

Standard Notes:

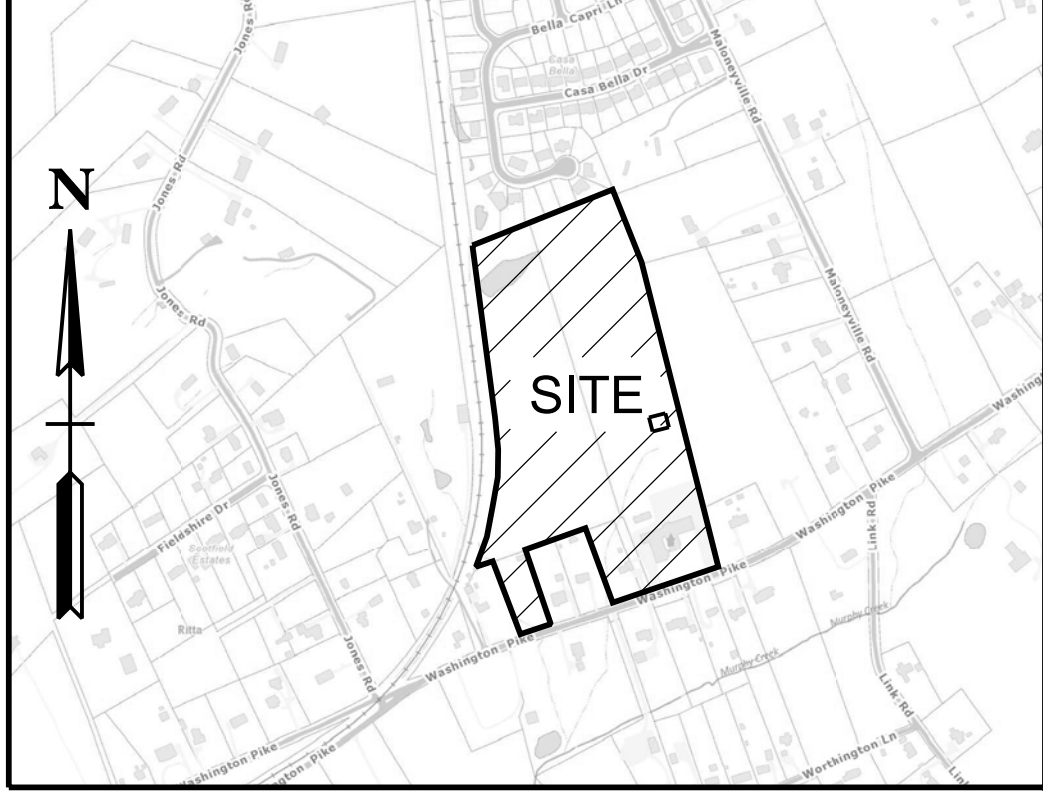
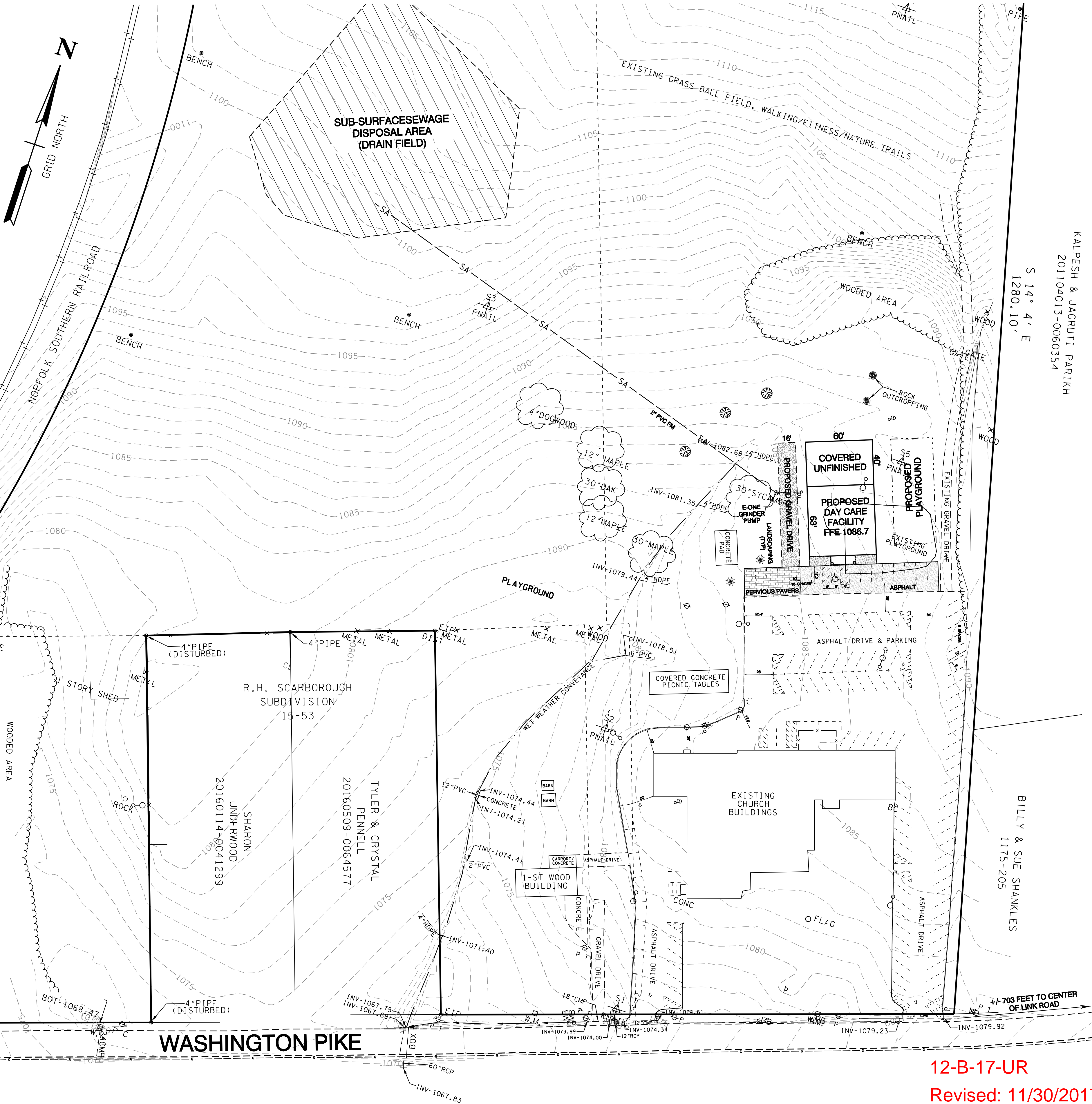
1. This is a priority construction activity.
2. Adequate drainage, erosion and sediment control measures, best management practices and/or other stormwater management facilities shall be provided and maintained at all times during construction. Damages to adjacent property and/or the construction site caused by the contractor's or property owner's failure to provide and maintain adequate drainage and erosion/sediment control for the construction area shall be the responsibility of the property owner and/or contractor.
3. Quality assurance of erosion prevention and sediment controls shall be conducted by qualified personnel performing site assessment at each outfall involving drainage totaling 10 or more acres, or five or more acres if draining to impaired or exceptional waters. This assessment will be conducted at each qualifying outfall within a month of construction commencement. (see CGP sec 3.1.2 for assessment language)
4. Fugitive sediment that has escaped the construction site must be removed so that it is not subsequently washed into storm sewers and/or streams by the next rain and/or so that it does not pose a safety hazard to users of public streets. Arrangements concerning removal of sediment on adjoining property must be settled by the permittee with the adjoining land owner.
5. Sediment should be removed from sediment traps, silt fences, sedimentation ponds, other sediment controls when design capacity has been reduced by 50%.
6. Litter, construction debris, and construction chemicals exposed to stormwater shall be picked up prior to anticipated storm events or before being carried off the site by wind, or otherwise prevented from becoming a pollution source for stormwater discharges.
7. Preconstruction vegetative ground cover shall not be destroyed, removed, or disturbed more than 15 days prior to grading or earth moving unless the area is seeded and/or mulched or other temporary cover is installed.
8. Existing vegetation should be preserved to the maximum extent practicable.
9. Temporary or permanent soil stabilization must be completed no later than 15 days after the construction activity in that portion of the site has permanently or temporarily ceased. Steep slopes (>35%) must be permanently or temporarily stabilized within 7 days.
10. Site inspections shall be performed at least twice weekly at a minimum of 72 hours apart on all unstabilized sites.

LEGEND

- ◊ EIP EXISTING IRON PIN
- G.V. GAS VALVE
- W.M. WATER METER
- MANHOLE
- LIGHT POLE
- △ SIGN
- W.V. □ WATER VALVE
- ⊗ FIRE HYDRANT
- ▮ CATCH BASIN
- ⊕ POWER/TELEPHONE
- ⋯ GUY WIRE
- ⊕ BENCH MARK / SURVEY CONTROL
- ☼ EXISTING TREE
- ☼ PROPOSED SHRUB PLANTING (TYP)
- ☼ PROPOSED TREE PLANTING (TYP)

LANDSCAPING NOTES:

- 1) EXISTING TREES WILL BE PRESERVED TO THE EXTENT POSSIBLE.
- 2) NEW PLANTINGS OF TREES WILL BE PROVIDED AT A MINIMUM RATE OF 5 TREES PER ACRE OR 5 TREES.
- 3) ALL TREES SHALL BE PROPERTY MAINTAINED TO ENSURE THEIR SURVIVAL. ANY TREE WHICH FAILS TO SURVIVE SHALL BE REPLACED.
- 4) BEDDING AREAS WILL BE INSTALLED ADJACENT TO PROPOSED BUILDING WITH MULCH COVER OVER TOPSOIL AND DECORATIVE PLANTINGS.
- 5) TREE PLANTINGS TO INCLUDE THE SPECIES INDICATED AND/OR OTHER SUITABLE SPECIES SUCH AS JAPANESE MAPLE, FLOWERING DOGWOOD, AMERICAN ELMS, & SCOTCH PINE.
- 6) SHRUBS TO BE PLANTED INCLUDE PFITZER'S JUNIPER AND A COMBINATION OF AZALEA, MYRTLE, RHODODENDRON, AND OTHER ORNAMENTAL VARIETIES.
- 7) REMAINING AREAS WILL BE SEEDED OR SODDED WITH A MIXTURE OF LAWN GRASSES.



LOCATION MAP

NOTES:

- 1) TOTAL NEW IMPERVIOUS AREA TO BE LESS THAN 10,000 SQUARE FEET.
- 2) EXISTING CONTOURS FROM TOPOGRAPHIC SURVEY, NAVD1988
- 3) LOCATIONS OF UNDERGROUND UTILITIES NOT SHOWN ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES NOT SHOWN. PRIOR TO ANY EXCAVATION, THE OWNER AND/OR CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE LOCAL UTILITY AUTHORITIES FOR EXACT LOCATIONS AND DEPTHS.
- 4) CONTRACTOR IS RESPONSIBLE FOR ALL TRENCH SAFETY PRACTICES.
- 5) EROSION CONTROL MEASURES SHOWN ARE A MINIMUM. THE CONTRACTOR IS RESPONSIBLE FOR CONTROL OF EROSION FROM THE PROJECT SITE. ADDITIONAL ITEMS MAY BE REQUIRED.
- 6) a. APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND FINAL GRADING OF EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
b. APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.
- 7) ACCESS TO NEW DAY CARE AND ADDITIONAL PARKING TO BE FROM EXISTING CHURCH FACILITIES WITH ADDITIONAL NEW ACCESS AND PARKING AS SHOWN. EXISTING STRIPING TO BE MODIFIED TO MAINTAIN THE SAME NUMBER OF EXISTING NUMBER OF PARKING SPACES PLUS ONE ADDITIONAL HANDICAP SPACE.
- 8) THE OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF CONSTRUCTION SITE POLLUTION PREVENTION CONTROLS THROUGHOUT THE LIFE OF THE PROJECT.
- 9) LOCATION OF PROPOSED DRAIN FIELD AREA PROVIDED BY KNOX COUNTY HEALTH DEPARTMENT. DESIGN AND LAYOUT OF UNDERGROUND SEWAGE DISPOSAL ARE TO BE PREPARED AND APPROVED.
- 10) UNION BAPTIST CHURCH DOES NOT HAVE A DAY CARE CURRENTLY OPERATING. A PARENTS DAY OUT PROGRAM OPERATES BETWEEN 8:00AM AND 2:00 PM WITH 10 KIDS ON MONDAY AND 20 KIDS ON WEDNESDAY. THE PARENTS DAY OUT PROGRAM WILL CONTINUE ONCE THE NEW DAY CARE FACILITY IS OPEN. THE CHURCH DOES NOT HAVE AN ADULT DAY CARE OR OTHER ORGANIZED ACTIVITIES SCHEDULED OUTSIDE OF THE REGULARLY SCHEDULED CHURCH ACTIVITIES ON SUNDAYS AND WEDNESDAYS.
- 11) THE NEW DAY CARE FACILITY WILL MEET THE STANDARDS OF ARTICLE 4, SECTION 4.91 OF THE KNOX COUNTY ZONING ORDINANCE.
- 12) GRAVEL DRIVE ON WEST SIDE OF DAY BUILDING FOR KITCHEN ACCESS AND DELIVERIES.

OWNER/DEVELOPER:
UNION BAPTIST CHURCH
6701 WASHINGTON PIKE
KNOXVILLE, TN 3718
CONTACT: HARRY BROOKS
PHONE: (865) 604-0164

ENGINEER:
ROBERT G. CAMPBELL
AND ASSOCIATES
7523 TAGGART LANE
KNOXVILLE, TN 37938
PHONE: (865) 947-5996
FAX: (865) 947-1556

ARCHITECT:
FALCONNIER DESIGN COMPANY
4622 CHAMBLISS AVENUE
KNOXVILLE, TN 37919
(865) 584-7868

BUILDER:
GEORGE W. REAGAN COMPANY
1700 GRAINGER AVENUE
P.O. BOX 27096
KNOXVILLE, TN 37927
(865) 522-6175

Certification of Concept Plan.
I hereby certify that I am a registered engineer, licensed to practice engineering under the laws of the State of Tennessee. I further certify that the plan and accompanying drawings, documents and statements conform to all applicable provisions of the Knoxville-Knox County Subdivision Regulations except as has been itemized and described in a report filed with the Metropolitan Planning Commission.

Registered Engineer, *Robert M. Such*
Tennessee Certificate No. 104281

CLT MAP: 40
PARCELS: 103.01, 107, 108, 109

DEED REFERENCE: 20000629-0044030
20090721-0005822
20091120-0035499

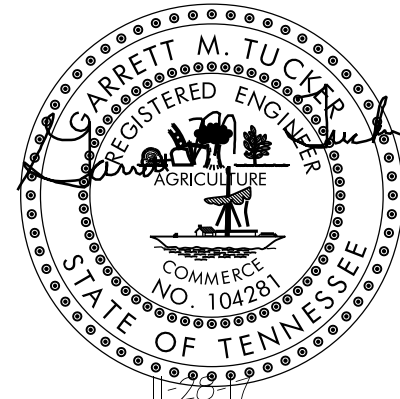
PLAT REFERENCE: 15-53

TOTAL AREA: 26.40 ACRES

NEW IMPERVIOUS AREA: 9,889 SQ FT
NEW PERVIOUS PAVERS: 1,319 SQ FT
DISTURBED AREA: 0.75 AC

PROPERTY ZONED: A

USE ON REVIEW
MPC FILE NUMBER: 12-B-17-UR



NO.	DATE	DESCRIPTION	BY	CKD.
REVISIONS				



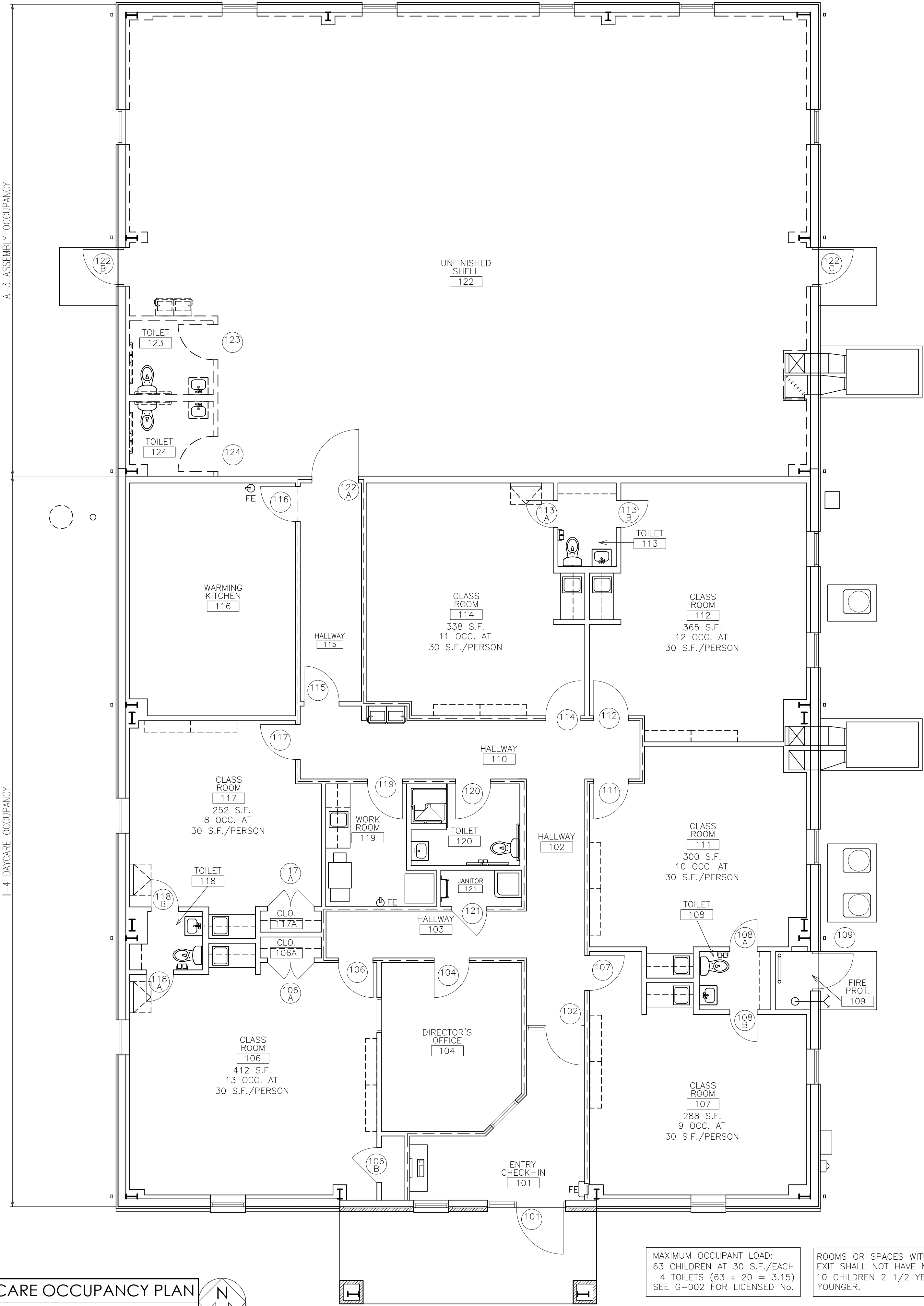
ROBERT G. CAMPBELL & ASSOC., L.P.
CONSULTING ENGINEERS
KNOXVILLE, TENNESSEE

UNION BAPTIST CHURCH
PROPOSED DAY CARE ADDITION

GENERAL LAYOUT
PLAN VIEW

DESIGNED BY GMT	CHECKED BY RGC	SCALE 1" = 50'	SHEET ONE NO. 1 OF FOUR SHEETS
DRAWN BY GMT	DATE 11-28-17	FILE NO. 17092	

E
D
C
B
A



GRAPHIC LEGEND



INDICATES DETAIL REFERENCE. TOP NUMBER IS DETAIL NUMBER. LOWER NUMBER IS SHEET ON WHICH DETAIL MAY BE FOUND.



INDICATES SECTION/ELEVATION REFERENCE. TOP NUMBER IS DETAIL NUMBER. LOWER NUMBER IS SHEET ON WHICH DETAIL MAY BE FOUND.



INDICATES ROOM NAME AND NUMBER.



INDICATES DOOR NUMBER. SEE SCHEDULE SHEET A-601



INDICATES WINDOW NUMBER. SEE SCHEDULE SHEET A-610



INDICATES WALL TYPE TAG. SEE SCHEDULE THIS SHEET.



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NEW DAYCARE
FACILITY

UNION BAPTIST CHURCH
6701 WASHINGTON PIKE
KNOXVILLE, TN 37918

DAYCARE
OCCUPANCY PLAN

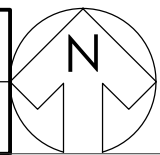
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REVISION(S):	~
FILE:	2017-086

A-104

A1

DAYCARE OCCUPANCY PLAN
3/16" = 1'-0" 6,180 GROSS S.F.



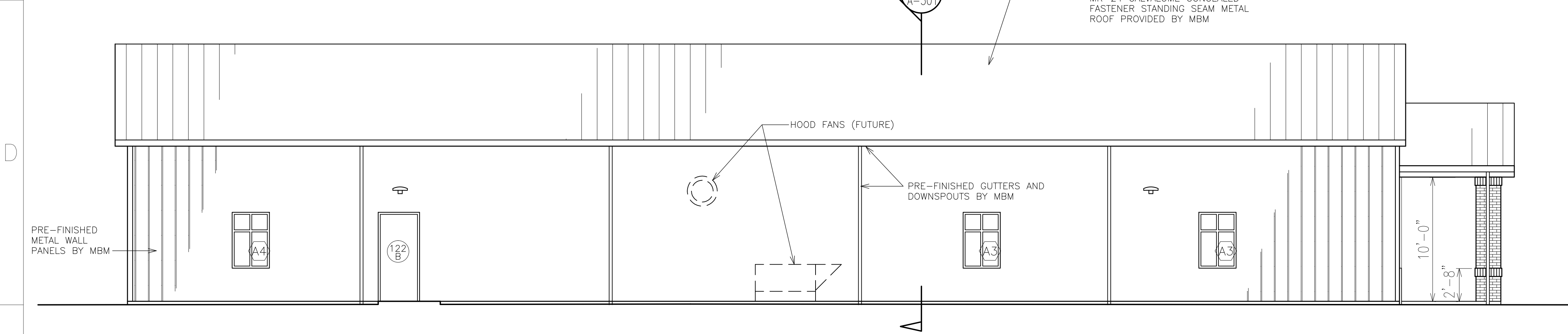
MAXIMUM OCCUPANT LOAD:
63 CHILDREN AT 30 S.F./EACH
4 TOILETS (63 ÷ 20 = 3.15)
SEE G-002 FOR LICENSED No.

ROOMS OR SPACES WITH A SINGLE
EXIT SHALL NOT HAVE MORE THAN
10 CHILDREN 2 1/2 YEARS OLD OR
YOUNGER.

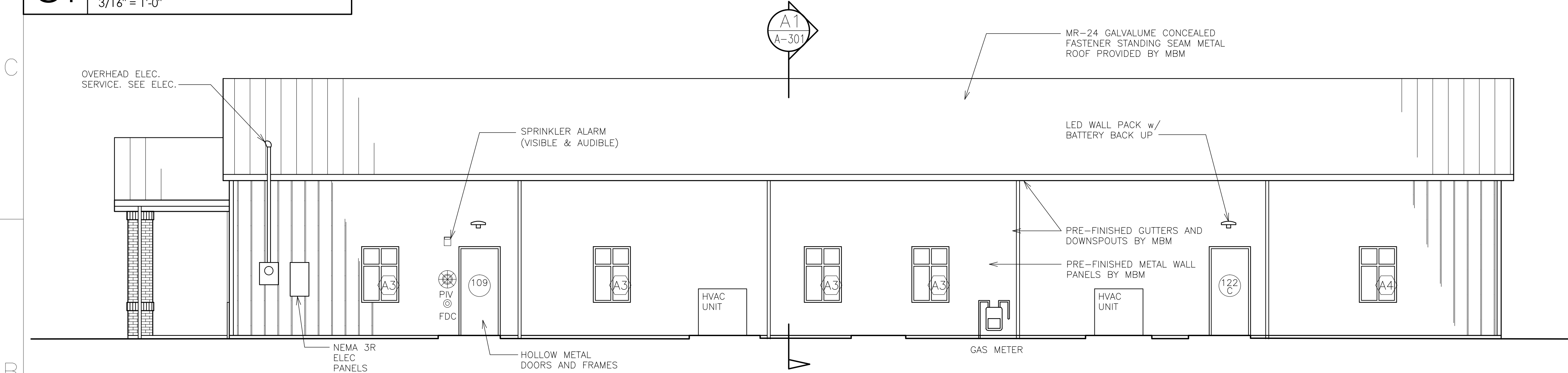
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Revised: 11/30/2017

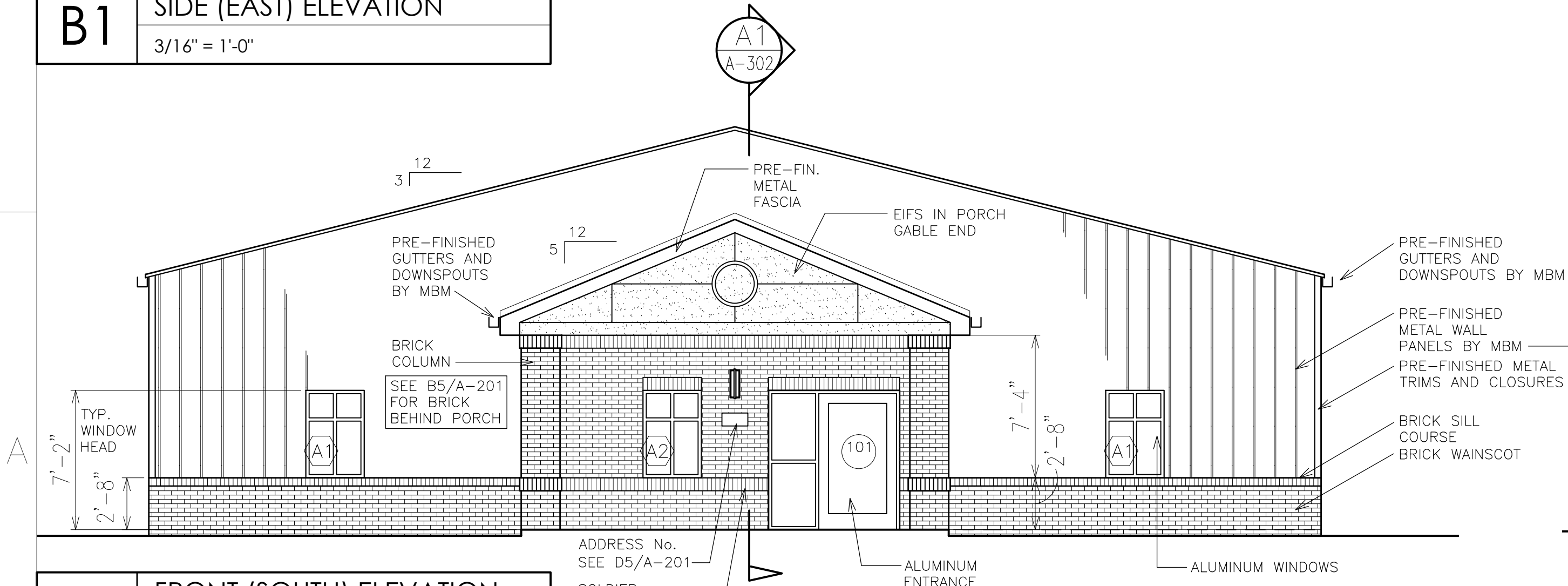
- EXTERIOR FINISHES & COLORS:
1. BRICK;
 2. EIFS;
 3. GUTTERS;
 4. DOWNSPOUTS;
 5. RAKE & EAVE TRIMS;
 6. METAL PANELS: WHITE



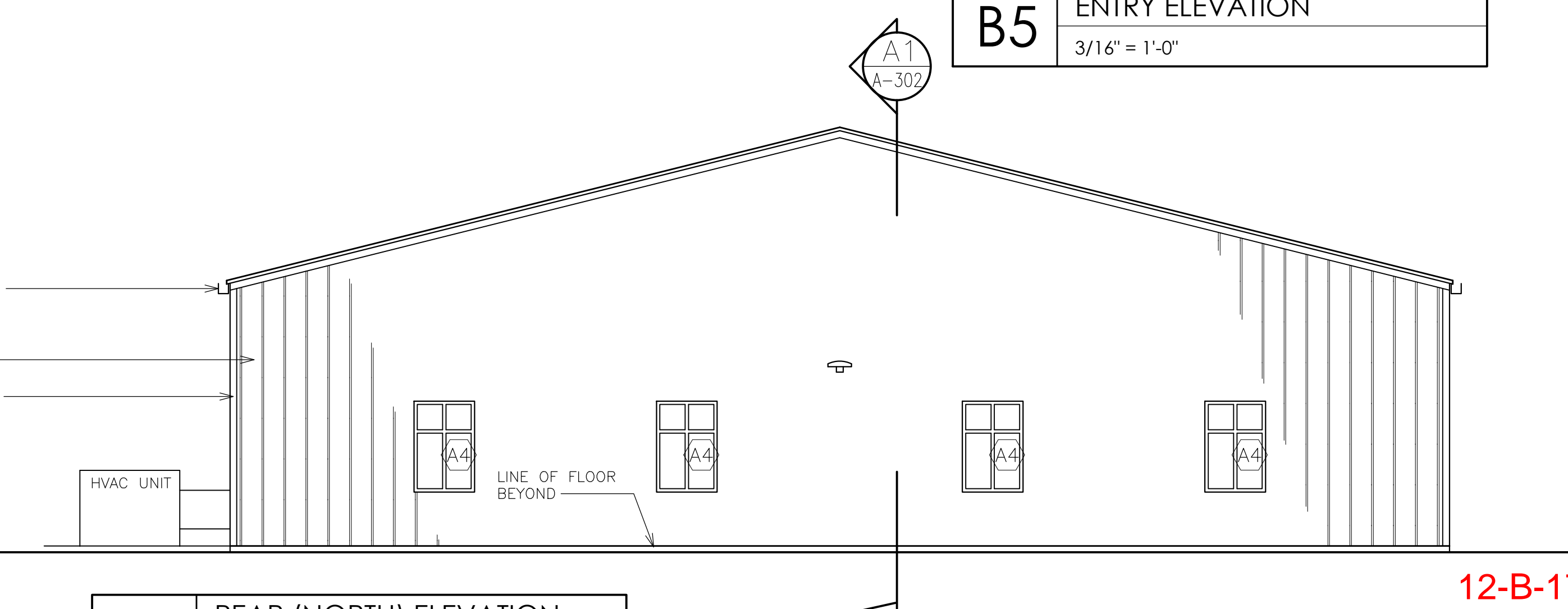
C1 SIDE (WEST) ELEVATION
3/16" = 1'-0"



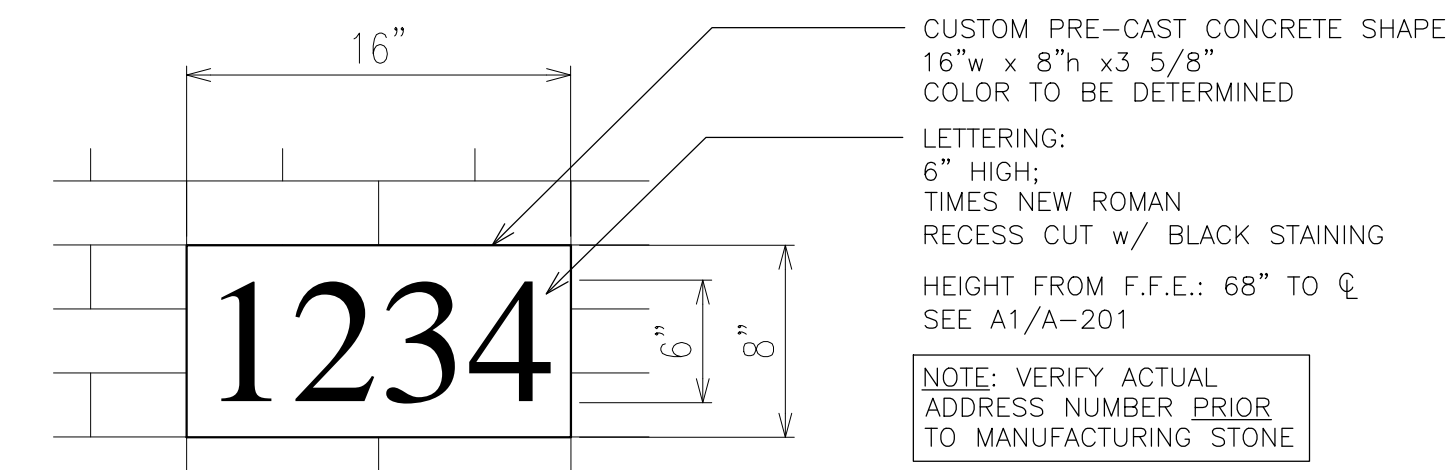
B1 SIDE (EAST) ELEVATION
3/16" = 1'-0"



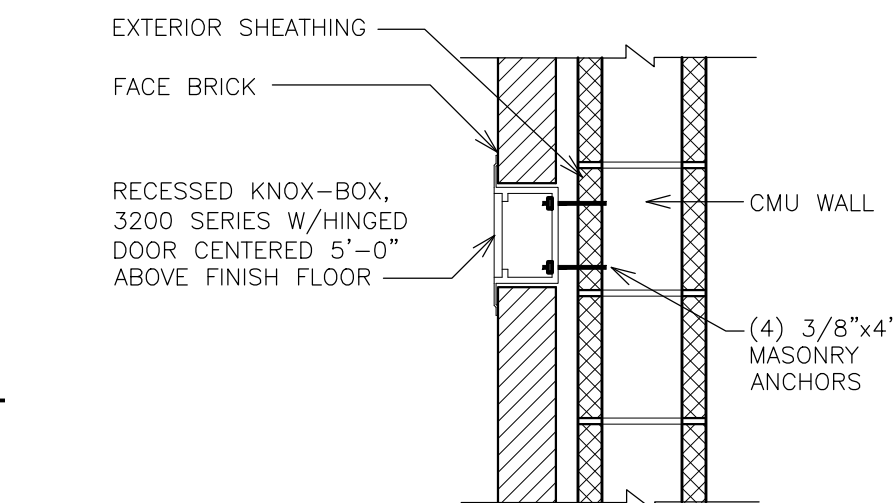
A1 FRONT (SOUTH) ELEVATION
3/16" = 1'-0"



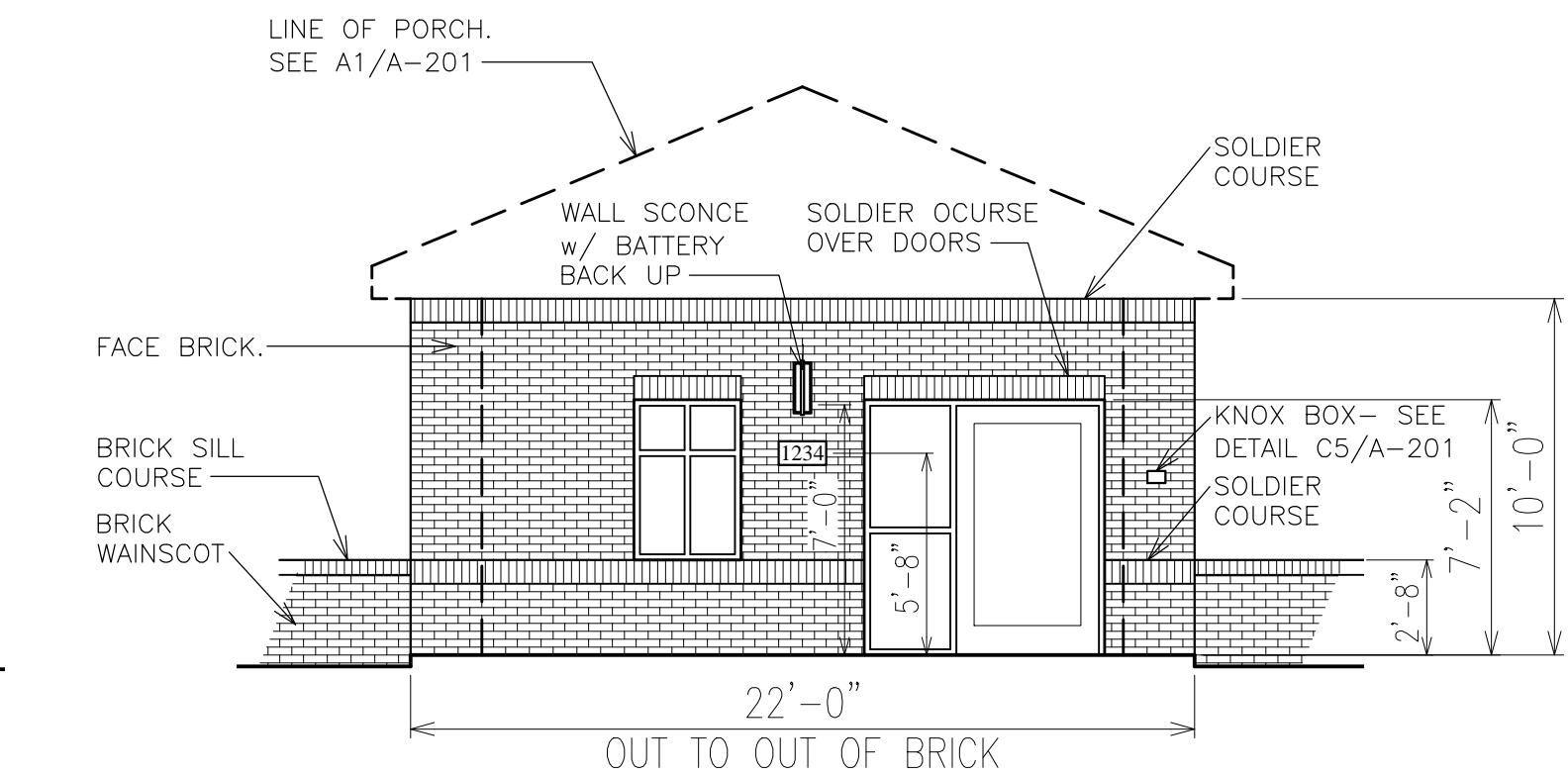
A4 REAR (NORTH) ELEVATION
3/16" = 1'-0"



D5 ADDRESS BLOCK
3/16" = 1'-0"



C5 KNOX BOX DETAIL
1" = 1'-0"



B5 ENTRY ELEVATION
3/16" = 1'-0"

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NEW DAYCARE FACILITY

UNION BAPTIST CHURCH
6701 WASHINGTON PIKE
KNOXVILLE, TN 37918

ELEVATIONS

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