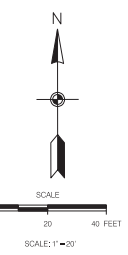
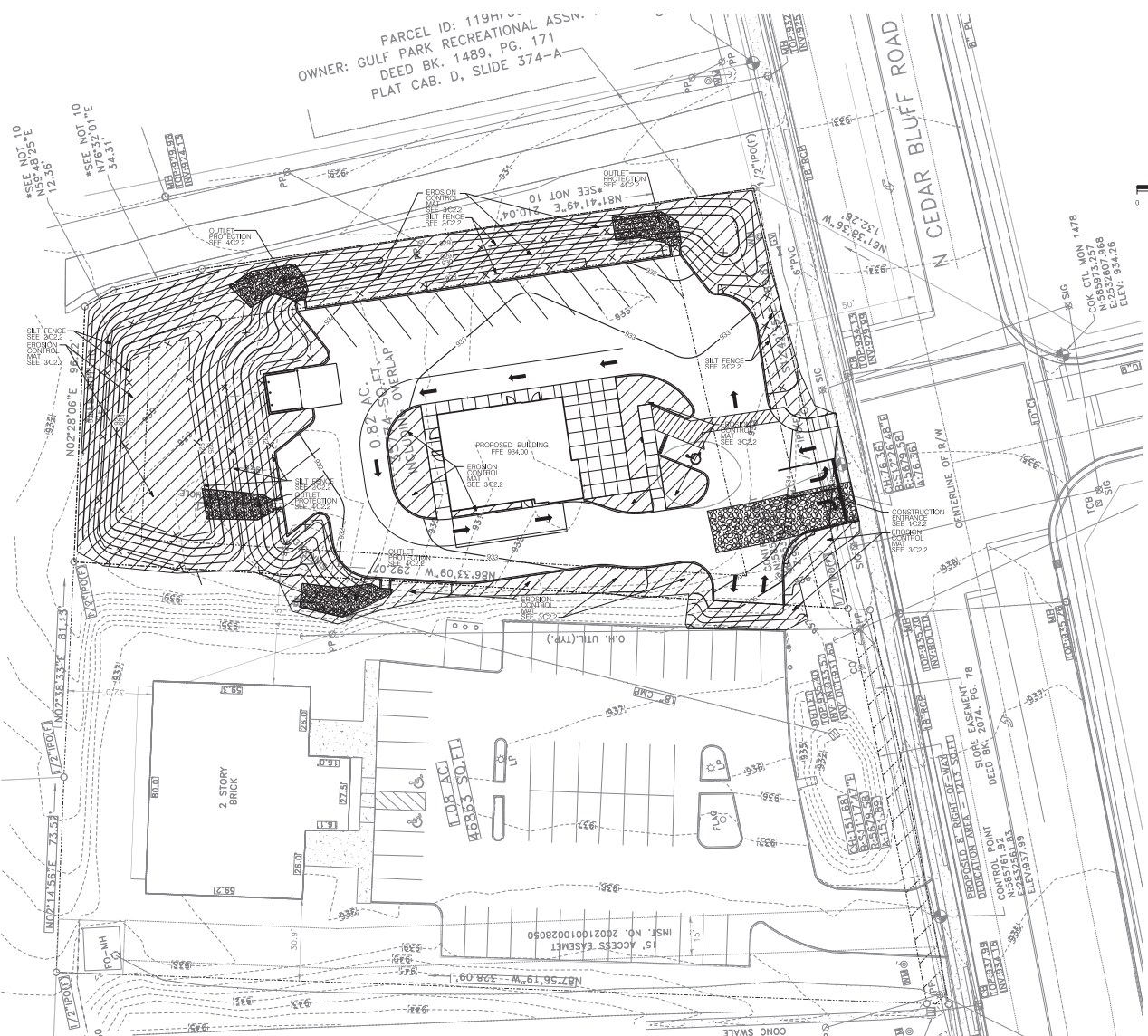


EXISTING		PROPOSED		
	SSS		SSS	GROUND CONTOUR ELEVATION
	535.25'		535.25'	SPOT ELEVATION
	NA		NA	STRUCTURE
	NA		NA	PROPERTY LINE
	NA		NA	EASEMENT
	EDGE OF PAVEMENT		EDGE OF PAVEMENT	
	SD		SD	STORM DRAIN
	SS		SS	SANITARY SEWER
	PW		PW	POTABLE WATER
	NG		NG	NATURAL GAS
	OE		OE	OVERHEAD ELECTRICAL
	W		W	WATER METER
	H		H	FIRE HYDRANT
	NA		NA	SURFACE FLOW
	NA		NA	SILT FENCING
	CLUB		CLUB	
	CATCH BASIN		CATCH BASIN	
	CONCRETE PAVEMENT		CONCRETE PAVEMENT	
	ASPHALT PAVEMENT		ASPHALT PAVEMENT	
	RF: RAP		RF: RAP	

- SITE LAYOUT NOTES**
1. USE: CLUSTER, SHOP ZONING, ON PARCEL 19H0404
2. TOTAL BUILDING AREA: APPROXIMATELY 1,821 SF (1 STORY) 1,430 SF USABLE
3. SITE SPEC: 0.82 AC. TOTAL. DIRT AREA: 0.30 AC. TOTAL. IMPROV. 0.44 AC. INCREASE IN IMPROVEMENTS IS LESS THAN 0.0000 SF
4. DEED REFERENCE: 2007-00-073532
5. THIS PROPERTY IS NOT LOCATED IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD AREA. SEE MAPS 2081F.
6. SITE BENCHMARK CONTACT SURVEYOR FOR SITE BENCHMARK DATUM NAVD 88.
7. SITE BOUNDARY INFORMATION IS BASED ON A SURVEY PROVIDED BY THE OWNER. THE CONTRACTOR SHALL VERIFY THE EXISTING INFORMATION PRIOR TO CONSTRUCTION. THE ARCHITECT NOR THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONSTRUCTION INFORMATION PROVIDED BY THE OTHERS.
8. UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
9. PARKING SUMMARY:  
TOTAL EMPLOYEES: 17 SPACES  
TOTAL PROVIDED: 18 SPACES  
DANCE SPACE FOR 3 EMPLOYEES + 1 SPACE PER 100 USABLE SQUARE FEET  
6 EMPLOYEES / 3 + (1430 / 100) = 17 SPACES
10. SETBACKS:  
FROM  
SIDE 20' (ADJOINING RESIDENTIAL)  
SIDE 10' (ADJOINING COMMERCIAL)  
REAR 25'  
PARKING SETBACKS: 10'
11. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES FOR DISCOVERY AND EXCAVATION, AND THE INSTALLATION AND EXECUTION OF THE WORK SHALL BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS.
12. CONTRACTOR SHALL COMPLY WITH THE ENVIRONMENTAL PROVISIONS OF THE MANUFACTURED HOUSING CONSTRUCTION ACT IN CONTINENT PROVISIONS OF THE AEC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE TENNESSEE DEPARTMENT OF REVENUE AND CONSERVATION EROSION AND SEDIMENT CONTROL HANDBOOK.
13. VERIFY SITE CONDITIONS, OBSTRUCTIONS, ELEVATIONS, AND LOCATION OF EXISTING FEATURES BEFORE STARTING WORK. THE OWNERS REPRESENTATIVE SHALL BE NOTIFIED OF ANY INTERFERENCES OR OBSTRUCTIONS.
14. TRAFFIC CONTROL IN CONSTRUCTION AREAS TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUAL ON URBAN TRAFFIC CONTROL.
15. CORRECT ALL DAMAGE TO EXISTING PAVEMENT SIDEWALKS, DRIVEWAYS, STRUCTURES, UTILITIES, OR OTHER EXISTING IMPROVEMENTS AT NO EXPENSE TO THE OWNER.
16. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT/DRIVEWAY/CONCRETE AND NEW PAVEMENT/DRIVEWAY/CONCRETE. FIELD ADJUSTMENT OF FINAL GRADES MAY BE REQUIRED. INSTALL ALL STORM SYSTEMS PRIOR TO INSTALLATION OF PAVEMENT AND/OR CONCRETE.
17. EXISTING UTILITIES ARE TO FACE OF CURB/EDGE OF PAVEMENT, OR TO THE FACE OF BUILDING UNLESS NOTED OTHERWISE.
18. MAINTAIN ONE SET OF AS-BUILT DRAWINGS ON THE JOB SITE FOR DISTRIBUTION TO THE ENGINEER UPON COMPLETION. INCLUDE ALL UTILITY LOCATIONS AND ALL NEW CONSTRUCTION. PROVIDE AS-BUILT DRAWINGS OF SANITARY AND STORM SEWER STRUCTURES SHALL BE INCLUDED. DRAWINGS SHALL INCLUDE ALL EXISTING AND NEW UTILITIES. PROVIDE AS-BUILT UTILITIES AS WELL AS EXISTING UTILITIES DISCOVERED DURING CONSTRUCTION.

12-B-23-UR  
Revised: 11/28/2023

	<p><b>WILL ROBINSON &amp; ASSOCIATES</b></p> <p>1248 N. Shorewood Ln Caryville, TN 37714 (865) 386-4200 wrobinson@willrobinson.net</p>
<p>A Site Plan for:</p> <p><b>Andy's Custard</b></p> <p>513 N. Cedar Bluff Road Knox County, TN</p> <p>Planning Case # 12-B-23-UR</p>	
<p>REVISIONS:</p> <p>11-23-2023 PLANNING COMM. 11-27-2023 PLANNING COMM.</p>	
<p>DRAWN: WNR</p> <p>CHECKED: WNR</p> <p>DATE: 10-09-2023</p> <p>FILE NAME:</p> <p>PROJECT NO:</p>	
<p><b>C1.2</b></p> <p>SITE LAYOUT PLAN DRAWING</p>	



LEGEND		
EXISTING	PROPOSED	
535	535	GROUND CONTOUR ELEVATION
535.25'	535.25'	SPOT ELEVATION
NA	NA	STRUCTURE
NA	NA	PROPERTY LINE
NA	NA	EASEMENT
SD	SD	EDGE OF PAVEMENT
SS	SS	STORM DRAIN
PW	PW	SANITARY SEWER
NG	NG	POTABLE WATER
OE	OE	NATURAL GAS
NA	NA	OVERHEAD ELECTRICAL
NA	NA	WATER METER
NA	NA	FIRE HYDRANT
NA	NA	SURFACE FLOW
NA	NA	SILT FENCING
NA	NA	CURB
NA	NA	CATCH BASIN
NA	NA	CONCRETE PAVEMENT
NA	NA	ASPHALT PAVEMENT
NA	NA	RP RAP

- SITE GRADING NOTES**
1. SITE BENCHMARK: CONTACT SURVEYOR FOR LOCATION AND ELEVATION OF SITE BENCHMARK (BASS NGVD83).
  2. SITE BOUNDARY INFORMATION IS BASED ON A SURVEY PROVIDED BY THE OWNER. THE GRADING CONTRACTOR SHALL VERIFY CONTIGUOUS AND INFORM THE ENGINEER OF ANY DISCREPANCIES. THE ARCHITECT AND THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS.
  3. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES INCLUDING SILT FENCE, RP RAP AND EROSION CONTROL MAT AS SOON AS PRACTICAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE STRUCTURES UNTIL THE SITE HAS BEEN SUFFICIENTLY STABILIZED.
  4. THE CONTRACTOR SHALL EMPLOY SOILS CONSULTANTS FOR THE TESTING OF SOIL COMPACTION IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. SOIL SHALL BE COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD. SOIL MOISTURE CONTENT SHALL BE MAINTAINED WITHIN  $\pm 2\%$  OF OPTIMUM.
  5. THIS PROJECT MAY INVOLVE IMPORT OR WASTE OF FILL MATERIAL. THE CONTRACTOR SHALL REVIEW THIS PLAN, THE SITE SURVEY AND INSPECT THE SITE ITSELF. THE CONTRACTOR SHALL THEN FORMULATE HIS OWN OPINION AS TO THE APPLICABILITY OF THIS PLAN TO THE GOAL OF AN ECONOMICALLY OPTIMAL SITE. CONTACT THE ENGINEER IF CHANGES TO THIS GRADING PLAN ARE REQUIRED TO MEET THIS GOAL.
  6. ALL SLOPES GREATER THAN 3:1 SHALL BE SPREAD WITH NORTH AMERICAN GREEN 5-7" EROSION CONTROL FABRIC. INSTALL FABRIC PER MANUFACTURERS RECOMMENDATIONS.
  7. NO SLOPES SHALL BE GREATER THAN 2 HORIZONTAL:1 VERTICAL.
  8. APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND FINAL GRADING OR EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
  9. APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.
  10. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL FOLLOW THE APPROVED PLAN DETAILS. IF DETAILS ARE NOT SHOWN, REFERENCE THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
  11. SLOPES SHALL HAVE EROSION CONTROL MAT INSTALLED IMMEDIATELY AFTER SLOPE GRADING IS COMPLETED AND TORPGE HAS BEEN INSTALLED TO ENCOURAGE "LOCK IN" OF EROSION MAT.
  12. ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTORS OR PROPERTY OWNERS FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
  13. CONTRACTOR SHALL STORE CHEMICALS AND SOLUBLE MATERIALS IN AN ENCLOSED WATERPROOF LOCATION OR PROVIDED WITH SECONDARY CONTAINMENT CAPABLE OF STORING THE CONTENTS OF THE TOTAL AMOUNT OF CHEMICALS STORED. SPILL CLEANUP MATERIALS MUST BE LOCATED WITHIN THE IMMEDIATE PROXIMITY OF THE MATERIALS AS WELL.
  14. PLACEMENT OF PORTA-POTTIES ON THE PROJECT WILL NOT BE LOCATED CLOSE TO STREAMS, WETLANDS, OR STORM DRAINS.
  15. NO VEHICLE MAINTENANCE OF CONSTRUCTION VEHICLES WILL OCCUR ONSITE.
  16. CONSTRUCTION MATERIALS WILL BE STAGED IN THE PARKING AREA BETWEEN THE BUILDING AND HIGHEST FILL FOR TRASH ON THE PROJECT. PROVIDE A TRASH RECEPTACLE WITH A LID. MAINTAIN THE MATERIAL STAGING AREA IN AN NEAT AND ORDERLY MANNER.
  17. CONTRACTOR SHALL INSTALL 4" THICK LAYER OF QUALITY TOPSOIL ON ALL DISTURBED AREAS AND ESTABLISH A THICK STAND OF GRASS ACCEPTABLE TO THE KNOX COUNTY SITE INSPECTOR.

12-B-23-UR  
Revised: 11/28/2023

**WILL ROBINSON & ASSOCIATES**  
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Corryville, TN 37714  
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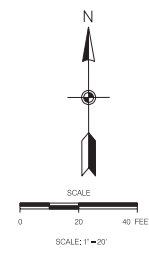
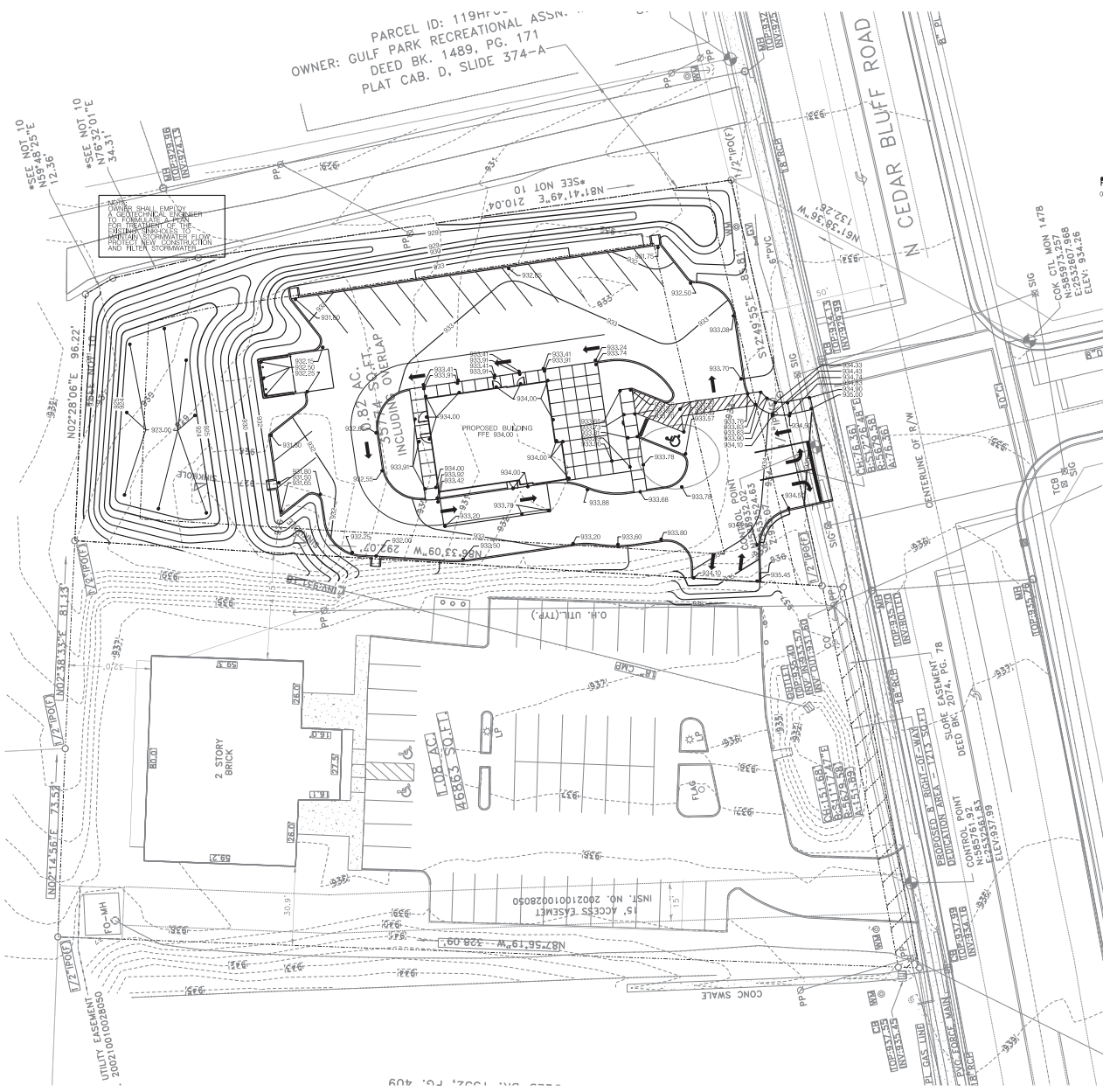
A Site Plan for:  
**Andy's Custard**  
513 N. Cedar Bluff Road  
Knox County, TN  
Planning Case # 12-B-23-UR









































REVISIONS:  
11-20-2023 PLANNING COMM.  
11-27-2023 PLANNING COMM.

DRAWN: WNR  
CHECKED: WNR  
DATE: 10-09-2023  
FILE NAME:  
PROJECT NO:

**C1.3**  
EROSION CONTROL PLAN  
DRAWING





LEGEND		
EXISTING	PROPOSED	
 535	 535	GROUND CONTOUR ELEVATION
 535.25'	 535.25'	SPOT ELEVATION
		STRUCTURE
		PROPERTY LINE
		EASEMENT
		EDGE OF PAVEMENT
		STORM DRAIN
		SANITARY SEWER
		POTABLE WATER
		NATURAL GAS
		OVERHEAD ELECTRICAL
		WATER METER
		FIRE HYDRANT
		SURFACE FLOW
		SILT FENCING
		CURB
		CATCH BASIN
		CONCRETE PAVEMENT
		ASPHALT PAVEMENT
		RP RAP

- SITE GRADING NOTES**
1. SITE BENCHMARK: CONTACT SURVEYOR FOR LOCATION AND ELEVATION OF SITE BENCHMARK (BASIS NGVD83).
  2. SITE BOUNDARY INFORMATION IS BASED ON A SURVEY PROVIDED BY THE OWNER. THE GRADING CONTRACTOR SHALL VERIFY CONDITIONS AND INFORM THE ENGINEER OF ANY DISCREPANCIES. THE ARCHITECT AND THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS.
  3. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES INCLUDING SILT FENCE, RP RAP AND EROSION CONTROL MAT AS SOON AS PRACTICAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE STRUCTURES UNTIL THE SITE HAS BEEN SUFFICIENTLY STABILIZED.
  4. THE CONTRACTOR SHALL EMPLOY SOILS CONSULTANTS FOR THE TESTING OF SOIL COMPACTION IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. SOIL SHALL BE COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD. SOIL MOISTURE CONTENT SHALL BE MAINTAINED WITHIN  $\pm 3\%$  OF OPTIMUM.
  5. THIS PROJECT MAY INVOLVE IMPORT OR WASTE OF FILL MATERIAL. THE CONTRACTOR SHALL REVIEW THIS PLAN, THE SITE SURVEY AND INSPECT THE SITE ITSELF. THE CONTRACTOR SHALL THEN FORMULATE HIS OWN OPINION AS TO THE APPLICABILITY OF THIS PLAN TO THE GOAL OF AN ECONOMICALLY OPTIMAL SITE. CONTRACT THE ENGINEER IF CHANGES TO THIS GRADING PLAN ARE REQUIRED TO MEET THIS GOAL.
  6. ALL SLOPES GREATER THAN 3:1 SHALL BE SPREAD WITH NORTH AMERICAN GREEN 5-7" EROSION CONTROL FABRIC. INSTALL FABRIC PER MANUFACTURERS RECOMMENDATIONS.
  7. NO SLOPES SHALL BE GREATER THAN 2 HORIZONTAL:1 VERTICAL.
  8. APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND FINAL GRADING OR EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
  9. APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.
  10. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL FOLLOW THE APPROVED PLAN DETAILS. IF DETAILS ARE NOT SHOWN, REFERENCE THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
  11. SLOPES SHALL HAVE EROSION CONTROL MAT INSTALLED IMMEDIATELY AFTER SLOPE GRADING IS COMPLETED AND TORQUE HAS BEEN INSTALLED TO ENCOURAGE "LOCK IN" OF EROSION MAT.
  12. ADEQUATE DRAINAGE EROSION AND SEDIMENT CONTROL MEASURES BEST MANAGEMENT PRACTICES AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTORS OR PROPERTY OWNERS FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
  13. CONTRACTOR SHALL STORE CHEMICALS AND SOLUBLE MATERIALS IN AN ENCLOSED WATERPROOF LOCATION OR PROVIDED WITH SECONDARY CONTAINMENT CAPABLE OF STORING THE CONTENTS OF THE TOTAL AMOUNT OF CHEMICALS STORED. SPILL CLEANUP MATERIALS MUST BE LOCATED WITHIN THE IMMEDIATE PROXIMITY OF THE MATERIALS AS WELL.
  14. PLACEMENT OF PORTA-POTTIES ON THE PROJECT WILL NOT BE LOCATED CLOSE TO STREAMS, WETLANDS, OR STORM DRAINS.
  15. NO VEHICLE MAINTENANCE OF CONSTRUCTION VEHICLES WILL OCCUR ONSITE.
  16. CONSTRUCTION MATERIALS WILL BE STAGED IN THE PARKING AREA BETWEEN THE BUILDING AND WILKINSON PARK FOR TRASH OR THE PROJECT. PROVIDE A TRASH RECEPTACLE WITH A LID. MAINTAIN THE MATERIAL STAGING AREA IN AN NEAT AND ORDERLY MANNER.
  17. CONTRACTOR SHALL INSTALL 4" THICK LAYER OF QUALITY TOPSOIL ON ALL DISTURBED AREAS AND ESTABLISH A THICK STAND OF GRASS ACCEPTABLE TO THE KNOX COUNTY SITE INSPECTOR.

12-B-23-UR  
Revised: 11/28/2023

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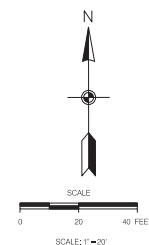
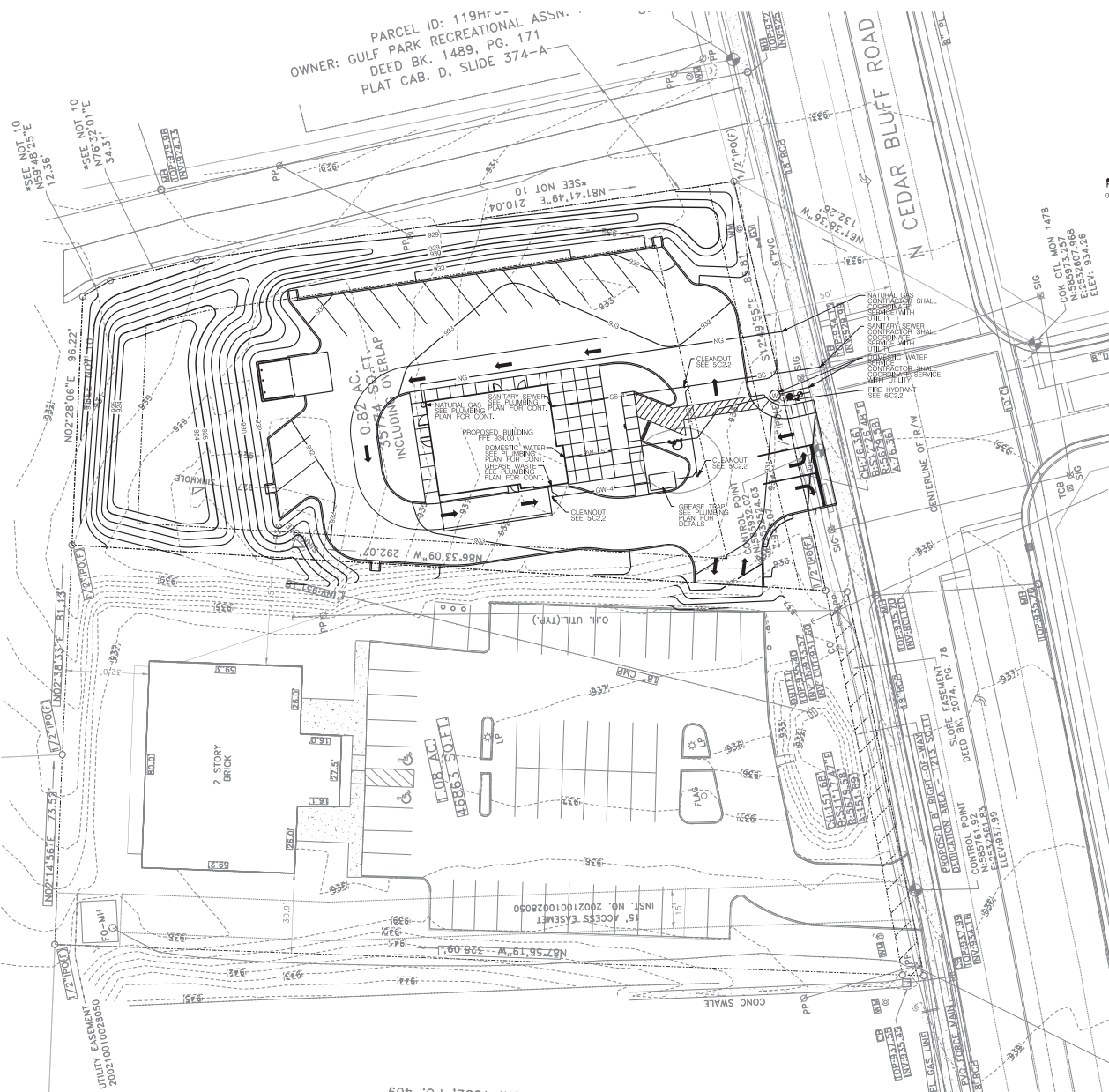
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**Andy's Custard**  
513 N. Cedar Bluff Road  
Knox County, TN  
Planning Case # 12-B-23-UR









































REVISIONS:  
11-20-2023 PLANNING COMM.  
11-27-2023 PLANNING COMM.

DRAWN: WNR  
CHECKED: WNR  
DATE: 10-09-2023  
FILE NAME:  
PROJECT NO:

**C1.4**  
EROSION CONTROL PLAN  
DRAWING





LEGEND			
EXISTING		PROPOSED	
			GROUND CONTOUR ELEVATION
			SPOT ELEVATION
			STRUCTURE
			PROPERTY LINE
			EASEMENT
			EDGE OF PAVEMENT
			STORM DRAIN
			SANITARY SEWER
			POTABLE WATER
			NATURAL GAS
			OVERHEAD ELECTRICAL
			WATER METER
			FIRE HYDRANT
			SURFACE FLOW
			SILT FENCING
			CURB
			CATCH BASIN
			CONCRETE PAVEMENT
			ASPHALT PAVEMENT
			RP RAP

- SITE UTILITY NOTES**
1. SITE SURVEY INFORMATION IS BASED ON A SURVEY PROVIDED BY THE OWNER. THE CONTRACTOR SHALL VERIFY CONDITIONS AND INFORM THE ARCHITECT OF ANY DISCREPANCIES. THE ARCHITECT AND THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS.
  2. UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THE INFORMATION. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES. DESIGN PLANS FOR THE DEVELOPMENT AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE CONTRACTOR MUST CALL LOCAL UTILITY PROVIDERS AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
  3. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING. CONTRACTOR SHALL PAY ALL FEES.
  4. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR LOCAL UTILITY PROVIDERS SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE. AS BUILT DRAWINGS SHALL BE PREPARED AND SUBMITTED TO UTILITY PROVIDERS AS REQUIRED AFTER CONSTRUCTION AND COPIED TO ENGINEER OF RECORD.
  5. CONTRACTOR SHALL MAINTAIN A MINIMUM COVER OF 18" ON WATER LINES AND 4 FEET ON SEWER LINES.
  6. WATER, SEWER AND STORM LINES SHALL BE KEPT 10 FEET APART HORIZONTALLY AND 18 INCHES APART VERTICALLY WHEN CROSSING OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIS UNLESS NOTED OTHERWISE.
  7. WATER LINES SHALL BE AS FOLLOWS:
    - 4" WATER LINES (ASTM F481 AND AWWA C904)
    - PVC SIZES 4 INCHES AND LARGER C900 PVC
    - 12 INCHES - 12 INCHES
  8. SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
    - PVC (SCHEDULE 40 PVC ASTM D-1785 CONTINUALLY MARKED AS REQUIRED) FOR PIPE LESS THAN 12 FEET DEEP
    - DUCTILE IRON PIPE (AWWA C900) FOR PIPES GREATER THAN 12 FEET DEEP.
  9. TOPS OF EXISTING UTILITY STRUCTURES SHALL BE RAISED OR LOWERED AS NECESSARY TO BE FLUSH WITH THE PROPOSED PAVEMENT GRADE AND 6 INCHES ABOVE FINISHED GRADE IN UNPAVED AREAS.
  10. GAS LINES SHALL BE DEED LOCATED AND INSTALLED BY LOCAL UTILITY PROVIDER. CONTRACTOR SHALL COORDINATE AND PAY ALL FEES.
  11. REFER TO ARCHITECTURAL/MEP PLANS FOR THE IN OF ALL UTILITIES.
  12. REFER TO ARCHITECTURAL/MEP PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
  13. FIRE PROTECTION SERVICE SHALL BE BY NEW FIRE HYDRANT AS DERICTED ON THIS PLAN.
  14. CONTRACTOR SHALL TAKE SPECIAL CARE TO BED BACKFILL AND COMPACT PIPE CROSSINGS WHERE A WATER OR SANITARY SEWER MAIN CROSSES WITH STORM SEWERS. CROSSINGS SHALL BE CONSTRUCTED WITH A WELL COMPACTED FULL STONE ENVELOPE SUCH THAT STORM SEWER DOES NOT SEAT DIRECTLY ON WATER OR SANITARY SEWER MAINS.
  15. SEWER LINES SHALL HAVE A MINIMUM 6 INCHES OF STONE BEDDING AND BACKFILL AROUND THE CIRCUMFERENCE OF THE PIPE (TYPE 57 OR 67). UNDER ALL ROADS AND PAVED AREAS WATER AND SEWER MAINS MUST BE STONE BACKFILLED FULL DEPTH TO PAVEMENT SUBGRADE.
  16. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITY CONNECTION TAP, USE AND OTHER FEES REQUIRED TO CONNECT WATER, SEWER AND GAS.
  17. ANY EXISTING UTILITY STRUCTURES SHALL BE BROUGHT INTO CONFORMANCE WITH FINISH GRADE IN ACCORDANCE WITH THE RULES, RATES, AND POLICIES OF THE UTILITY OWNER.

12-B-23-UR  
Revised: 11/28/2023

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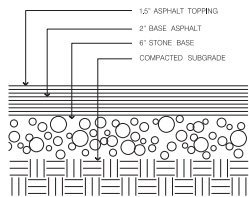


A Site Plan for:  
**Andy's Custard**  
513 N. Cedar Bluff Road  
Knox County, TN  
Planning Case # 12-B-23-UR

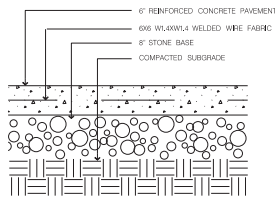
REVISIONS:  
11-20-2023 PLANNING COMM.  
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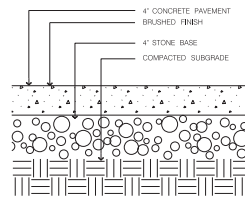
**C1.5**  
SITE UTILITY PLAN  
DRAWING



**1**  
C2.1  
LIGHT DUTY PAVING SECTION  
NOT TO SCALE

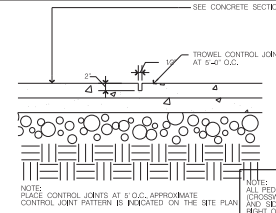


**2**  
C2.1  
TYPICAL CONCRETE PAVING SECTION  
NOT TO SCALE



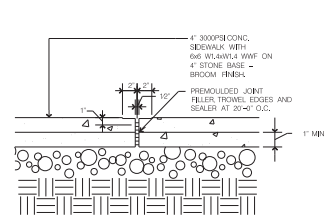
**3**  
C2.1  
TYPICAL SIDEWALK SECTION  
NOT TO SCALE

NOTE:  
ALL PEDIESTRIAN FEATURES  
(CROSSWALKS, CURB RAMPS,  
AND SIDEWALKS WITHIN  
RIGHT OF WAY MUST  
COMPLY WITH PROWING



**4**  
C2.1  
CONTROL JOINT DETAIL  
NOT TO SCALE

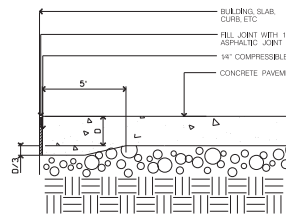
NOTE:  
ALL PEDIESTRIAN FEATURES  
(CROSSWALKS, CURB RAMPS,  
AND SIDEWALKS WITHIN  
RIGHT OF WAY MUST  
COMPLY WITH PROWING



NOTE:  
PLACE EXPANSION JOINTS AT MIN. 25' O.C. OR BETWEEN  
DAYS POURS, WHICHEVER IS CLOSER

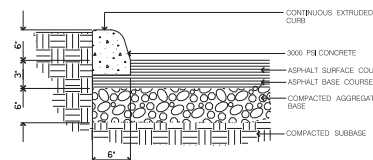
NOTE:  
ALL PEDIESTRIAN FEATURES  
(CROSSWALKS, CURB RAMPS,  
AND SIDEWALKS WITHIN  
RIGHT OF WAY MUST  
COMPLY WITH PROWING

**5**  
C2.1  
EXPANSION JOINT DETAIL  
NOT TO SCALE

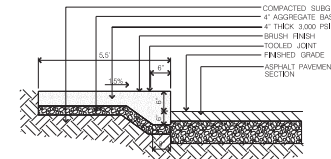


NOTE:  
THICKENED EDGE AT ALL EDGES OF SIDEWALK  
ADJACENT TO STRUCTURES, AND ADJACENT TO OTHER  
EXISTING CONCRETE

**6**  
C2.1  
THICKENED EDGE DETAIL  
NOT TO SCALE

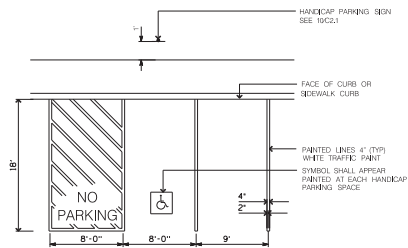


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NOT TO SCALE

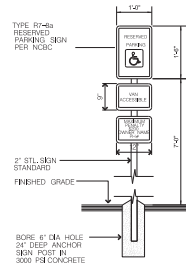


NOTES:  
PREFORMED 12\"/>

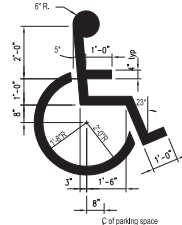
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SIDEWALK WITH INTEGRAL CURB  
NOT TO SCALE



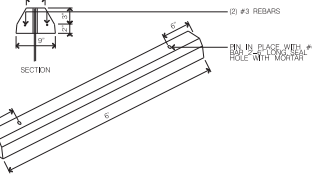
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TYPICAL PARKING SPACE DETAIL  
NOT TO SCALE



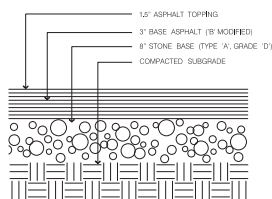
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HANDICAP SIGN  
NOT TO SCALE



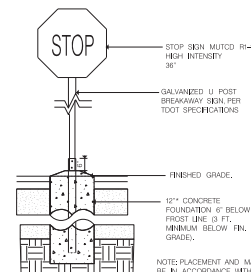
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ACCESSIBILITY SYMBOL  
NOT TO SCALE



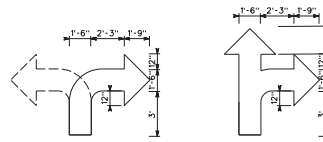
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NOT TO SCALE



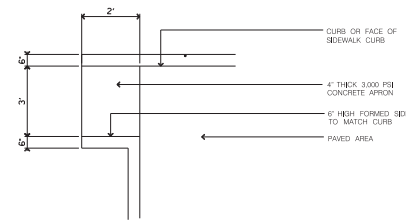
**13**  
C2.1  
HEAVY DUTY PAVING SECTION  
NOT TO SCALE



**14**  
C2.1  
STOP SIGN  
NOT TO SCALE



**15**  
C2.1  
PAVEMENT PAINTING  
NOT TO SCALE



**16**  
C2.1  
CURB CUT DETAIL  
NOT TO SCALE

12-B-23-UR  
Revised: 11/28/2023

**WILL ROBINSON  
& ASSOCIATES**

1248 N. Shreveport Ln  
Coryville, TN 37714  
(865) 386-4200  
wrobinson@bellsouth.net



A Site Plan for:  
**Andy's Custard**  
513 N. Cedar Bluff Road  
Knox County, TN  
Planning Case # 12-B-23-UR

REVISIONS:  
11-20-2023 PLANNING COMM.

DRAWN: WNR  
CHECKED: WNR  
DATE: 10-09-2023  
FILE NAME:  
PROJECT NO:

**C2.1**  
SITE DETAILS - 1  
DRAWING



**WILL ROBINSON  
& ASSOCIATES**



A Site Plan for:  
**Andy's Custard**  
513 N. Cedar Bluff Road  
Knox County, TN  
Planning Case # 12-B-23-UR

REVISIONS:

11-20-2023	PLANNING	COMM.
11-27-2023	PLANNING	COMM.

DRAWN: WNR  
CHECKED: WNR  
DATE: 10-09-2023  
FILE NAME:  
PROJECT NO:

C2.2

SITE DETAILS - 2  
DRAWING



# Andy's Custard

513 North Cedar Bluff Road  
Knox County, TN 37923

## Landscape Package



Vicinity Map: NTS

### Landscape Package Sheet Index

L000	Cover Sheet
L100	Landscape Plan
L200	Planting Details
L201	Planting Notes & Plant Schedule

### Landscape Architect Contact Information

**Shippey Landscape Architecture**  
Philip Shippey, PLA  
Phone: 229.326.1179  
Email: philip@shippeyla.com

### Property Information

1. Local Jurisdiction: Knox County
2. Current Zoning: CN
3. Parcel #: 119HF014
4. Deed Reference: 20170601-0073532
5. Proposed Use: Custard Shop (Commercial)
6. Property Area: 0.82 acres

### Abbreviation Reference

1. LF = Linear Feet
2. SF = Square Feet
3. o.c. = On Center
4. typ. = Typical
5. Ex. = Existing
6. EQ. = Equal
7. -----
8. Qty. = Quantity
9. Cal. = Caliper
10. Gal. = Gallon
11. Hgt. = Height
12. Approx. = Approximate
13. CT = Clear Trunk
14. Min. = Minimum
15. Max. = Maximum
16. Cu. Yd. = Cubic Yard
17. PTD = Pitch to Drain
18. TBD = To be Determined



Cleveland, TN 37312  
202.263.1179 | philip@shippeyla.com  
p-landscaping.com

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**Andy's Custard**  
513 Cedar Bluff Road  
Knox County, TN 37923  
Planning Case #: 3-C-23-UR

Drawn By: \_\_\_\_\_ Date: \_\_\_\_\_  
PSS 11/21/2023

Revision: \_\_\_\_\_ Date: \_\_\_\_\_  
1. Planning Comments 09/17/2023  
2. Submittal Revisions 11/21/2023

Sheet Name: \_\_\_\_\_

Cover  
Sheet

Sheet Number: \_\_\_\_\_

L000

12-B-23-UR  
Revised: 11/28/2023

\*See Sheet L201 for full plant schedule. . . \*



**1** Landscape Plan  
Scale: 1" = 10'-0"





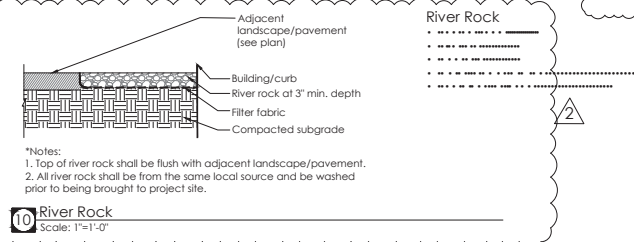
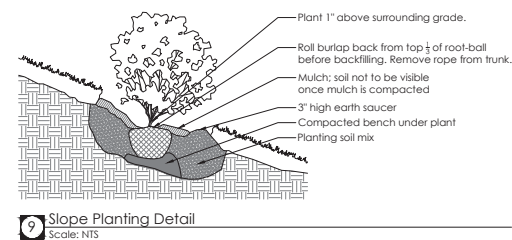
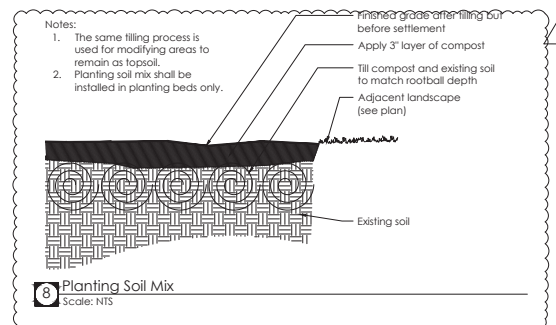
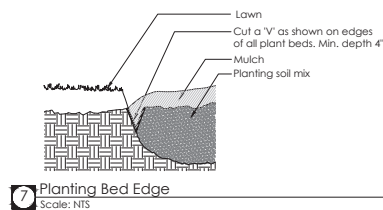
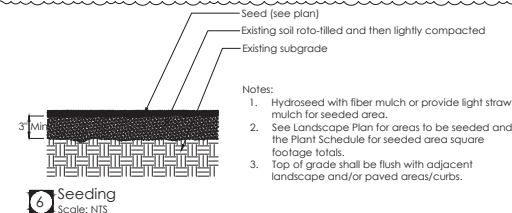
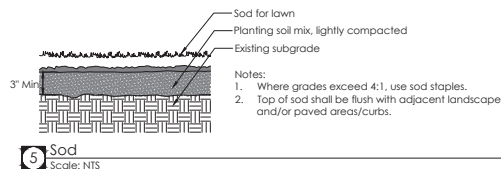
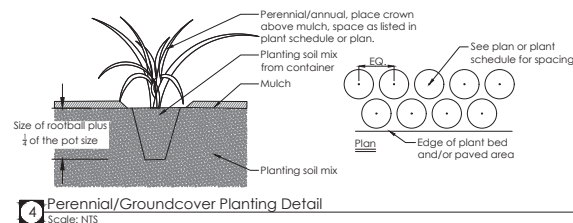
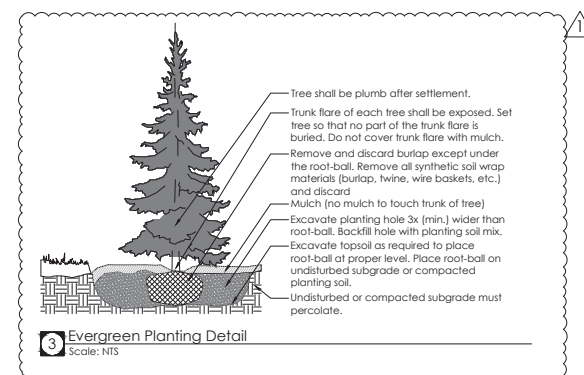
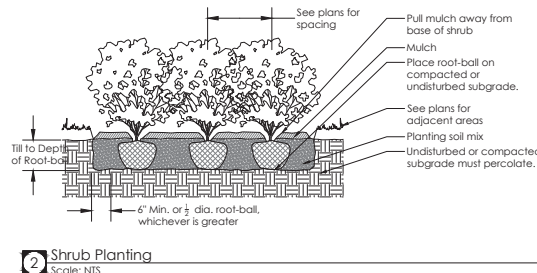
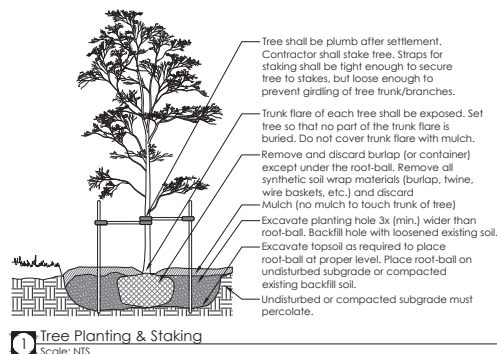
Know what's below.  
Call before you dig.



Shively, TN 37923  
252-263-7131 | j@shivelylandscape.com



**Andy's Custard**  
513 Cedar Bluff Road  
Knox County, TN 37923  
Planning Case #: 3-C-23-UR



12-B-23-UR  
Revised: 11/28/2023

Drawn By: \_\_\_\_\_ Date: 11/21/2023

Revision: \_\_\_\_\_ Date: 09/17/2023

1. Planning Comments: 09/17/2023

2. Submittal Revisions: 11/21/2023

Sheet Name: \_\_\_\_\_

Planting Details

Sheet Number: \_\_\_\_\_

L200



1. The Contractor shall verify existing conditions in the field and report any discrepancies to the Landscape Architect prior to starting work.
2. No planting shall occur until soil test sample results have been received and the soil has been amended per the soil test results. See this sheet for soil test testing instructions.
3. No planting shall occur until percolation testing has been performed and results have been properly graded for positive drainage. See this sheet for percolation testing procedures.
4. All new plant material shall conform to the guidelines set for nursery stock published by the American Association of Nurserymen. Additionally, all new plant material for the project shall be of the highest specimen quality.
5. Do not assume that trunk flares will be exposed at the nursery. Contractor to expose trunk flares to check for girdling. Pull flares away from trunk to include utility location.
6. All new plants shall be balled and burlapped or container grown unless otherwise noted on the plant schedule.
7. The Contractor shall locate and verify all underground and aboveground utility lines prior to soil preparation or planting. Any discrepancies shall be reported to the Landscape Architect. Call 811 to determine the location of utility lines.
8. Till all beds with planting soil mix to a minimum depth that matches the depth of the plant root-balls.
9. All plant beds and trees shall receive a minimum of three inches (3") of double-shredded, hardwood mulch. See Scheduling Notes on this sheet for mulching of seeded areas.
10. All shrubs and large evergreen trees in lawn areas shall have a minimum 6' diameter mulch ring to surround the base of the trunk unless noted otherwise on the plan. All ornamental and small evergreen trees shall have a minimum 4' diameter mulch ring to surround the base of the trunk unless noted otherwise on the plan.
11. Do not pile mulch against the trunk of any tree. Leave a gap for the trunk flare. **Avoid mulch volcanoes.**
12. Thoroughly water **all** plants during the first 24 hours after planting. Wet the soil to a depth of 18-24". When water starts to run off, stop watering, let the water soak in and repeat until the proper depth is wet.
13. Any proposed substitutions of plant species shall be made with plants of equivalent form, height, branching, habit, leaf color, fruit and environmental culture. **All proposed substitutions must be approved by the Landscape Architect.**
14. The Contractor's base bid shall include all materials, labor, permits, equipment, tools, insurance, etc., to perform the work as described in the contract documents.
15. The Contractor shall complete work within schedule established by the Owner or Owner's representative.
16. The Contractor shall provide a **one (1) year warranty for all plant material starting after** the issuance of the certificate of occupancy. See specifications for more details regarding the warranty.
17. Plant material delivered to the site that does not meet the requirements stated hereon may be rejected by the Owner, Owner's Representative, or Landscape Architect.
18. Contractor to provide interim maintenance (watering, pruning, fertilizing, trimming, adequate drainage of ponding areas, cleaning, weeding, mulching, and general clean-up) during the life and warranty.
19. Application of pesticides must be approved by the Landscape Architect or Owner prior to use. All pesticide applications shall be carried out by a licensed spray technician.
20. Contractors are to coordinate with the Owner may need to be shifted in the field to accommodate existing conditions. Coordinate with the Landscape Architect before making any changes to the planting plan.
21. Mulch, compost, and sod quantities are approximate. The Contractor shall verify the amount needed before purchasing and installing.

1. Field verify areas to receive seed and modify order quantity as necessary.
2. Site Preparation: Excavate exotic invasive plant material by having a licensed spray technician apply an approved herbicide. Good pre-seeding weed control may require repeated spraying at least two weeks apart.
3. See Civil Engineer's plans for grading, finer grading and shaping may be necessary to achieve a smoother, more regular surface for receiving seed.
4. The Contractor shall ensure that all grades will permit safe and efficient use of equipment during seedbed preparation, seeding, sowing, and maintenance of vegetation.
5. The Contractor shall grade the topsoil in order to create a seed bed, and **soil banking** prior to spreading the seed. **Soil-banking of areas to receive seed is required prior to sowing seed.**
6. Evenly spread a thin layer (about 3/16") to all seeded areas after sowing seed or use hydrosed field mulch.
7. For slopes with slope greater than 3:1, final tracking should be perpendicular to the slope to help reduce erosion, keep seeds in place, and to retain consistent soil moisture for seed germination.
8. Concentrations of water flows that could cause soil erosion should be diverted to a safe outlet. Diversions and other treatment practices must conform to the appropriate standards and specifications of the local, state, and federal regulatory agencies and the County Handbook.
9. The Contractor shall comply with IDEC erosion control requirements throughout the establishment of the seeded areas.
10. Maintenance: The Contractor shall observe the growth of the seeded species and eliminate invasive exotic vegetation until final acceptance.
11. Protect and care for seeded areas, including watering when needed, until final acceptance. This includes repaired areas and any areas receiving supplemental applications of seed.
12. Seed all areas as shown on the plans.
13. Protect and care for seeded areas, including watering when needed, until final acceptance. This includes repaired areas as well as any areas receiving supplemental applications of seed.
14. Seed any left over, disturbed areas following construction with turf seed. See table below for turf seed blends.
15. Source meadow seed blend as provided below.

Seed Mix: **Southern Wetland Meadow Mix**  
Item Number: **Mix 129**  
Source seed as shown at the website listed under the following URL:  
<https://roundtoneseed.com/wetland-mixes/1034-wetland-meadow-mix.html>

1. Using a shovel, dig a v-shaped hole to a depth of 6 inches; then cut a thin slice of soil from one side of the hole. Place the slice of soil into a plastic bucket (do not use a metal bucket or this can skew test results). Mix the slices together and fill a plastic sample bag with three (3) cups of soil. The sample bags can be ziploc bags that clearly labeled with the project name and sample number.
2. A well-mixed composite from 10 to 20 random locations from the areas to receive plants shall be sub-sampled to make the three (3) cup sample for each bag.
3. Mark the landscape plan to show sample locations.
4. Send the soil samples to either a private lab or the local extension service.
5. The results of the soil test shall be sent to the Landscape Architect for evaluation.

1. Dig hole 18-24" deep and a minimum of 6" wide.
2. Fill hole with water to the top and let it drain for several hours. Ideally, let the hole pre-wet overnight and perform the test the following day.
3. Refill hole to within a couple of inches of the top.
4. To aid in measurement, place a stick across the top of the hole and use a second stick to mark periodic drops in water level; mark side of hole; or mark on side of hole with nail or stick.
5. Measure drop in water level after 30 minutes and again at 1 hour. If possible, measure the drop in water level the next day.
6. Determine drop in water level per hour. If water level in the hole drops, more than 1 inch per hour, it is well drained and suitable for planting.

Plant Schedule\*

Qty	Botanical Name	Common Name	Size	Notes
SHADE TREES				
LT	2 <i>Liriodendron tulipifera</i> 'Arnold'	Arnold Tulip Poplar	1.5' Cal.	Single trunk; well-branched
N5	3 <i>Nyssa sylvatica</i> 'Wildfire'	Black Tupelo	1.5' Cal.	Single trunk; well-branched
CB	3 <i>Quercus bicolor</i>	Swamp White Oak	1.5' Cal.	Single trunk; well-branched
Q1	2 <i>Quercus lyrata</i>	Overcup Oak	1.5' Cal.	Single trunk; well-branched
EVERGREEN TREES				
IA	3 <i>Ilex x attenuata</i> 'Tosari'	Foster Holly	Min. 5 Hgt.	Full-to-ground; well-branched
MG	4 <i>Magnolia grandiflora</i> 'Bracken's Brown Beauty'	Bracken's Brown Beauty Magnolia	Min. 5 Hgt.	Full-to-ground; well-branched
TG	4 <i>Taxus</i> 'Green Giant'	Green Giant Arborvitae	Min. 5 Hgt.	Full-to-ground; well-branched
ORNAMENTAL TREES				
AVG	3 <i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	Min. 5' Hgt.	Single trunk; well-branched
CV	4 <i>Chionanthus virginicus</i>	Fringe Tree	Min. 5' Hgt.	Multi-trunk; well-branched
CYW	3 <i>Crataegus viridis</i> 'Water King'	Water King Hawthorn	Min. 5' Hgt.	Single trunk; well-branched
L4F	10 <i>Lagerstroemia indica</i> x 'Fourier' 'Tortia'	Tortia Crape Myrtle	Min. 5' Hgt.	Multi-trunk; well-branched
SHRUBS				
BxG	13 <i>Buxus</i> x 'Green Velvet'	Green Velvet boxwood	3 Gal.	3" o.c. spacing
CJN	6 <i>Cryptomeria japonica</i> 'Globosa Nana'	Dwarf Japanese Cedar	3 Gal.	3" o.c. spacing; <b>dwarf variety</b>
IG	16 <i>Ilex glabra</i> 'Shamrock'	Ikberly Holly	3 Gal.	3" o.c. spacing
PL	40 <i>Prunella laurocerasus</i> 'Schipquensis'	Schip Laurel	3 Gal.	4" o.c. spacing
LA	122 <i>Rhus aromatica</i> 'Gra-Low'	Low-Grow Sumac	3 Gal.	See plan for spacing; <b>dwarf variety</b>
TxM	15 <i>Taxus x media</i> 'Densiformis'	Densiformis Yew	3 Gal.	5" o.c. spacing
ORNAMENTAL GRASSES				
DR	48 <i>Sporobolus heterolepis</i>	Prairie Dropseed	Quart	See plan for spacing
PERENNIALS				
AH	15 <i>Amsonia hubrichtii</i>	Arkansas Blue Star	1 Gal.	30" o.c. spacing
JC	7 <i>Juniperus conferta</i> 'Blue Pacific'	Shore Juniper	1 Gal.	See plan for spacing
TSF	16 <i>Symphoricarum oblongifolium</i> 'Raydon's Favorite'	Raydon's Favorite Aster	1 Gal.	30" o.c. spacing
TURF / MEADOW SEEDS				
	2,210	Meadow Seed Mix	SF	See Sheet L201 for seed blend
SOD	12,335 <i>Festuca</i> spp.	Fescue Grass	SF	Sodded turf grass
MULCH / SOIL AMENDMENTS/ROCK***				
RR	280 River Rock		SF	3-5 inch river rock
	30 Compost		Cu. Yd.	Approx. 2" depth; install compost for shrub beds only
	10 Shredded Hardwood Mulch		Cu. Yd.	Approx. 2" depth

\*\*\*Contractor shall verify compost and mulch quantities needed.



513 Cedar Bluff Road  
Knox County, TN 37923

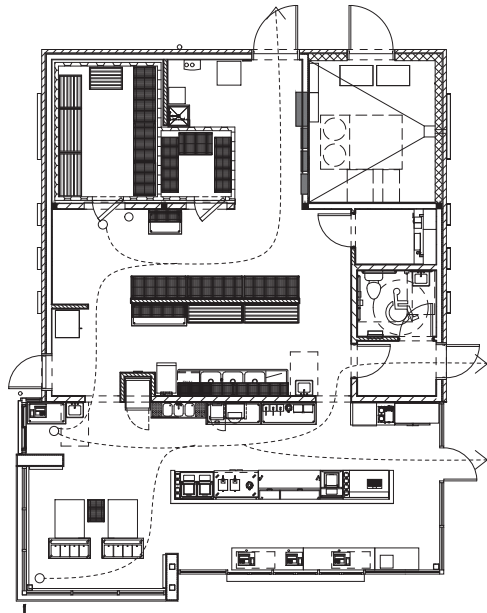
Knox County, TN 37923  
Planning Case #: 3-C-23-UR

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### Planting Notes & Plant Schedule

Sheet Number

L201



1 LIFE SAFETY PLAN  
3/16" = 1'-0"

### LIFE SAFETY PLAN KEY:

MAXIMUM PATH OF TRAVEL LENGTH - 62'

### PROJECT DESCRIPTION:

NEW CONSTRUCTION OF A 1-STORY STAND ALONE FROZEN CUSTARD STORE W/ WALK-UP SERVICE (NO DINE-IN). THE BUILDING IS TO BE A SLAB ON GRADE WITH WOOD FRAME CONSTRUCTION.

### ADOPTED CODES:

**BUILDING CODES:**  
2018 INTERNATIONAL BUILDING CODE  
2018 INTERNATIONAL ENERGY CONSERVATION CODE

**PLUMBING CODE:**  
2018 INTERNATIONAL PLUMBING CODE

**MECHANICAL CODE:**  
2018 INTERNATIONAL MECHANICAL CODE

**ELECTRIC CODE:**  
2017 NATIONAL ELECTRIC CODE W/LOCAL AMENDMENTS

**FIRE PREVENTION:**  
2018 INTERNATIONAL FIRE CODE W/LOCAL AMENDMENTS

**ADA:**  
2009 ICC ANSI A117.1 ACCESSIBILITY CODE

### BUILDING ANALYSIS:

**OCCUPANCY: B OCCUPANCY**  
1. BASED ON AN OCCUPANT LOAD OF LESS THAN 50 PERSONS, 1 EXIT REQUIRED - 3 PROVIDED

**CONSTRUCTION TYPE: V-B**  
1. NO FIRE RESISTANCE RATING REQUIREMENTS PER TABLE 601  
2. NO AREA INCREASES REQUIRED  
3. NO MIXED USES OR AREA SEPARATIONS REQUIRED PER TABLE 508.2

**ZONING: ZONE AC ARTERIAL COMMERCIAL**

**SITE DATA:**  
TOTAL SITE AREA: +/- .87 ACRES  
PARCEL I.D.: 079049M D 00500100900

**OCCUPANT LOAD (EXCLUDES OUTDOOR MECH. ENCLOSURE IN AREA TABULATION):**  
- INTERIOR OCCUPANCY: 200 S.F. / PERSON, 1,433 S.F. = 8 PERSONS  
- PATIO OCCUPANCY: 15 S.F. / PERSON, 828 S.F. = 55 PERSONS  
- TOTAL: 63 PERSONS

**PLUMBING FIXTURE ANALYSES**  
- 1 PER 100 PERSONS  
- 65 OCCUPANTS

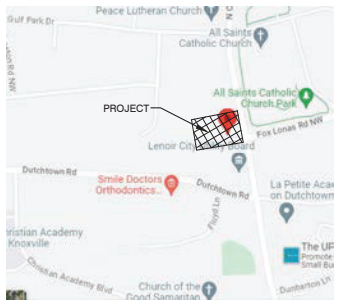
**- TOTAL: 1 LAVATORY, 1 SERVICE SINK**

**REQUIRED EXITS:**  
1. 2 SPACED NO MORE THAN HALF THE DIAGONAL OF THE BUILDING  
2. MAX. TRAVEL DISTANCE: 200 FEET

**SPRINKLERED: NON-SPRINKLERED**  
1. SPRINKLERS NOT REQUIRED PER 2012 IBC 903.2.1.2

**NUMBER OF STORIES: 1**

**ACCESSIBLE PARKING**  
1. PER IBC 2012 TABLE 1106.1 ACCESSIBLE PARKING SPACES - 1 ACCESSIBLE SPACE REQUIRED.



**LOCATION PLAN (NTS):**  
513 N. CEDAR BLUFF RD, KNOXVILLE TN 37923

### PROJECT DIRECTORY:

#### ARCHITECT:

**pb2 Architecture & Engineering**  
2809 Ajax Avenue Ste 100,  
Rogers AR, 72758  
P: 479-878-3741 / F: 479-836-1209  
Contact: Jonathan Sproule  
jonathan.sproule@pb2ae.com

#### CLIENT CONTACT:

**3 Peaks Custard, LLC**  
118 N. Peters Rd Ste 244  
Knoxville TN, 37923  
Phone: 417-678-4970  
Contact: Tom Gass  
tom.gass@3peakscustard.com

#### CIVIL ENGINEER:

**Will Robinson & Associates**  
1248 N. Shorewood Ln  
Caryville, TN 37714  
P: 955-585-4200  
Contact: Will Robinson  
will@wracivil.com

#### STRUCTURAL ENGINEER:

**Tatum Smith Welcher Engineers, Inc.**  
3100 S. Market St. #202  
Rogers, Arkansas 72758  
P: 447-621-6128  
Contact: Thomas Norris  
tn@tswstructural.com  
Contact: Richard Welcher  
rmw@tswstructural.com

#### M.E.P. ENGINEER:

**pb2 Architecture & Engineering**  
2809 Ajax Avenue Ste 100, Rogers AR, 72758  
P: 479-878-3741 / F: 479-836-1209  
Contact: Tommy Johnson  
tommy.johnson@pb2ae.com  
Contact: Brandon Hampton  
brandon.hampton@pb2ae.com

### SQUARE FT. INFORMATION:

TOTAL NET S.F.:	
1 FRONT OF HOUSE	593 SF
2 BACK OF HOUSE	455 SF
3 VESTIBULE	37 SF
4 RESTROOM	44 SF
5 OFFICE	38 SF
6A WALK-IN COOLER	107 SF
6B WALK-IN FREEZERS	38 SF
7 UTILITY	120 SF
TOTAL:	1,433 SF
GROSS S.F.:	
1 ANDY'S FROZEN CUSTARD	1,598 SF

## ANDY'S FROZEN CUSTARD

513 N. CEDAR BLUFF RD., KNOXVILLE TN 37923

### CONSTRUCTION DOCUMENTS

#### SHEET INDEX

ARCHITECTURAL:	
A000	COVER SHEET
A001	NOTES
A101	ARCHITECTURAL SITE PLAN
CIVIL:	
UNDER SEPARATE COVER	
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Revised: 11/28/2023

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**ANDY'S FROZEN CUSTARD**  
513 N. CEDAR BLUFF ROAD  
KNOXVILLE, TN 37923  
JOB NUMBER: 2023-0538

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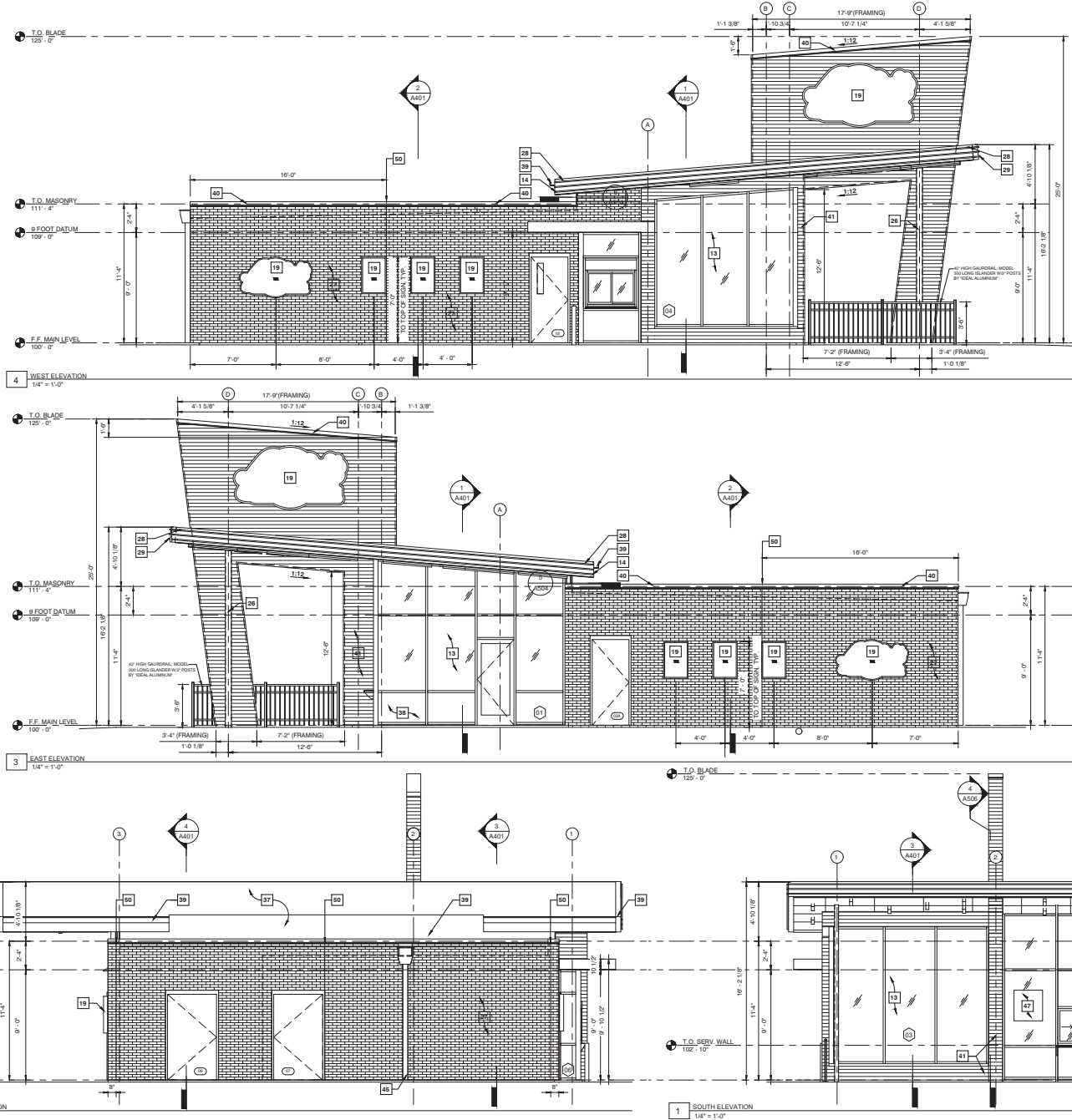
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**KEYNOTES:**

1. ROOF DRAINS BELOW SIDEWALK TO STORM SEWER - **NOTE:** EXPELL WATER UNDER SIDEWALK TO CURB - NOT ONTO WALK.
2. NEW PANELBOARDS:
3. DRIVE THRU WINDOW.
4. TACTILE ALUMINUM EXIT SIGNAGE IN COMPLIANCE WITH SECTION 1011.3 IBC 2006 SURFACE MOUNTED TO DOOR.
5. TACTILE ALUMINUM RESTROOM SIGNAGE IN COMPLIANCE WITH SECTION 1110.1 IBC 2006 SURFACE MOUNTED TO DRYWALL.
6. PROVIDE 3' CLEAR ACCESSIBLE EGRESS PATH.
7. CONTRACTOR TO CONFIRM LOCATION OF THE CENTER SERVICE ISLAND WITH ARCHITECT BEFORE ROUGH IN OF PLUMBING.
8. ROOF STRUCTURE WITH CLEAR ANODIZED ALUMINUM FASCIA WITH 3 CONTINUOUS BANDS OF NEON TUBING AND HARDIE REVEAL PANEL (7'10\"/>



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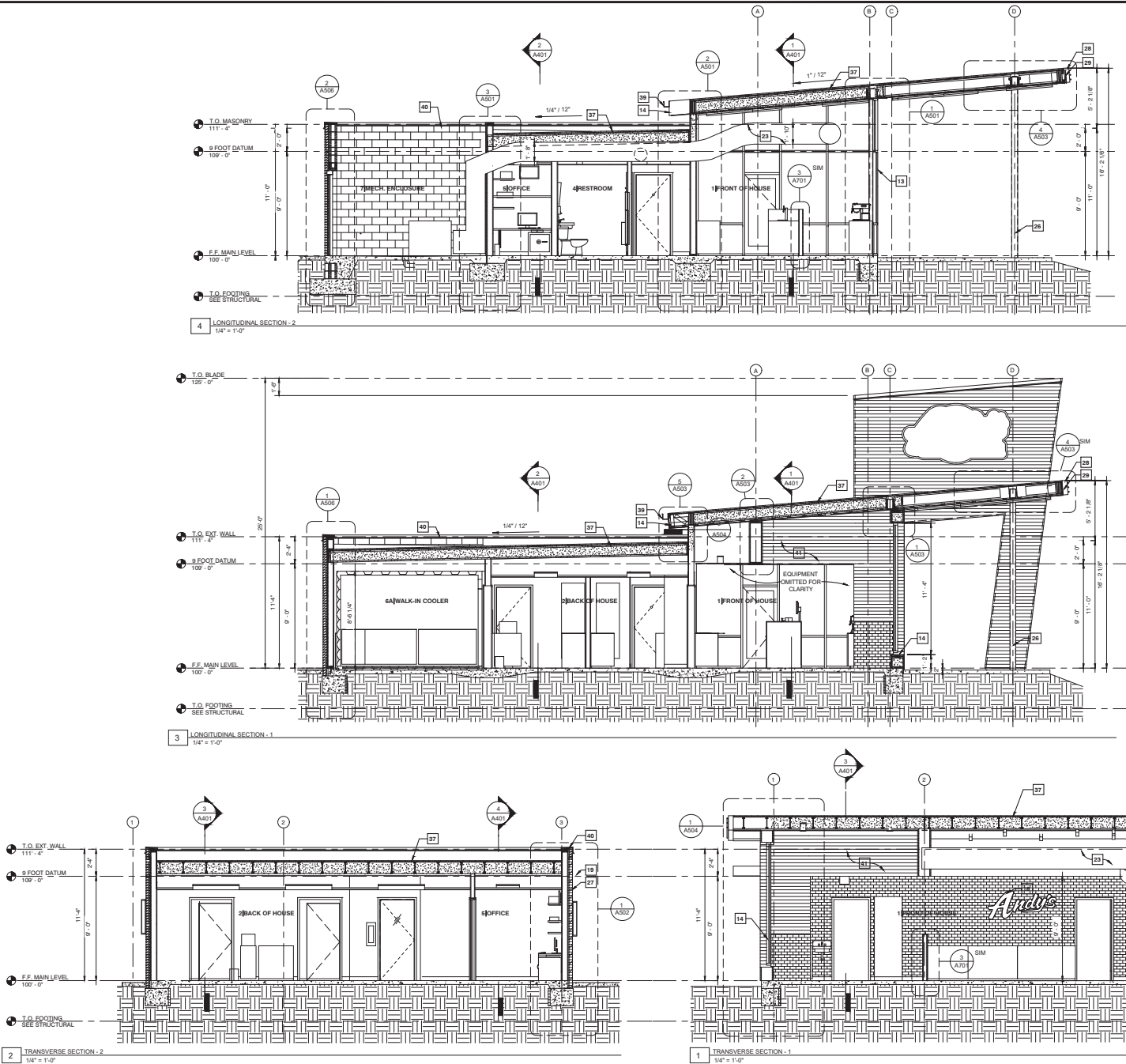


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**ELEVATIONS**

SHEET:  
**A301**

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# KEYNOTES:

1. ROOF DRAINS BELOW SIDEWALK TO STORM SEWER. NOTE: EXPELL WATER UNDER SIDEWALK TO CURB - NOT ONTO WALK.
2. NEW PANELBOARDS
3. DRIVE THRU WINDOW
4. TACTILE ALUMINUM EXIT SIGNAGE IN COMPLIANCE WITH SECTION 1011.3 IRC 2008 SURFACE MOUNTED TO DOOR.
5. TACTILE ALUMINUM RESTROOM SIGNAGE IN COMPLIANCE WITH SECTION 1116.1 IRC 2008 SURFACE MOUNTED TO DRYWALL.
6. PROVIDE 3' CLEAR ACCESSIBLE EGRESS PATH.
7. CONTRACTOR TO CONFIRM LOCATION OF THE CENTER SERVICE ISLAND WITH ARCHITECT BEFORE ROUGH-IN OF PLUMBING.
8. ROOF STRUCTURE WITH CLEAR ANODIZED ALUMINUM FASCIA WITH 3 CONTINUOUS BANDS OF NEON TUBING AND HARDIE REVEAL PANEL (7'10") SOFFIT PAINTED WHITE
9. INITIAL CORNER GUARDS, TYP.
10. PROVIDE HOT AND COLD WATER HOSE BIB ON WALL BEHIND AND ADJACENT TO CUSTARD MACHINES
11. FIRE EXTINGUISHER AND CABINET - SEE A4701
12. COORDINATE INSTALLATION OF WALK-IN COOLER AND FREEZER W/ SUPPLIER
13. EFCO 403 STOREFRONT OR EQUIVALENT - REINFORCE AS REQUIRED BY MFG. W/ 1" INSULATED GLAZING
14. PLUMB CUT ROOF EDGE
15. CLEAR OVER CLEAR 1" INSULATED GLAZING - SEE GLAZING SPECS ON SHEET A701
16. OCCUPANCY LOAD SIGNAGE IN COMPLIANCE WITH SECTION 1004.3 IRC 2003 - SURFACE MOUNTED ABOVE DOOR
17. CORNER TO BE BUTT GLAZED WITH A-45 DEGREE MULLION
18. CUSTARD MACHINES TO STRADDLE FLOOR SINKS
19. ANDY'S MENU AND POSTER SIGNAGE BY OTHERS - VERIFY INSTALLED LOCATION W/ OWNER
20. EXTERIOR UPLIGHTING MOUNTED TO MULLION PER SPECIFICATIONS
21. MAINTAIN A MINIMUM OF 10' CLEAR ON OPERABLE SIDE OF WALK-IN COOLER AND FREEZER - COORDINATE DETAILING W/ MFG.
22. TRASH - RECYCLING PER OWNER
23. ALL EXPOSED DUCTWORK TO BE PAINTED WHITE TO MATCH GWS CEILING
24. 40 MIL WHITE TPO MECHANICALLY FASTENED WITH 1" RIGID INSULATION
25. PROVIDE SOLID BLOCKING FOR ALL SHELVES & WALL MOUNTED EQUIPMENT - SEE A203 FOR LOCATIONS
26. COLLIMING PER STRUCTURAL
27. BRICK VENEER PER WALL SECTION
28. PERIMETER NEON LIGHTING ON EXTENTS OF ALUMINUM FASCIA BY OWNER
29. SQUARE CUT ROOF EDGE
30. SITE WORK PER CIVIL PLANS AND SPECIFICATIONS
31. COMPOSITE SLATS ON GALVANIZED TUBE STEEL FRAME
32. QUINSEY PRODUCTS INC. SLIDING WINDOWS - SELF CLOSING SC-4300 AT WALK-UP PATIO WINDOWS. FULLY AUTOMATIC 403SE AT DRIVE THRU WINDOW
33. CAP AND SILL FLASHING AT TOP DATUM OF MASONRY VENEER AND FREEZING WALL, TYP.
34. FOUNDATION PER STRUCTURAL
35. WALL TYPE PER PLAN
36. DUCTWORK LOCATION AND SIZING PER MEP
37. ROOF CONSTRUCTION - 40 MIL WHITE TPO ROOFING MECHANICALLY FASTENED ON 1" RIGID INSULATION OVER 2" IS PER STRUCTURAL WITH OPEN CELL INSULATION - MINIMUM OF R-30
38. WHITE SPANDREL GLAZING - ALL SPANDREL GLASS TO BE WHITE U.O.N.
39. PRE-FINISHED METAL BOX GUTTER
40. PRE-FINISHED METAL PARAPET CAP FLASHING
41. 1"x3" T+G COMPOSITE SIDING, BASIS OF DESIGN: TIMBERTECH PORCH COLLECTION, MANGANOY
42. JAMES HARDIE - 5/8" HARDIE PANEL® COLOR PLUS® EXTERIOR FIBER CEMENT VERTICAL SIDING - 4" x 11" SECTIONS - SMOOTH FINISH - COLOR: LIGHT MIST; ON 3/4" BATTENS
43. CAISED OPENING FOR WALK-IN COOLER ACCESS
44. DIRECT APPLIED EIFS OVER DENS GLASS GOLD SHEATHING, FINE SAND FINISH - COLOR BONE WHITE; PROVIDE PERIMETER VENT STRIP AROUND PERIMETER
45. 6" DIAMETER DOWNSPOUT - CONNECTED TO STORM SEWER PER CIVIL PLANS
46. ANDY'S FROZEN CUSTARD NEON CONE SIGN "MADE FRESH EVERY HOUR" - LOCATED INSIDE STORE IN FRONT OF STOREFRONT GLAZING - SUSPEND FROM HORIZONTAL MULLION AND CONCEAL POWER SUPPLY ALONG INSIDE FACE OF MULLION
47. ANDY'S FROZEN CUSTARD SPINNEER ROOF REEVE NEON SIGN - LOCATED INSIDE STORE IN FRONT OF STOREFRONT GLAZING - SUSPEND FROM HORIZONTAL MULLION AND CONCEAL POWER SUPPLY ALONG INSIDE FACE OF MULLION
48. STEEL PIPE BOLLARD - 4" DIAMETER SCHEDULE 40 STEEL PIPE - 4' ABOVE GRADE W/ 2' CORE BELOW GRADE
49. ELECTRIC STUB

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**Andy's Frozen Custard**

**ANDY'S FROZEN CUSTARD**  
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**SECTIONS**

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**A401**