRICK / PAR JOIST ROOF FRAMING CULTURED STONE ARCHADE	2002 NORTH CAROLINA ACCESSIBILITY CODE	REVIEWED BY JEDM
			DATE ISSUED 10/21/09
	SITE ID 041-1065	SITE ADDRESS 10708 Hurray Valley road	KNOXVILLE, TN