

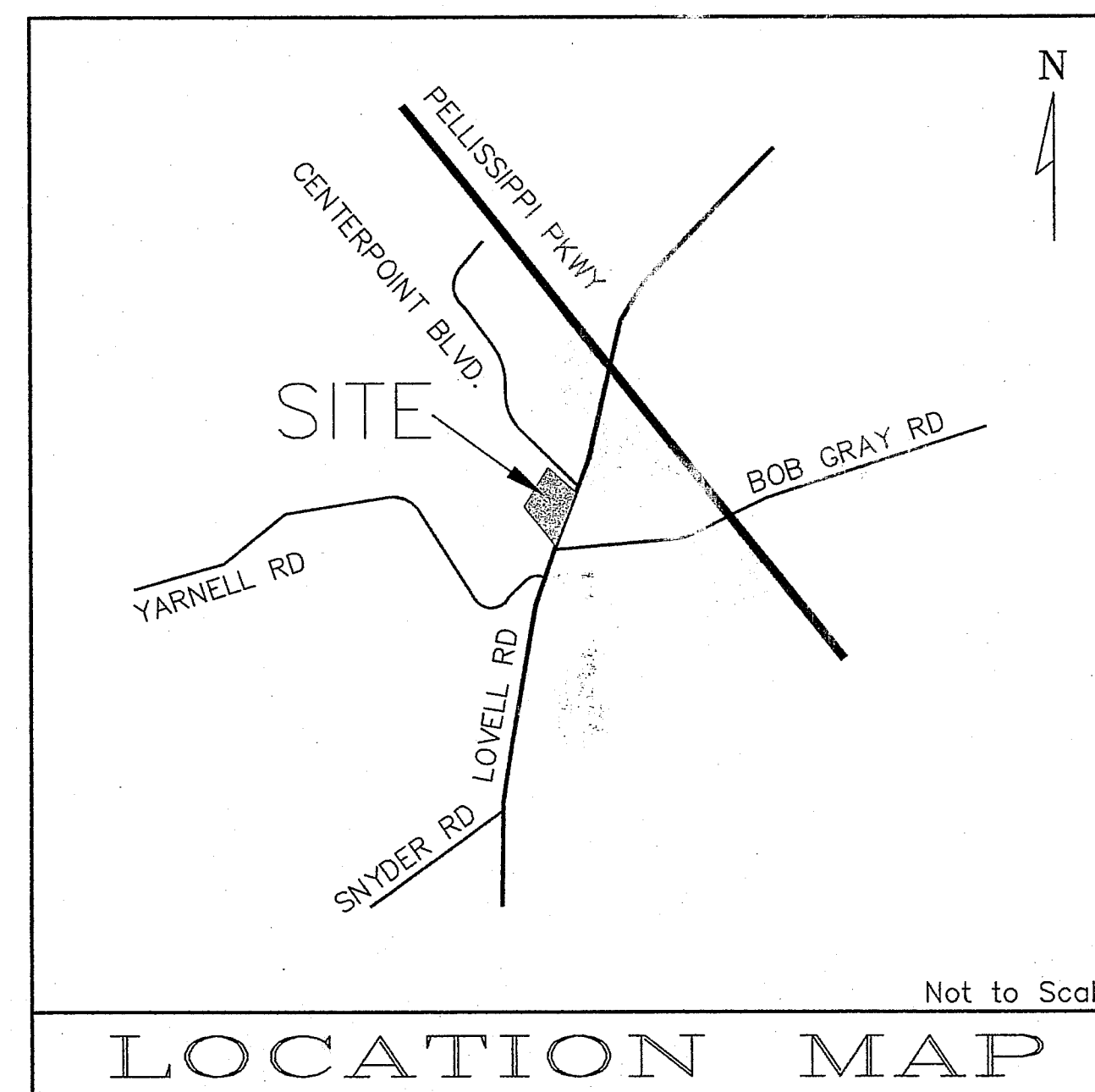
DESIGN PLAN
FOR

W&L PROPERTIES, LLC

DISTRICT 6, KNOX COUNTY, TENNESSEE
CLT MAP 118, PARCEL 016.01

INDEX OF PLANS

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6	WASTEWATER PLAN
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8	LANDSCAPE PLAN
9	LIGHTING PLAN



OWNER:

W&L PROPERTIES, LLC
BILL WEIGEL
P. O. BOX 650
POWELL, TENNESSEE 37849
PHONE: (865) 938-2042
FAX: (865) 938-2444

BATSON, HIMES, NORVELL & POE
REGISTERED ENGINEERS & LAND SURVEYORS
4334 PAPERMILL DRIVE
KNOXVILLE, TENNESSEE 37909
PHONE (865) 588-6472
FAX (865) 588-6473

AUGUST 6, 2008
REVISED: OCTOBER 4, 2010
REVISED: NOVEMBER 19, 2010

12-B-10-UR
REVISED
11-24-10



SHEET 1 OF 9 SHEETS
23040-TS

Q:\23040\23040.dwg

C82		010	
01	Q=peak discharge (cfs) C=runoff coefficient (dimensionless) A=watershed Area (acres)	010	Q=peak discharge (cfs) C=runoff coefficient (dimensionless) A=watershed Area (acres)
Therefore:	C= 0.95 cfs I= 2.5 in/hr A= 0.23 ac Q= 0.56 cfs	Therefore:	C= 0.95 cfs I= 4.8 in/hr A= 0.23 ac Q= 1.04 cfs
Treatment Volume		Bypass Volume	

NOTE:

CONTRACTOR IS RESPONSIBLE FOR ALL TRENCH SAFETY

CONTRACTOR SHALL SHORE AND BRACE ALL OPEN CUT TRENCHES AS REQUIRED BY STATE AND FEDERAL LAWS AND LOCAL ORDINANCES; TO CONFORM WITH RECOMMENDATIONS SET FORTH IN AGC MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION; TO PROTECT LIFE, PROPERTY, OR WORK; TO AVOID EXCESSIVELY WIDE CUTS IN UNSTABLE MATERIAL.

OSHA RULES SHALL BE ABIDED BY.

NOTE:
CONTRACTOR TO NOTIFY ENGINEER
BEFORE START OF CONSTRUCTION

PELLOSPPI PKWY

CENTERVILLE BLVD

SITE

YARNELL RD

LOVELL RD

SNODGRASS RD

F.B. GRAY RD

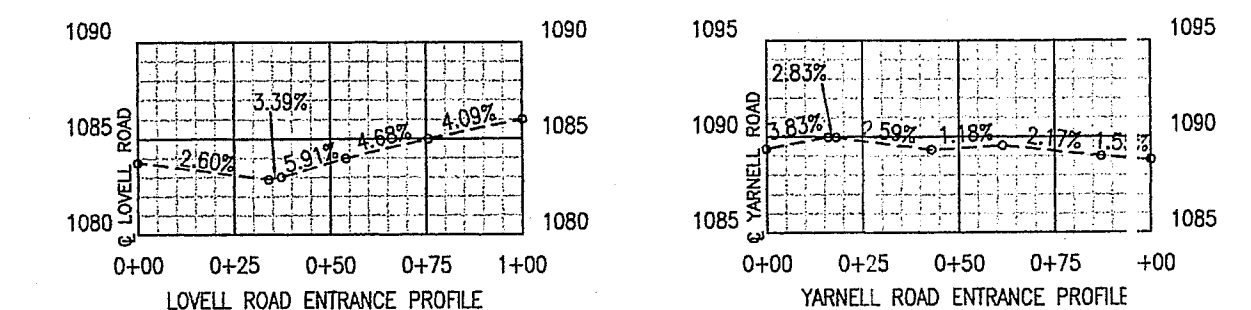
N

Not to Scale

LOCATION MAP

LINE/SYMBOL LEGEND

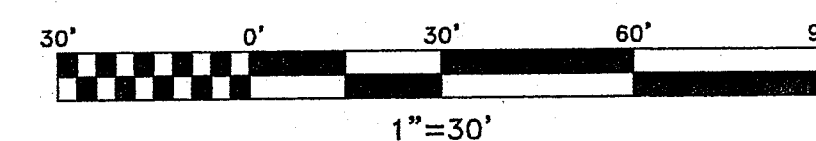
	CATCH BASIN
	JUNCTION BOX
	SEWER MANHOLE
	END WALL



PIPE NO. #	UPSTREAM T.O.G. EL.	INV. EL.	DOWNSTREAM T.O.G. EL.	INV. EL.	LENGTH (FT)	SLOPE (FT/FT)	SIZE (IN.)	PIPE MATERIAL	MANNING N	VELOCITY FPS	PROVIDED (CFS)
1	1080.80	1077.00	HW	1076.00	67.00	0.0119	15	RCP	0.013	5.77	7.08
2	1083.30	1078.80	HW	1078.80	23.00	0.0087	15	RCP	0.013	4.82	6.04
3	1084.40	1077.40	1083.30	1077.00	36.00	0.0111	15	RCP	0.013	5.56	6.83
4	1085.80	1077.40	1084.40	1077.40	50.00	0.0100	15	RCP	0.013	5.28	6.48
5	1088.60	1084.80	1084.30	1080.00	50.00	0.0091	15	RCP	0.013	5.03	6.18
6	1088.60	1084.30	HW	1076.59	51.00	0.1512	15	RCP	0.013	20.52	25.18
7	1082.00	1073.00	HW	1065.00	101.00	0.0792	24	RCP	0.013	7.37	23.14

DESIGNED	DMP			
DRAWN	KHL			
CHECKED	DMP	2. 11/19/10	ADD ADDITIONAL SIDEWALK AND ENTRANCE PROFILE	
		1. 10/4/10	REVISED TO REFLECT TDOT GRADING OF LOVELL ROAD	
		NO. DATE	REVISION	BY

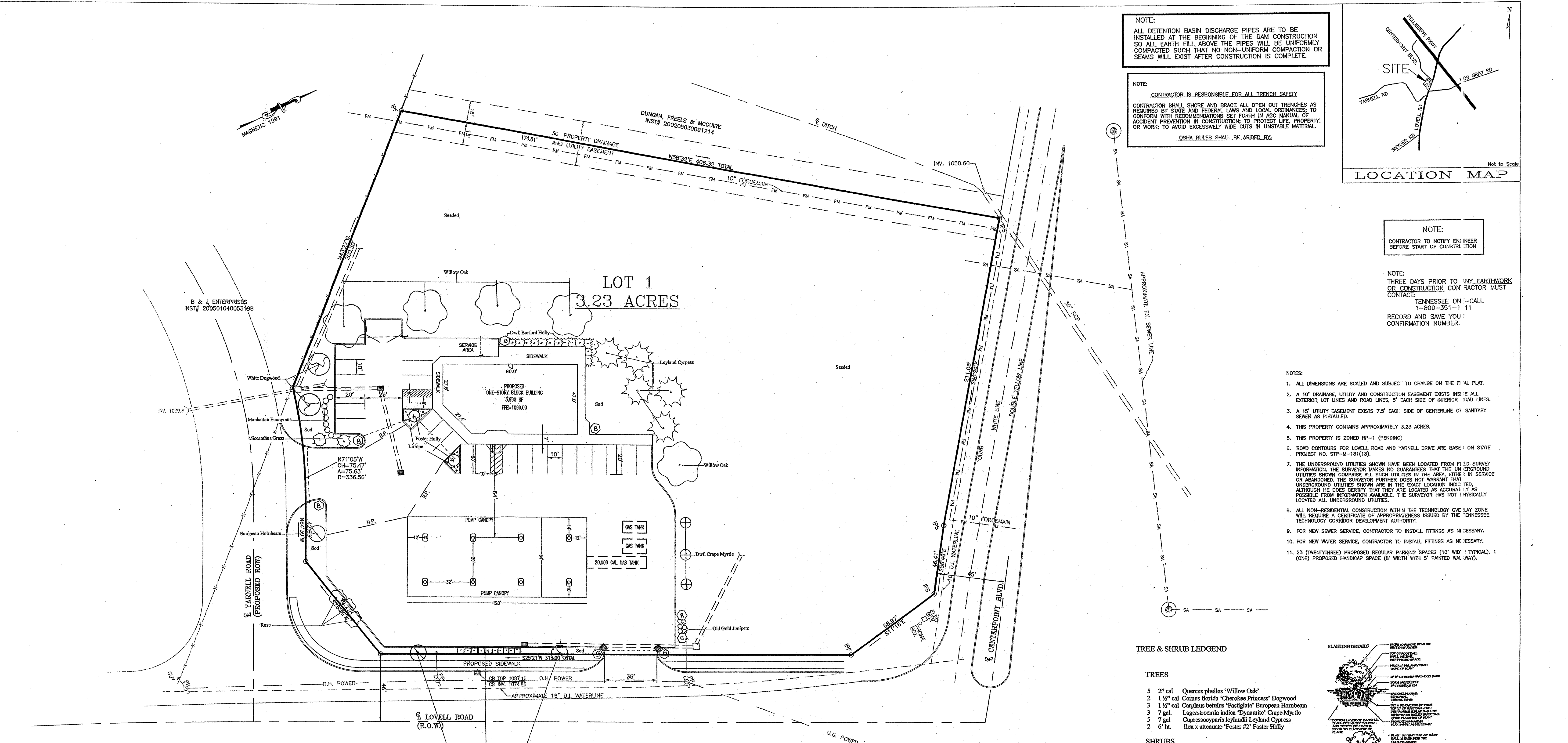
SCALE
HORIZONTAL: 1" = 30'
VERTICAL: 1' INTERVAL
DATE
08/06/08



GRADING PLAN FOR
W&L PROPERTIES, LLC
CENTERPOINT BOULEVARD
CLT MAP 118, PARCEL 01601
DISTRICT 6, KNOX COUNTY, TENNESSEE

23040-GP
 SHEET 3
 OF
 9 SHEET(S)
 Q:\23040\23040.dwg

12-B-10-UR



- NOTES:**

 - General Contractor to grade site to proper elevations and locate all underground utilities.
 - All trees and shrubs to be free from disease and in good healthy condition at time of installation.
 - Soil conditioner to be added to topsoil in all planting areas.
 - Burlap to be removed from top of all B&B plant material.
 - Trees to be secured with stakes and wiring.
 - Mulch will consist of hardwood mulch, pine needles, rock, and/or any combination of such.
 - Sod installed as noted, with remainder to be seeded with quality fescue blend.
 - Weed barrier installed in all shrub areas, except where groundcover is installed.
 - To maintain the quality of the landscape design, L.B. Scarbrough, Inc. reserves the right to make any necessary changes to the original design if any plant material becomes unavailable at time of installation. Any changes will be of equal quality or better.
 - Property owner to guarantee plant material for a period of one year.
 - Eight boulders will be added to project as noted on landscape plan. Ⓞ
- TREES & SHRUB LEGEND**

TREES

5	2" cal	Quercus phellos 'Willow Oak'
2	1 1/2" cal	Cornus florida 'Cherokee Princess' Dogwood
3	1 1/2" cal	Carpinus betulus 'Fastigiata' European Hornbeam
3	7 gal	Lagerstroemia indica 'Dynamite' Cape Myrtle
5	7 gal	Cupressocyparis leylandii Leyland Cypress
2	6" ht.	Ilex x attenuata 'Foster #2' Foster Holly

SHRUBS

13	3 gal.	Ilex cornuta 'Dwf. Burford' Dwf. Burford Holly
10	3 gal.	Buxus microphylla 'koreana' Korean Boxwood
8	3 gal.	Euonymus kiautschowicus 'Manhattan' Euonymus
6	3 gal.	Juniperus chinensis 'Old Gold' Juniper
3	3 gal.	Rosa 'ratto' Double Knock Out Roses
2	3 gal.	Miscanthus sinensis Maiden Grass

GROUND COVER

40	40 pint sz.	Liriope spicata 'Creeping Lily Turf'
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- PLANTING DETAILS**
- NOTE:**

ALL DETENTION BASIN DISCHARGE PIPES ARE TO BE INSTALLED AT THE BEGINNING OF THE DAM CONSTRUCTION SO ALL EARTH FILL ABOVE THE PIPES WILL BE UNIFORM COMPACTED SUCH THAT NO NON-UNIFORM COMPACTION OR SEAMS WILL EXIST AFTER CONSTRUCTION IS COMPLETE.
- NOTE:**

CONTRACTOR IS RESPONSIBLE FOR ALL TRENCH SAFETY

CONTRACTOR SHALL SHORE AND BRACE ALL OPEN CUT TRENCHES AS REQUIRED BY STATE AND FEDERAL LAWS AND LOCAL ORDINANCES, TO CONFORM WITH RECOMMENDATIONS SET FORTH IN AGC MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION; TO PROTECT LIFE, PROPERTY, OR WORK TO AVOID EXCESSIVELY WIDE CUTS IN UNSTABLE MATERIAL.

OSHA RULES SHALL BE ABIDED BY.
- NOTE:**

CONTRACTOR TO NOTIFY ENGINEER BEFORE START OF CONSTRUCTION
- NOTE:**

THREE DAYS PRIOR TO ANY EARTHWORK OR CONSTRUCTION CONTRACTOR MUST CONTACT:

1-800-351-1111

RECORD AND SAVE YOUR CONFIRMATION NUMBER.
- NOTES:**

 - ALL DIMENSIONS ARE SCALED AND SUBJECT TO CHANGE ON THE FINAL PLAT.
 - A 10' DRAINAGE, UTILITY AND CONSTRUCTION EASEMENT EXISTS INSIDE ALL EXTERIOR LOT LINES AND ROAD LINES, 5' EACH SIDE OF INTERIOR ROAD LINES.
 - A 15' UTILITY EASEMENT EXISTS 7.5' EACH SIDE OF CENTERLINE OF SANITARY SEWER AS INSTALLED.
 - THIS PROPERTY CONTAINS APPROXIMATELY 3.23 ACRES.
 - THIS PROPERTY IS ZONED RP-1 (PENDING)
 - ROAD CONTOURS FOR LOVELL ROAD AND YARNELL DRIVE ARE BASED ON STATE PROJECT NO. STIP-M-151(13).
 - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ALL UNDERGROUND UTILITIES.
 - ALL NON-RESIDENTIAL CONSTRUCTION WITHIN THE TECHNOLOGY OVE LAY ZONE WILL REQUIRE A CERTIFICATE OF APPROPRIATENESS ISSUED BY THE TENNESSEE TECHNOLOGY CORRIDOR DEVELOPMENT AUTHORITY.
 - FOR NEW SEWER SERVICE, CONTRACTOR TO INSTALL FITTINGS AS NECESSARY.
 - FOR NEW WATER SERVICE, CONTRACTOR TO INSTALL FITTINGS AS NECESSARY.
 - 23 (TWENTYTHREE) PROPOSED REGULAR PARKING SPACES (10' WID x 14' TYPICAL), 1 (ONE) PROPOSED HANDICAP SPACE (8' WID x 14' TYPICAL) WITH 5' PAINTED W/AL W/AY.

PARKING TABLE

23	TYPICAL PARKING STALLS
1	HANDICAP PARKING STALL
24	TOTAL PARKING STALLS

REFERENCE DEED: INST. NO. 200712310050225

REFERENCE PLAT: PLAT CABINET N, SLIDE 329D

DESIGNED DMP

DRAWN KHL

CHECKED DMP

THIS LANDSCAPE PLAN DRAWING IS THE PROPERTY OF BATSON, HIMES, NORVELL & POE. ONLY THE LANDSCAPE DESIGN ITSELF IS THE WORK OF L.B. SCARBROUGH, INC.

THIS LANDSCAPE DESIGN IS THE SOLE PROPERTY OF L.B. SCARBROUGH, INC. NO USE OR COPY OF IDEAS IS PERMITTED WITHOUT THE WRITTEN CONSENT OF L.B. SCARBROUGH, INC.

Landscape Design by L.B. Scarbrough, Inc.
P.O. Box 22365, Knoxville, TN 37933
865-679-9017

SCALE

HORIZONTAL: 1"= 30'

VERTICAL: 1" INTERVAL

DATE

08/06/08

LANDSCAPE PLAN FOR

W&L PROPERTIES, LLC

CLT MAP 118, PARCEL 01601

DISTRICT 6, KNOX COUNTY, TENNESSEE

OWNER:

W&L PROPERTIES, LLC

P. O. BOX 650

POWELL, TENNESSEE 37849

PHONE: (865) 938-2042

FAX: (865) 938-2144

20040-SP

SHEET 8

OF 9 SHEET(S)

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SITE LIGHTING FIXTURE SCHEDULE												
DESIG	TYPE					LAMPS		MOUNTING				REMARKS
	INCANDESCENT	FLUORESCENT	H.I. PRESS. SOD	METAL HALIDE	EMERGENCY	NO.	WATTS	VOLTS	RECESSED	SURFACE MOUNT	POLE	
SA				X		1	400	120			X	PARKING LOT FIXTURE
PI				X						X		POLE FOR FIXTURE TYPE "SA"
SB				X		1	320	120				STOREFRONT CANOPY FIXTURE
SC				X		1	320	120	X			FUEL CANOPY FIXTURE
SD				X		1	175	120			X	SOMERSET WALL PACK

SITE LIGHTING FIXTURE SCHEDULE NOTES:
(1) FURNISH AND INSTALL LAMPS FOR ALL FIXTURES
(2) FOR FURTHER INFORMATION, CONTACT BRUCE BORDEN, TEL: 865-470-4041.
(3) CANOPY IS SLOPED. MOUNTING HEIGHT IS APPROXIMATE.
(4) FIXTURE PROVIDED BY FUEL CANOPY MANUFACTURER.

STATISTICAL AREA SUMMARY			
PROJECT: WEIGEL'S LOVELL RD. (05636.02)			
LABEL	AVG	MAX	MIN
PARKING	10.1 FC	88.4 FC	0.0 FC

NOTE:
1. SEE SHEET E1 FOR LEGEND AND GENERAL NOTES.
2. SEE SHEET E54 FOR POLE AND POLE BASE DETAILS.



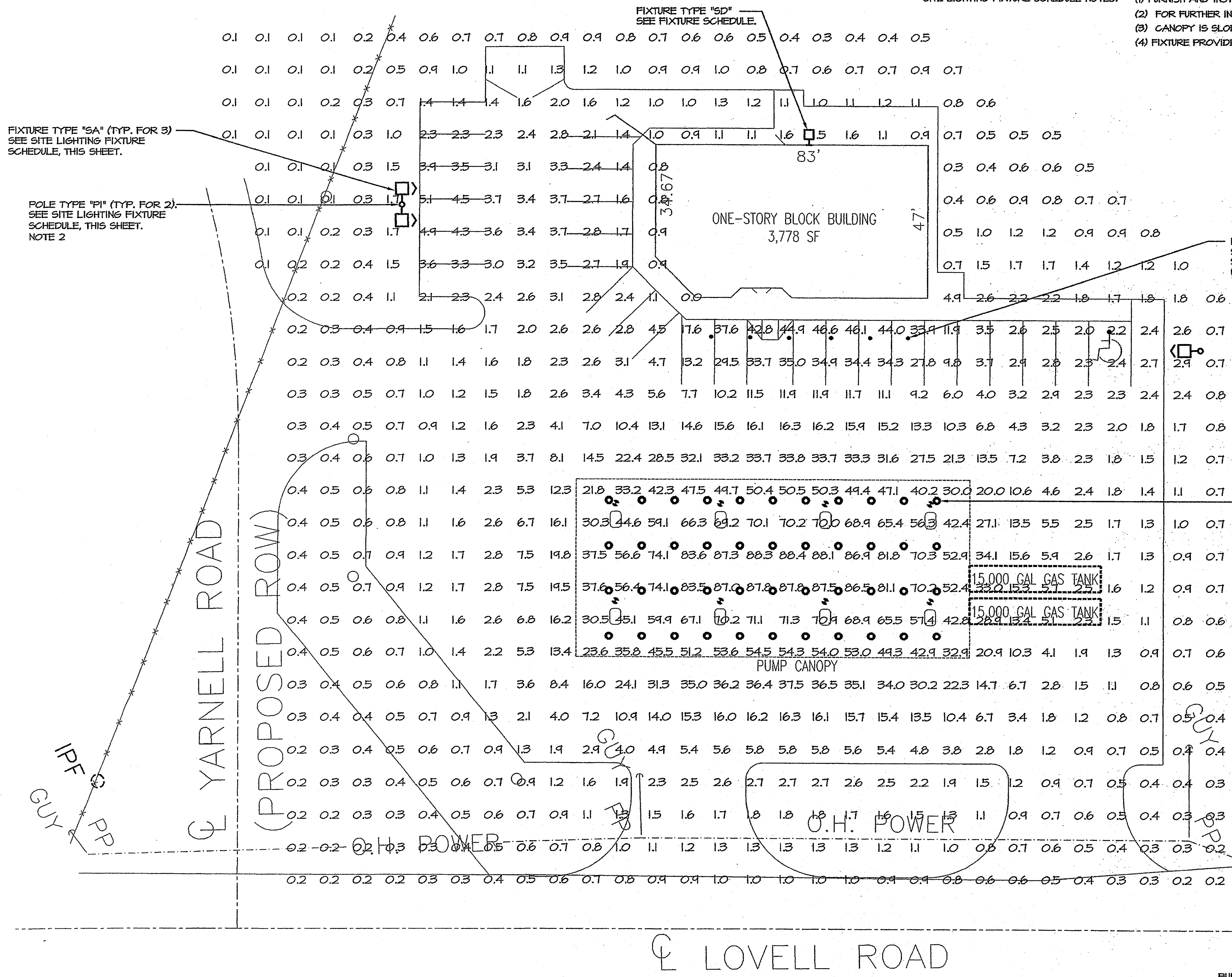
A NEW DEVELOPMENT FOR:
WEIGEL'S FARM STORE
LOVELL ROAD AND CENTERPOINT BLVD.
KNOXVILLE, TENNESSEE

THIS DRAWING HAS BEEN ISSUED:
☐ FOR REVIEW ONLY
☐ FOR PERMITTING ONLY
☐ SCHEMATIC DESIGN
☐ DESIGN DEVELOPMENT
☐ CONSTRUCTION DOCUMENTS
Drawing Title:
SITE PLAN - PHOTOMETRIC

Date: 04/21/06
Designed By: CHP
Drawn By: PMG
Reviewed By: CHP
Comm. No.: 05636.02
Revisions:

Sheet:
of
Sheet No.
E53

/2-B-10-UR



SITE PLAN - PHOTOMETRIC
SCALE: 1" = 20'-0"

