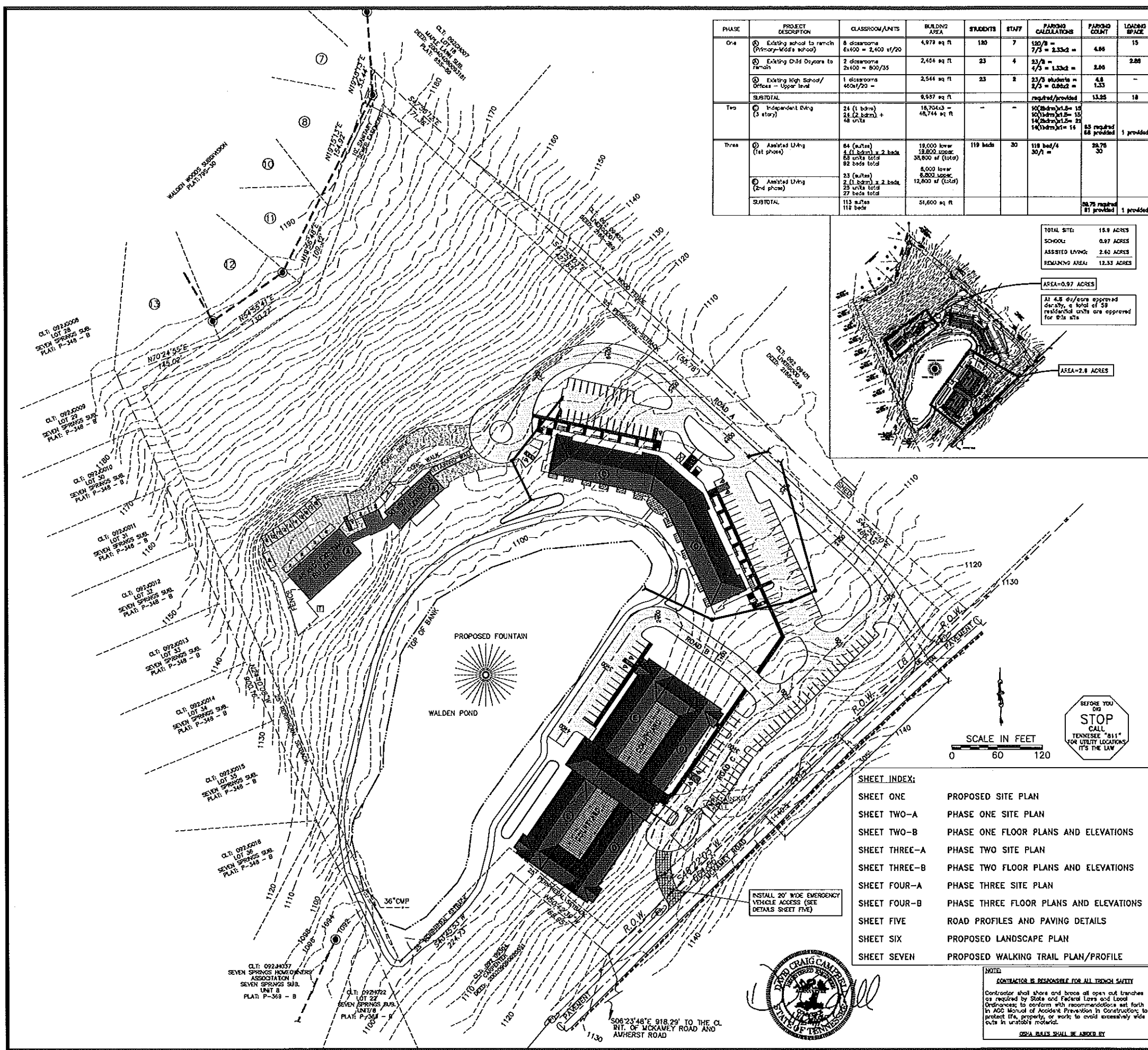


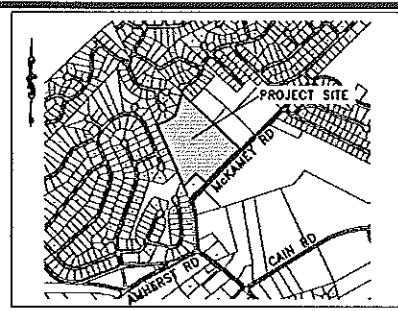


PHASE	PROJECT DESCRIPTION	CLASSROOM/UNITS	BUILDING AREA	STUDENTS	STAFF	PARKING CALCULATIONS	PARKING COUNT	LOADING SPACE
One	Existing school to remain (Primary-Middle school)	8 classrooms 6,400 = 2,400 sq ft	4,979 sq ft	180	7	120/3 = 2.33 = 4.88	4.88	15
	Existing Child Daycare to remain	2 classrooms 2,400 = 800/35	2,454 sq ft	23	4	23/4 = 5.75 = 1.33 = 2.88	2.88	2.88
	Existing High School/ Offices - Upper level	1 classroom 4,000/20 =	2,544 sq ft	23	2	23/3 students = 2.33 = 0.88 = 1.33	1.33	-
	SUBTOTAL		9,977 sq ft			required/provided	13.25	18
Two	Independent Bldg (3 story)	24 (1 bldg) 2.5 (2 bldg) + 48 units	18,704.3 = 48,744 sq ft	-	-	10(bldg)/1.5 = 10 10(bldg)/1.5 = 10 14(bldg)/1.5 = 14 14(bldg)/1.5 = 14	83 required 88 provided	1 provided
Three	Assisted Living (1st phase)	64 (units) 4 (1 bldg) x 2 beds 80 units total 82 beds total	19,000 lower 18,800 upper 37,800 sq ft (total)	119 beds	30	119 beds/30/1 =	39.70 30	
	Assisted Living (2nd phase)	23 (units) 2 (1 bldg) x 2 beds 25 units total 27 beds total	6,000 lower 8,800 upper 14,800 sq ft (total)					
	SUBTOTAL		51,600 sq ft				58.75 required 81 provided	1 provided

TOTAL SITE: 15.9 ACRES
SCHOOL: 0.97 ACRES
ASSISTED LIVING: 2.63 ACRES
REMAINING AREA: 12.33 ACRES

AREA=0.97 ACRES
At 4.88 sq/acre approved density, a total of 58 residential units are approved for this site

AREA=2.6 ACRES



VICINITY MAP
NOT TO SCALE

- GENERAL NOTES:
- CONTRACTOR TO VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF UTILITIES IS BASED ON THE BEST AVAILABLE INFORMATION. CALL TENNESSEE "811" AT LEAST 72 HOURS PRIOR TO CONSTRUCTION ACTIVITIES FOR UTILITIES LOCATION.
 - CONTRACTOR RESPONSIBLE FOR COMPLIANCE WITH OSHA REQUIREMENTS FOR SLOPE STABILITY, SHORING, AND SLOPE CONTROL DURING CONSTRUCTION.
 - BACK FILL MUST BE PLACED AND COMPACTED TO 95% OF STANDARD PROCTOR PRIOR TO UTILITY INSTALLATION.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFYING GRADES AND ALIGNMENTS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES OR INCONSISTENCIES TO IDEAL ENGINEERING SOLUTIONS, INC. AT 755-3575.
 - TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH MANUAL ON LANEWORK, TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION ISSUED BY THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA, INC.
 - DEMOLITION OF EXISTING STRUCTURES AND ABANDONMENT OF EXISTING UTILITIES TO BE PERMITTED AND COORDINATED WITH KNOX COUNTY.

PROPERTY NOTES:

- TOTAL AREA = 15.924 ACRES
- CLT 082 PARCEL 093.02
- EXISTING TOWNING A (72 PROPOSED)
- 10' DRAINAGE AND UTILITY EASEMENT INSIDE EXTERIOR PROPERTY LINE.

SETBACKS:

FRONT: 20 FT.
SIDE: 5 FT.
REAR: 15 FT. SETBACK UNLESS CONTROLLED BY 25' PERIPHERAL
PERIPHERAL: 25 FT. SETBACK REQUESTED

UTILITIES:

WATER: KUB
SEWER: KUB
ELECTRIC: KUB
SOLID WASTE: PRIVATE HAULER
TELEPHONE: UNREGULATED

- VARIANCES REQUESTED:
- STA 0+00 ROAD A-X VALUE FROM 25 TO 16.
 - STA 1+58 ROAD A-X VALUE FROM 25 TO 16.
 - STA 0+18 ROAD B-X VALUE FROM 25 TO 20.
 - STA 0+18 ROAD C-X VALUE FROM 25 TO 20.
 - STA 1+54 ROAD C-X VALUE FROM 25 TO 20.

- LEGEND:
- PROPOSED DRAINAGE LINE
 - PROPOSED CATCH BASIN
 - EXISTING WATER MAIN
 - PROPOSED WATER MAIN
 - EXISTING SEWER LINE
 - PROPOSED SEWER LINE
 - EXISTING SEWER MANHOLE
 - EXISTING SEWER MANHOLE
 - EXISTING ELECTRIC
 - PAD-MOUNTED TRANSFORMER

EXISTING CONDITIONS

- EXISTING GRAVEL
- EXISTING CONCRETE

12-C-15-UR
REVISED
12-2-15

SCALE: 1"=60'

SHEET INDEX:

SHEET ONE	PROPOSED SITE PLAN
SHEET TWO-A	PHASE ONE SITE PLAN
SHEET TWO-B	PHASE ONE FLOOR PLANS AND ELEVATIONS
SHEET THREE-A	PHASE TWO SITE PLAN
SHEET THREE-B	PHASE TWO FLOOR PLANS AND ELEVATIONS
SHEET FOUR-A	PHASE THREE SITE PLAN
SHEET FOUR-B	PHASE THREE FLOOR PLANS AND ELEVATIONS
SHEET FIVE	ROAD PROFILES AND PAVING DETAILS
SHEET SIX	PROPOSED LANDSCAPE PLAN
SHEET SEVEN	PROPOSED WALKING TRAIL PLAN/PROFILE

NOTE:
CONTRACTOR IS RESPONSIBLE FOR ALL TRENCH SAFETY. Contractor shall shore and brace all open cut trenches as required by State and Federal Laws and Local Ordinances to conform with recommendations set forth in AGC Manual of Accident Prevention in Construction to protect life, property, or work to avoid excessively wide cuts in unstable material.
OSHA RULES SHALL BE ADHERED BY

Prepared For:
Walden Pond, LLC
12916 Butterfield Lane
Knoxville, Tennessee 37934
(865) 385-0170

Planning Agency:
Knoxville-Knox County MPC
400 Main Street, Suite 403
Knoxville, Tennessee 37902
(865) 215-2500

IDEAL ENGINEERING SOLUTIONS INCORPORATED
Ideal Engineering Solutions, Inc.
325 Wooded Lane
Knoxville, Tennessee 37922
(865) 755-3575



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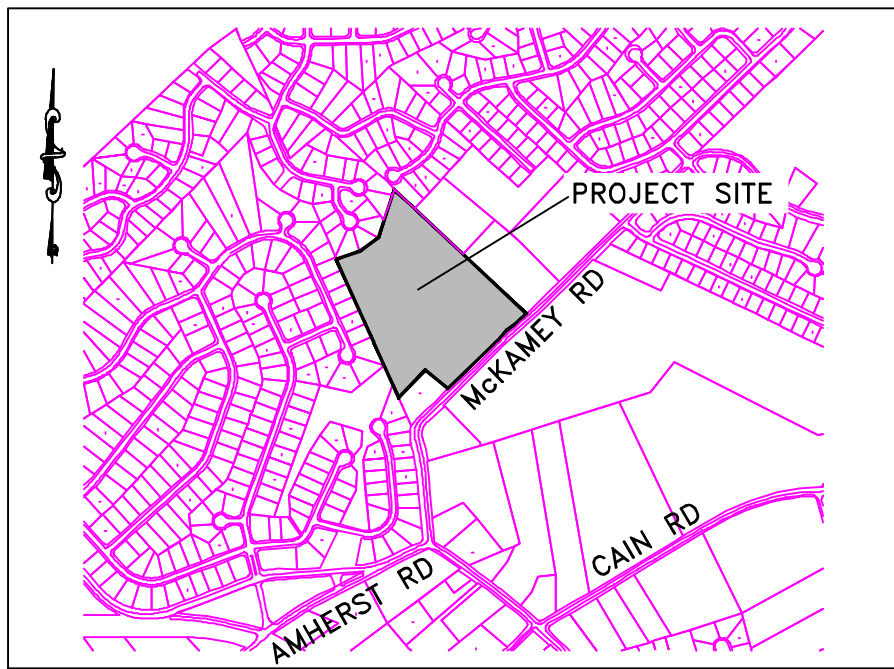
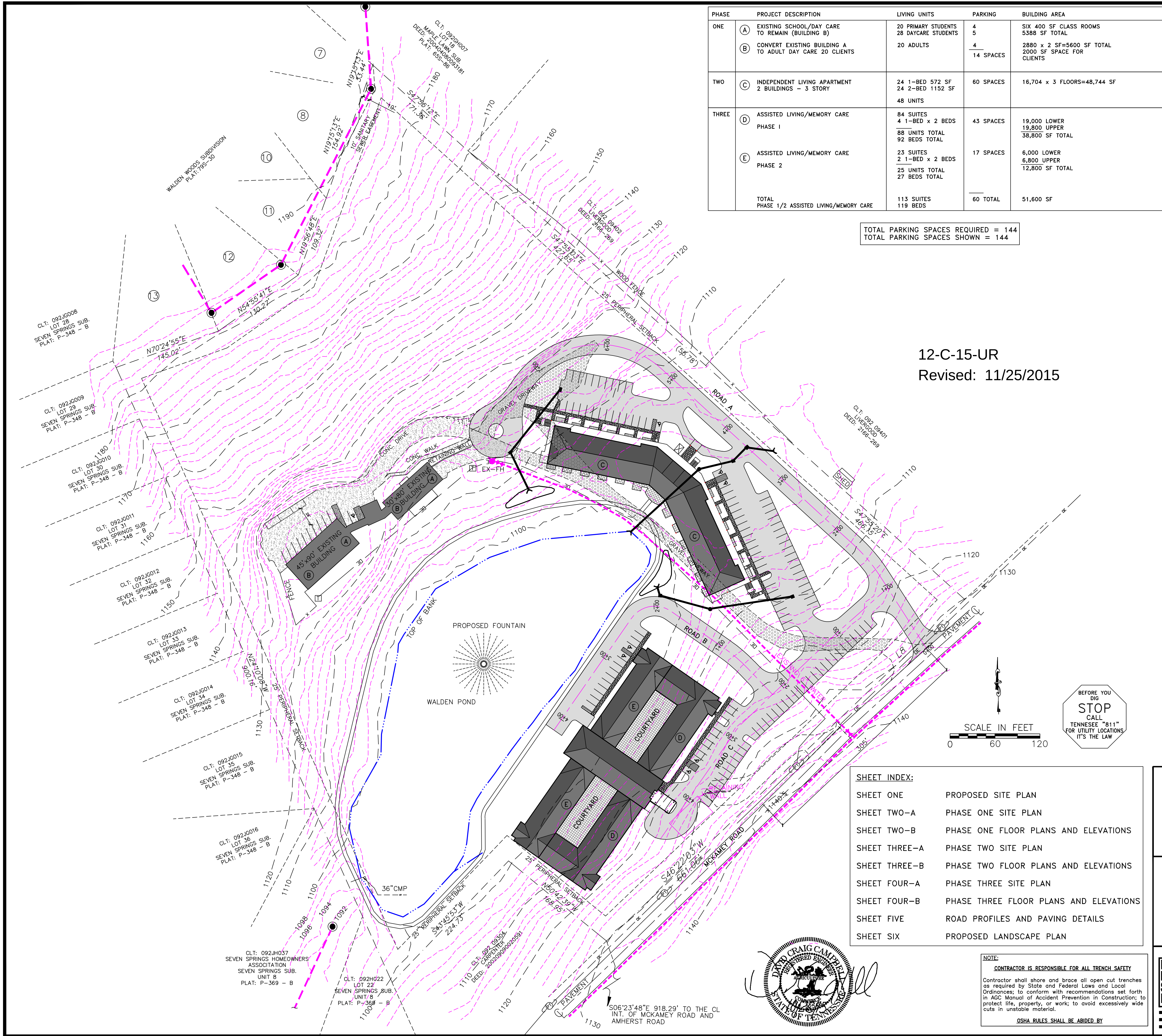
ODLE & YOUNG ARCHITECTS, INC.
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www.odyarchitects.com

Walden Pond Senior Village
5311 McKamey Road
Knoxville, TN 37921

DATE	ISSUE FOR
10/29/2015	Use on Review
11/24/2015	Use on Review-Revised

PROJECT #	15078
DRAWN	
CHECKED	
SHEET TITLE	PROPOSED SITE PLAN
SHEET	SHEET ONE
PROJECT NAME	Walden Pond Senior Village

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VICINITY MAP

NOT TO SCALE

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- DEMOLITION OF EXISTING STRUCTURES AND ABANDONMENT OF EXISTING UTILITIES TO BE PERMITTED AND COORDINATED WITH KNOX COUNTY.

PROPERTY NOTES:

- TOTAL AREA = 15.92± ACRES
- CLT 092 PARCEL 093.02
- EXISTING ZONING: A (PR PROPOSED)
- 10' DRAINAGE AND UTILITY EASEMENT INSIDE EXTERIOR PROPERTY LINE.

SETBACKS:

- FRONT: 20 FT.
SIDE: 5 FT.
REAR: 15 FT. SETBACK UNLESS CONTROLLED BY 25' PERIPHERAL
PERIPHERAL: 25 FT. SETBACK REQUESTED

UTILITIES:

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SEWER: KUB
ELECTRIC: KUB
SOLID WASTE: PRIVATE HAULER
TELEPHONE: DEREGULATED

VARIANCES REQUESTED:

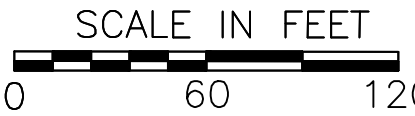
- STA 0+00 ROAD A-K VALUE FROM 25 TO 16.
- STA 1+99 ROAD A-K VALUE FROM 25 TO 16.
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- STA 0+13 ROAD C-K VALUE FROM 25 TO 20.
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LEGEND:

- PROPOSED DRAINAGE LINE
- PROPOSED CATCH BASIN
- EXISTING WATER MAIN
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SHEET INDEX:

SHEET ONE	PROPOSED SITE PLAN
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SHEET FOUR-B	PHASE THREE FLOOR PLANS AND ELEVATIONS
SHEET FIVE	ROAD PROFILES AND PAVING DETAILS
SHEET SIX	PROPOSED LANDSCAPE PLAN

NOTE:

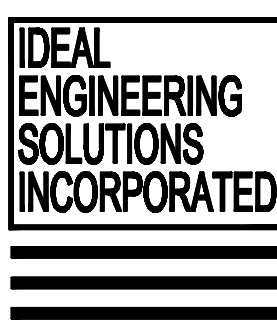
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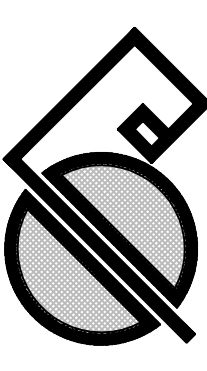
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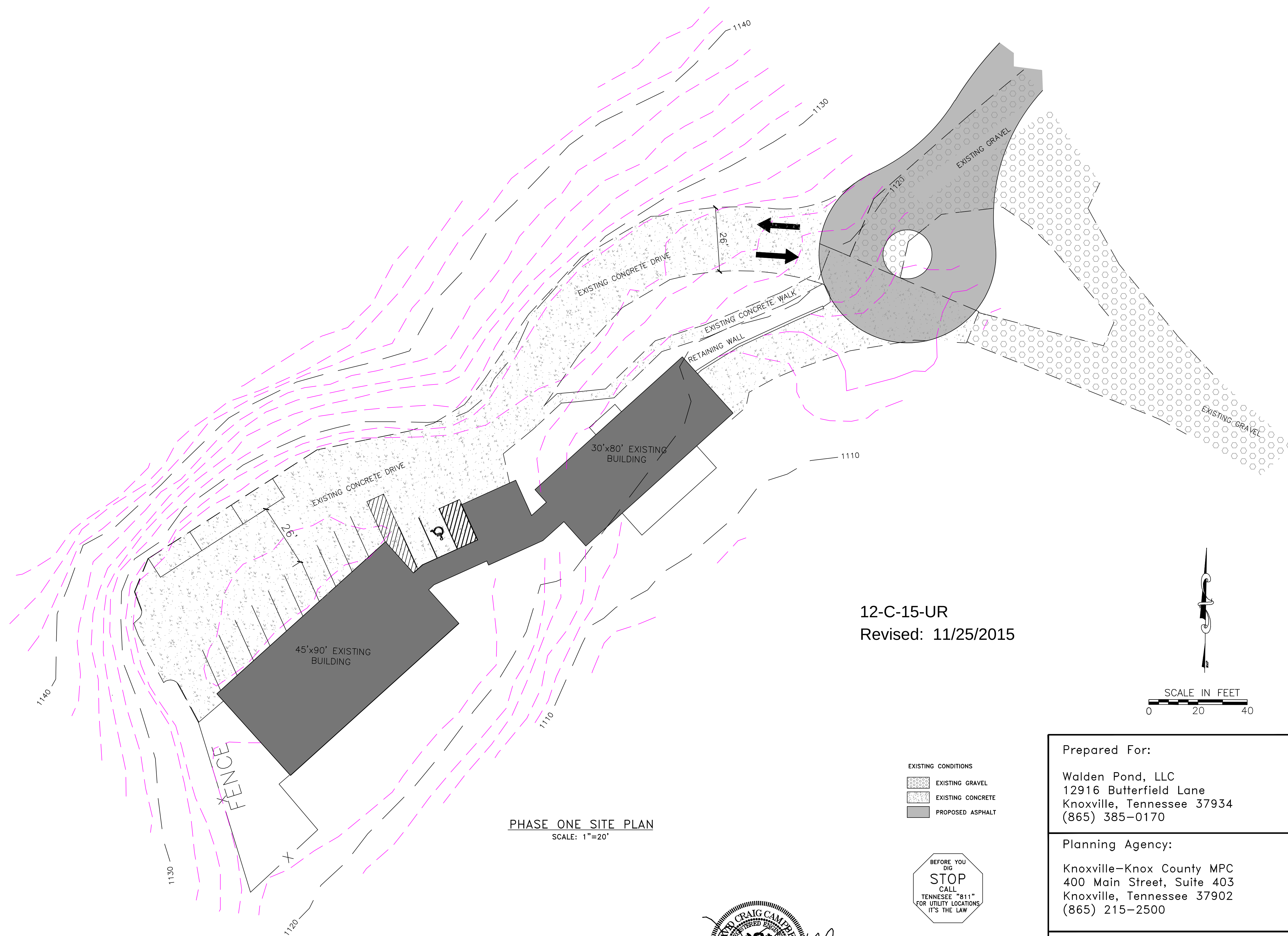


Walden Pond Senior Village

5311 McKamey Road
Knoxville, TN 37921

MARK	DATE	ISSUE FOR
	10/26/2015	Use on Review

PROJECT #	15078
DRAWN	
CHECKED	
SHEET TITLE	PROPOSED SITE PLAN
SHEET	SHEET ONE
PROJECT NAME	Walden Pond Senior Village



12-C-15-UR
Revised: 11/25/2015

- EXISTING CONDITIONS
- EXISTING GRAVEL
 - EXISTING CONCRETE
 - PROPOSED ASPHALT

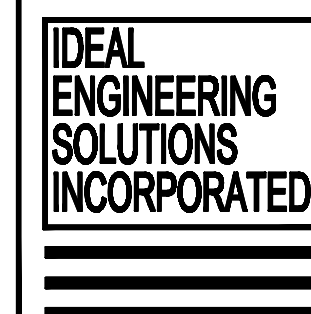


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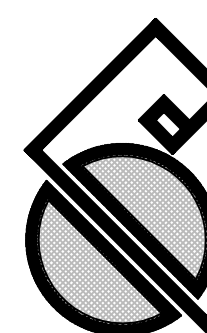
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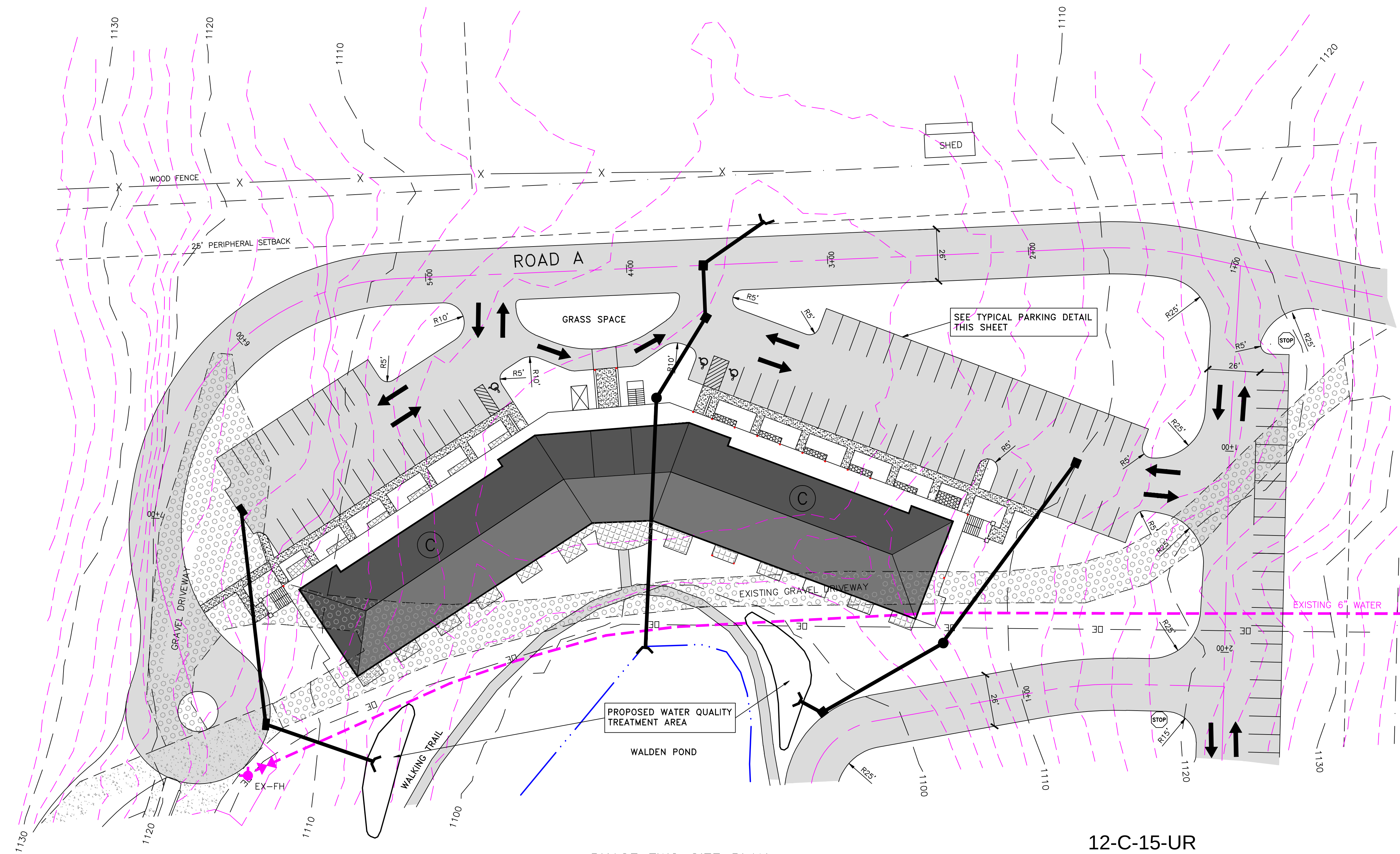


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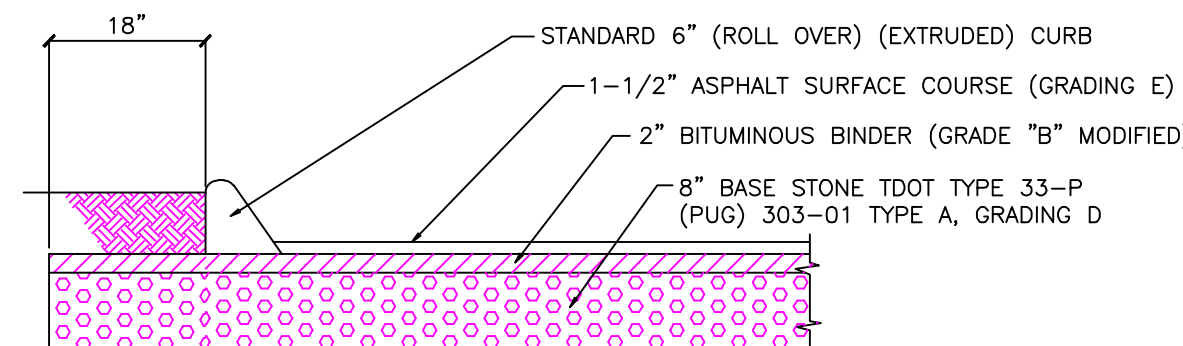
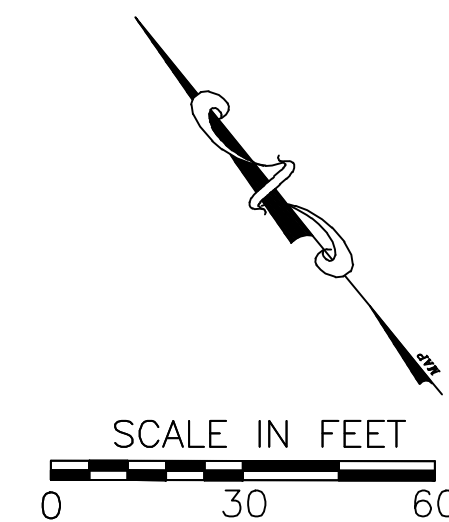
MARK	DATE	ISSUE FOR
	10/26/2015	Use on Review

PROJECT #	15078
DRAWN	
CHECKED	
SHEET TITLE	PHASE ONE SITE PLAN
SHEET	TWO-A
PROJECT NAME	Walden Pond Senior Village



PHASE TWO SITE PLAN
SCALE: 1"=30'

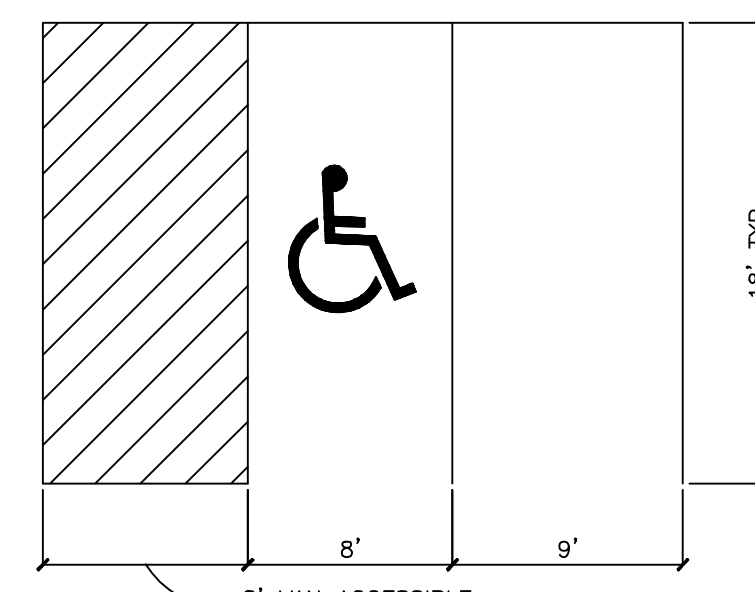
12-C-15-UR
Revised: 11/25/2015



TYPICAL PAVEMENT DETAIL
NOT TO SCALE

KNOX COUNTY ROAD BUILDING REQUIREMENTS

1. PLACEMENT OF FILL MATERIAL:
BORROW MATERIAL TO BE USED FOR SOIL FILL WILL BE COLLECTED AND TESTED FOR MAXIMUM DRY DENSITY AND OPTIMUM MOISTURE CONTENT (STANDARD PROCTOR DENSITY ASTM D698) AS DIRECTED BY THE SOIL TESTING AGENT PRIOR TO COMMENCEMENT OF FILL PLACEMENT ACTIVITIES. FILL SOILS WILL BE COMPACTED IN THIN LAYERS OF NO MORE THAN EIGHT (8) INCHES BY SHEEPSFOOT COMPACTOR OR OTHER EQUIPMENT APPROVED BY KNOX COUNTY AS DIRECTED BY THE SOIL TESTING AGENT. ALL FILL SOILS SHALL BE COMPACTED TO A MINIMUM OF 98 PERCENT STANDARD PROCTOR MAXIMUM DRY DENSITY WITHIN ± MINUS THREE (3) PERCENT OF OPTIMUM MOISTURE CONTENT. SOILS IN FILL AREAS PRIOR TO FILL PLACEMENT AND SOILS AT FINISHED SUBGRADE ELEVATION IN BOTH CUT AND FILL AREAS SHOULD BE PROOFROLLED. PROOFROLLING SHALL BE PERFORMED UNDER THE OBSERVATION OF THE SOIL TESTING AGENT AND THE KNOX COUNTY INSPECTOR.
2. SUBGRADE:
ALL REQUIRED TESTING SHALL BE PERFORMED BY A QUALIFIED, INDEPENDENT, PRE-APPROVED TESTING AGENT. THE OWNER OR CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE TESTING AND NOTIFYING THE KNOX COUNTY INSPECTOR AS TO THE SCHEDULED TESTING TIME.



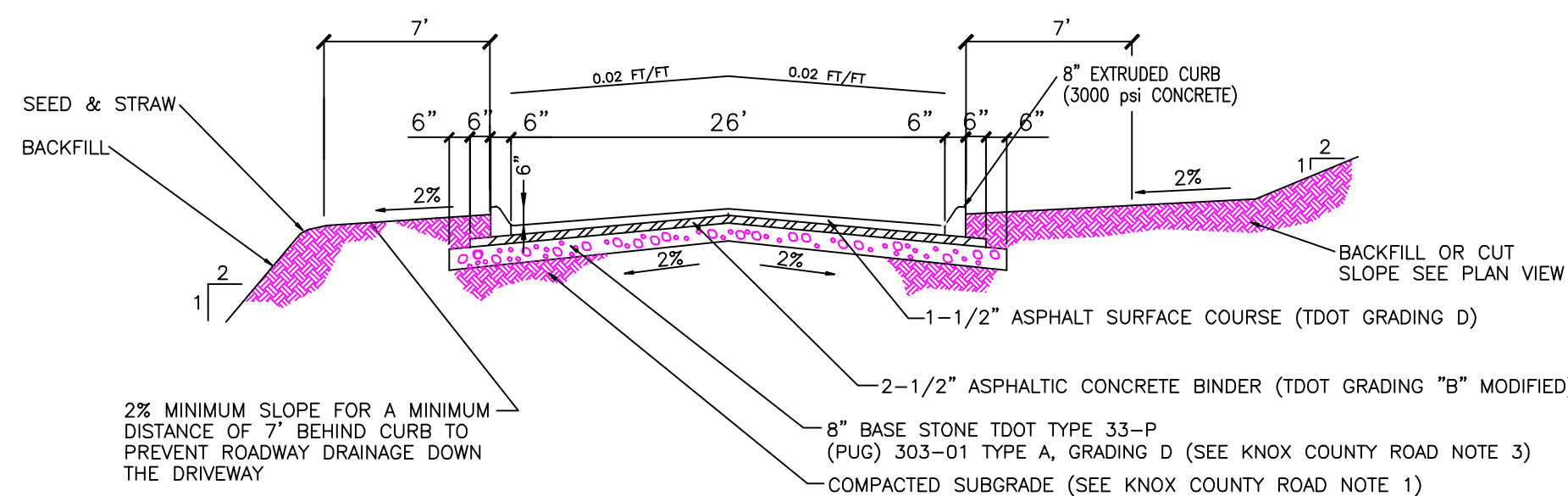
TYPICAL PARKING SPACE DETAILS
NOT TO SCALE

EXISTING CONDITIONS

- EXISTING GRAVEL
- PROPOSED CONCRETE
- PROPOSED ASPHALT



NOTE:
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OSHA RULES SHALL BE ABIDED BY

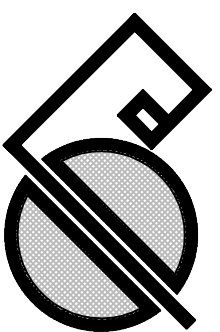


TYPICAL KNOX COUNTY ROAD CROSS SECTION
NOT TO SCALE



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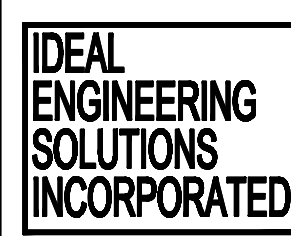
Walden Pond
Senior Village
5311 McKamey Road
Knoxville, TN 37921

Prepared For:

Walden Pond, LLC
12916 Butterfield Lane
Knoxville, Tennessee 37934
(865) 385-0170

Planning Agency:

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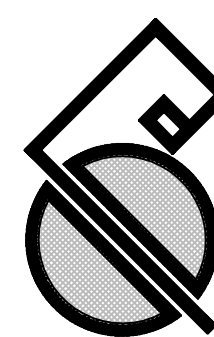
MARK	DATE	ISSUE FOR
	10/26/2015	Use on Review

PROJECT #	15078
DRAWN	
CHECKED	
SHEET TITLE	PHASE TWO SITE PLAN
SHEET	THREE-A
PROJECT NAME	Walden Pond Senior Village



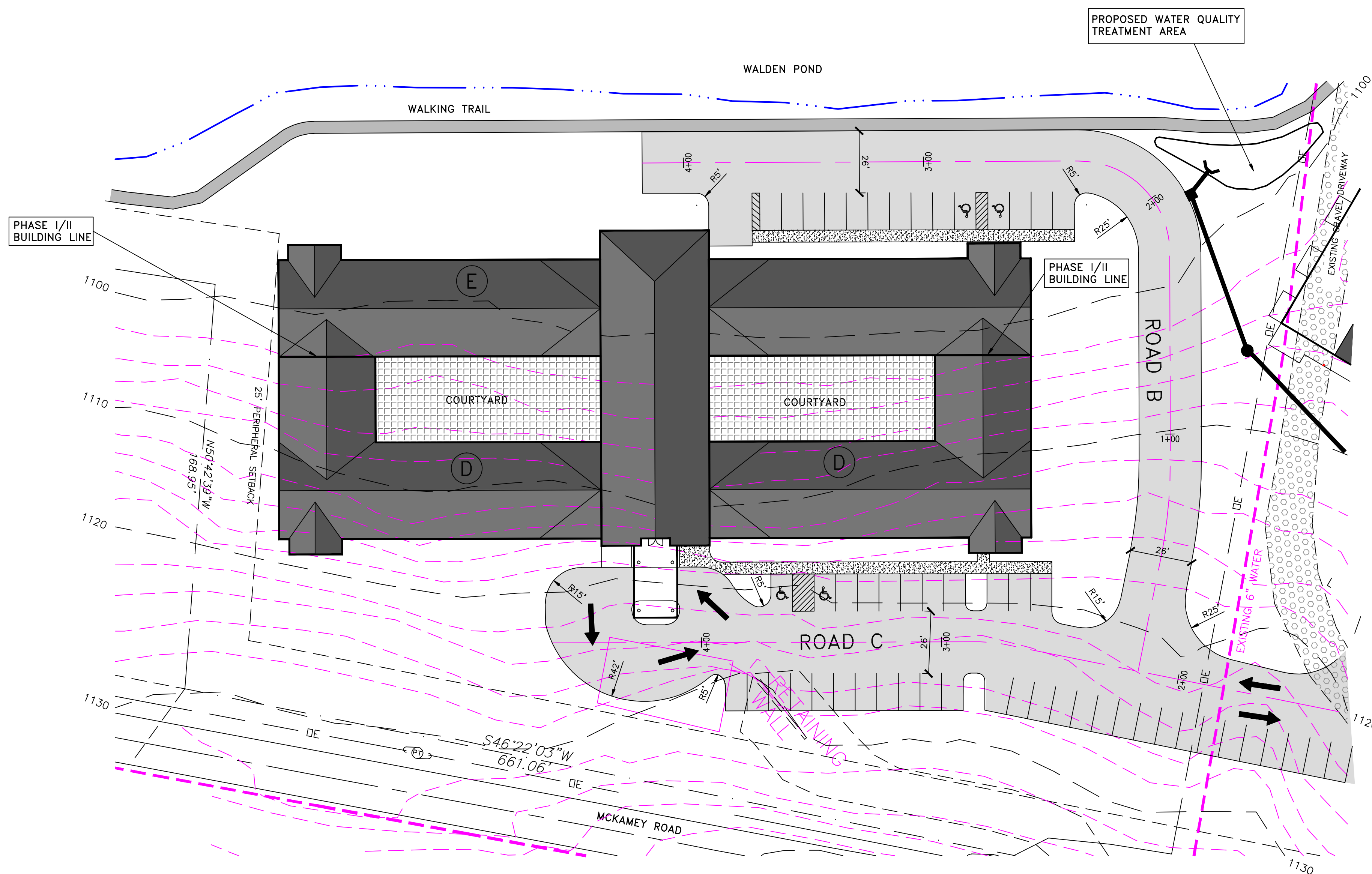
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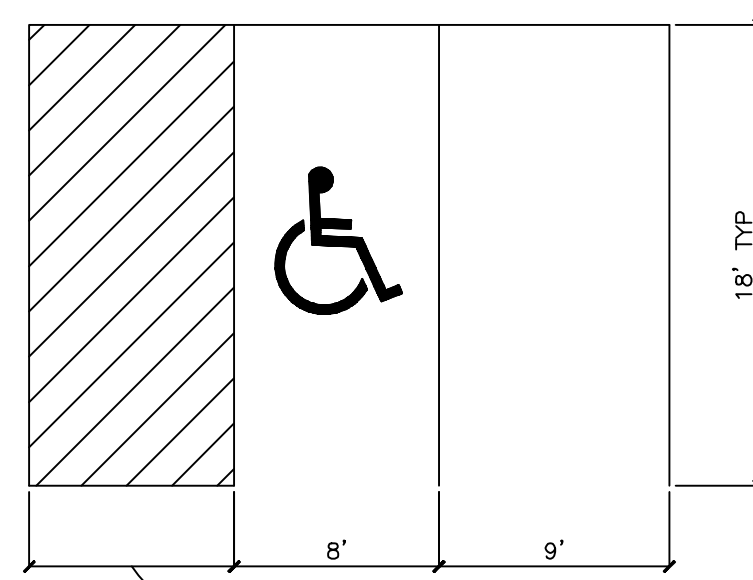
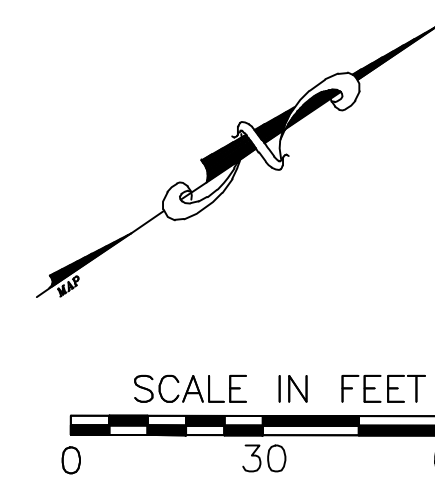
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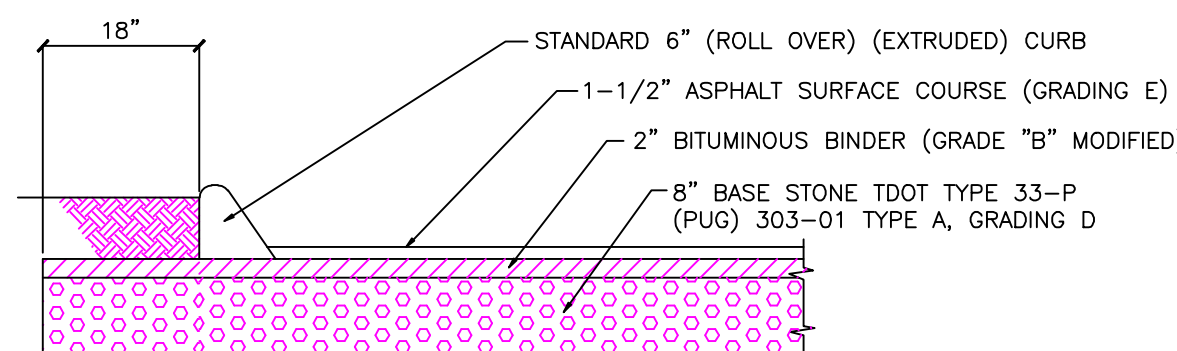


PHASE THREE SITE PLAN
SCALE: 1"=30'

12-C-15-UR
Revised: 11/25/2015



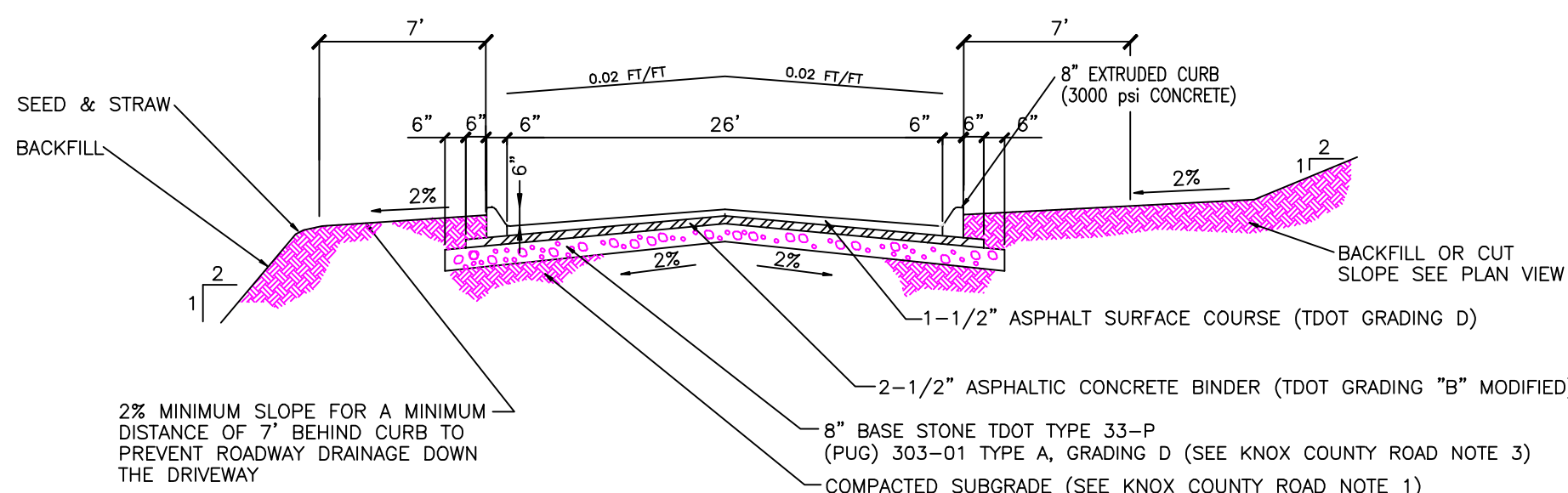
TYPICAL PARKING SPACE DETAILS
NOT TO SCALE



TYPICAL PAVEMENT DETAIL
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KNOX COUNTY ROAD BUILDING REQUIREMENTS

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TYPICAL KNOX COUNTY ROAD CROSS SECTION
NOT TO SCALE

EXISTING CONDITIONS
EXISTING GRAVEL
PROPOSED CONCRETE
PROPOSED ASPHALT



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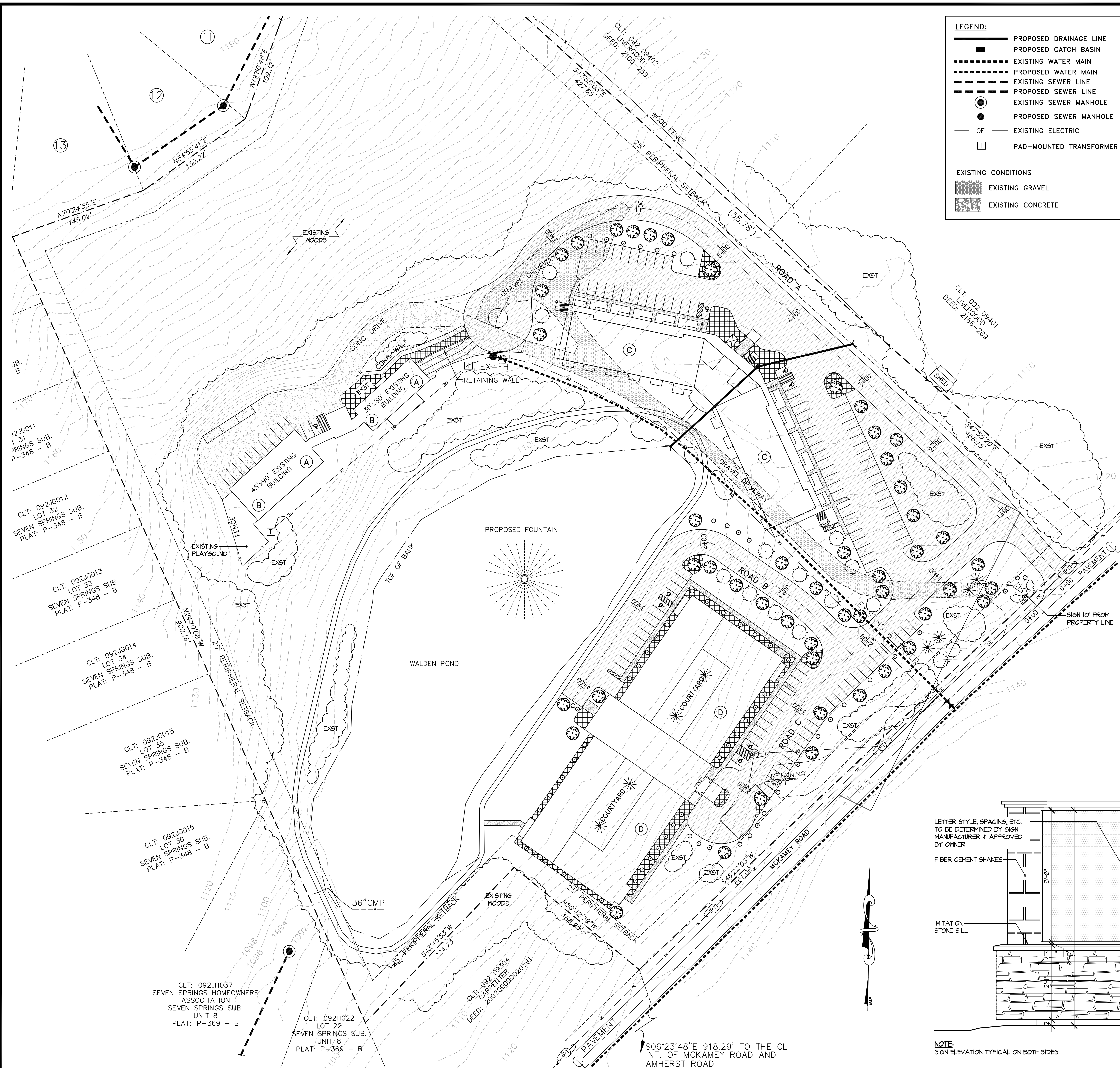
Prepared For:
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12916 Butterfield Lane
Knoxville, Tennessee 37934
(865) 385-0170

Planning Agency:
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400 Main Street, Suite 403
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Knoxville, Tennessee 37922
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MARK	DATE	ISSUE FOR
	10/26/2015	Use on Review

PROJECT #	15078
DRAWN	
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SHEET TITLE	PHASE THREE SITE PLAN
SHEET	FOUR-A
PROJECT NAME	Walden Pond Senior Village



LEGEND:

- PROPOSED DRAINAGE LINE
- PROPOSED CATCH BASIN
- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- EXISTING SEWER LINE
- PROPOSED SEWER LINE
- EXISTING SEWER MANHOLE
- PROPOSED SEWER MANHOLE
- EXISTING ELECTRIC
- OE
- PAD-MOUNTED TRANSFORMER

EXISTING CONDITIONS

- EXISTING GRAVEL
- EXISTING CONCRETE

LANDSCAPE LEGEND

LANDSCAPE BED
(all beds shall have a mix of perennials, small bushes, annuals and ground cover)

EVERGREEN BUSH WITH SEASONAL COLOR - 1 GAL

1. SCHIPKA LAUREL
2. SKY PENCIL HOLLY
3. GLOSSY ALBELIA
4. HELLRA HOLLY
5. CHERRY LAUREL
6. SOFT TOUCH HOLLY
7. OTTO LUTKEN HOLLY
8. N.A.
9. CAMELIA
10. RHODODENDRON
11. WINTER JASMINE

EVERGREEN TREE - 36 GAL

12. NORWAY SPRUCE
13. CANADIAN HEMLOCK
14. LEYLAND CYPRRESS

SMALL ORNAMENTAL DECIDUOUS TREE - 1" CALIPER

15. RED BUD (PURPLE)
16. DOGWOOD
17. JAPANESE MAPLE
18. YOSHINO CHERRY

DECIDUOUS BUSH WITH COLOR - 1 GAL

19. GOLDEN MOY
20. NANDINA
21. FORSYTHIA
22. KNOCKOUT ROSE

DECIDUOUS TREE GROWN TO BE LARGE - 2" CALIPER

23. RIVER BIRCH
24. RED MAPLE
25. YELLOW MAPLE

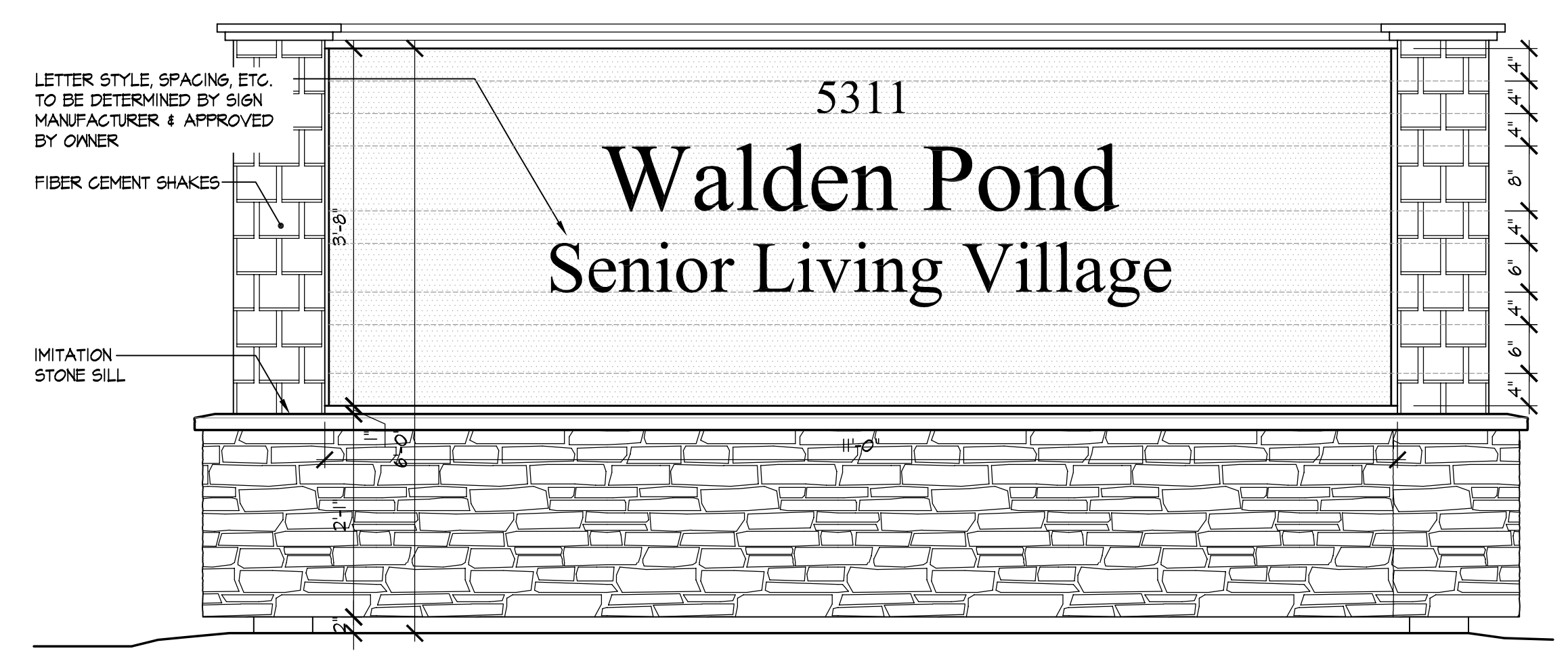
PERENNIALS - GROUND COVER

26. LIRIOPE BI BLUE-STAR
27. JAPANESE WATER IRIS-BULBS
28. SEA GREEN JUNIPER-QT.
29. VINCA MINOR-STAR
30. PURPLE WINTER CREEPER-STAR
31. LENTEN ROSE - 1 GAL
32. MISCANTHUS GRASS
33. DAY LILIES
34. CREEPING ST JOHN'S WORT

EXISTING WOODS SHALL BE RETAINED AS MUCH AS POSSIBLE

ALL NON-LANDSCAPE GROUND SHALL BE GRASS AND STRAWED

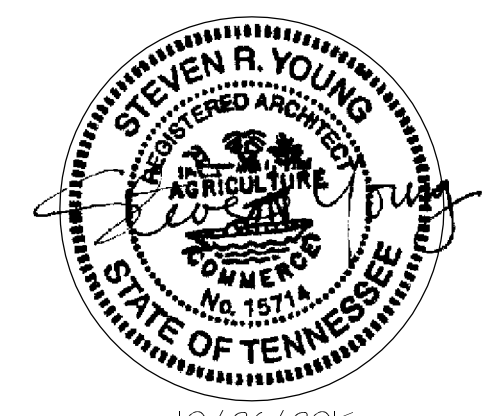
12-C-15-UR
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NOTE:
SIGN ELEVATION TYPICAL ON BOTH SIDES

2 Entry Sign - Elevation
SCALE: 3/4" = 1'-0"

1 Landscape Plan
SCALE: 1" = 50'-0"



10/26/2015

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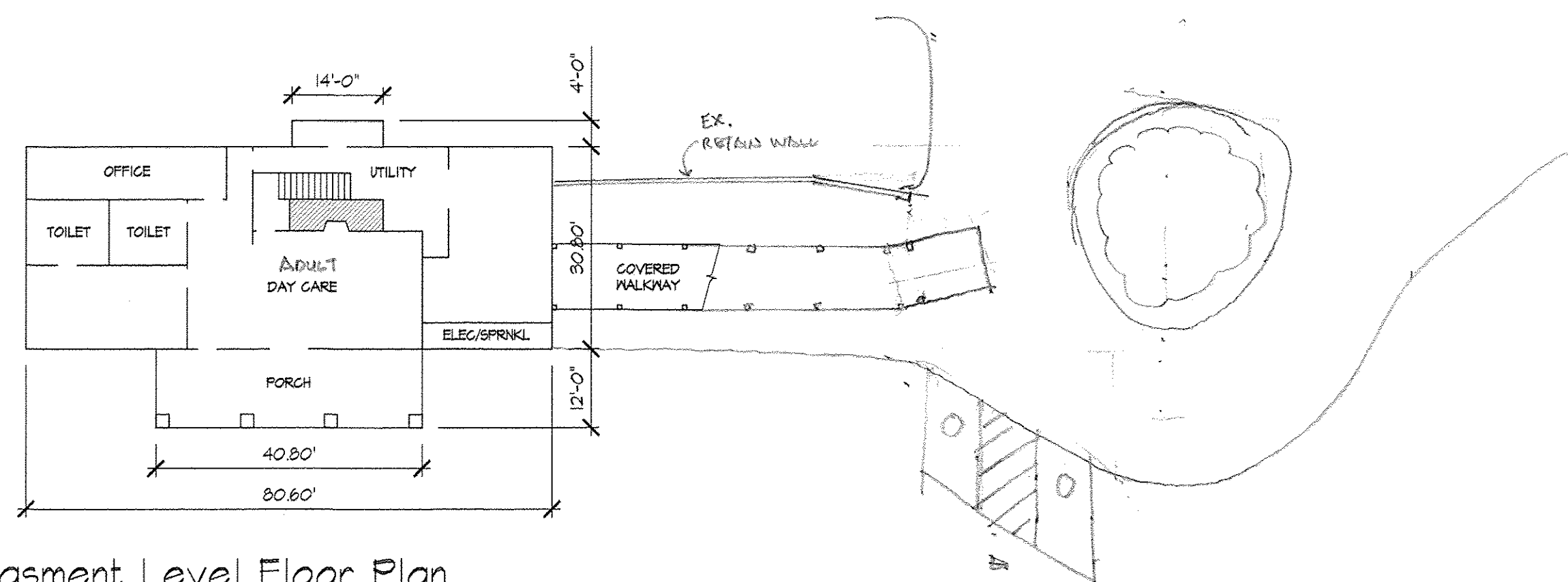
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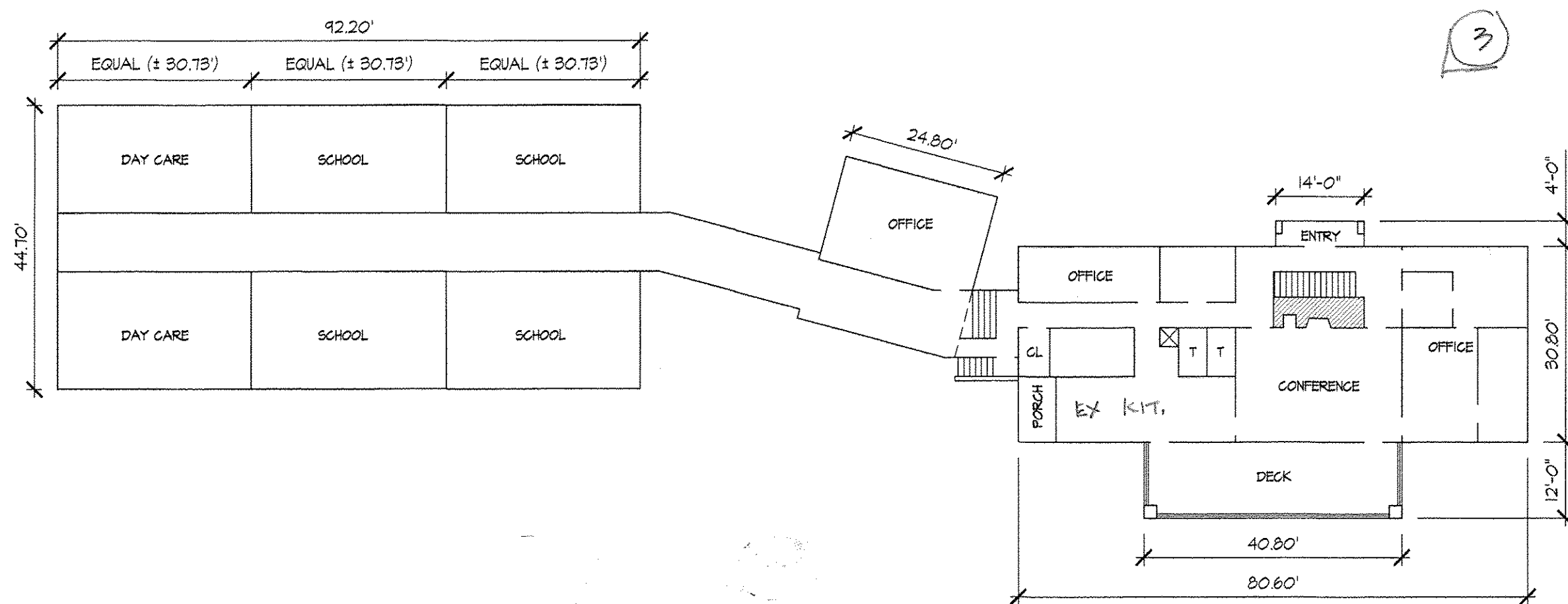
Walden Pond Senior Village

5311 McKamey Road
Knoxville, TN 37921

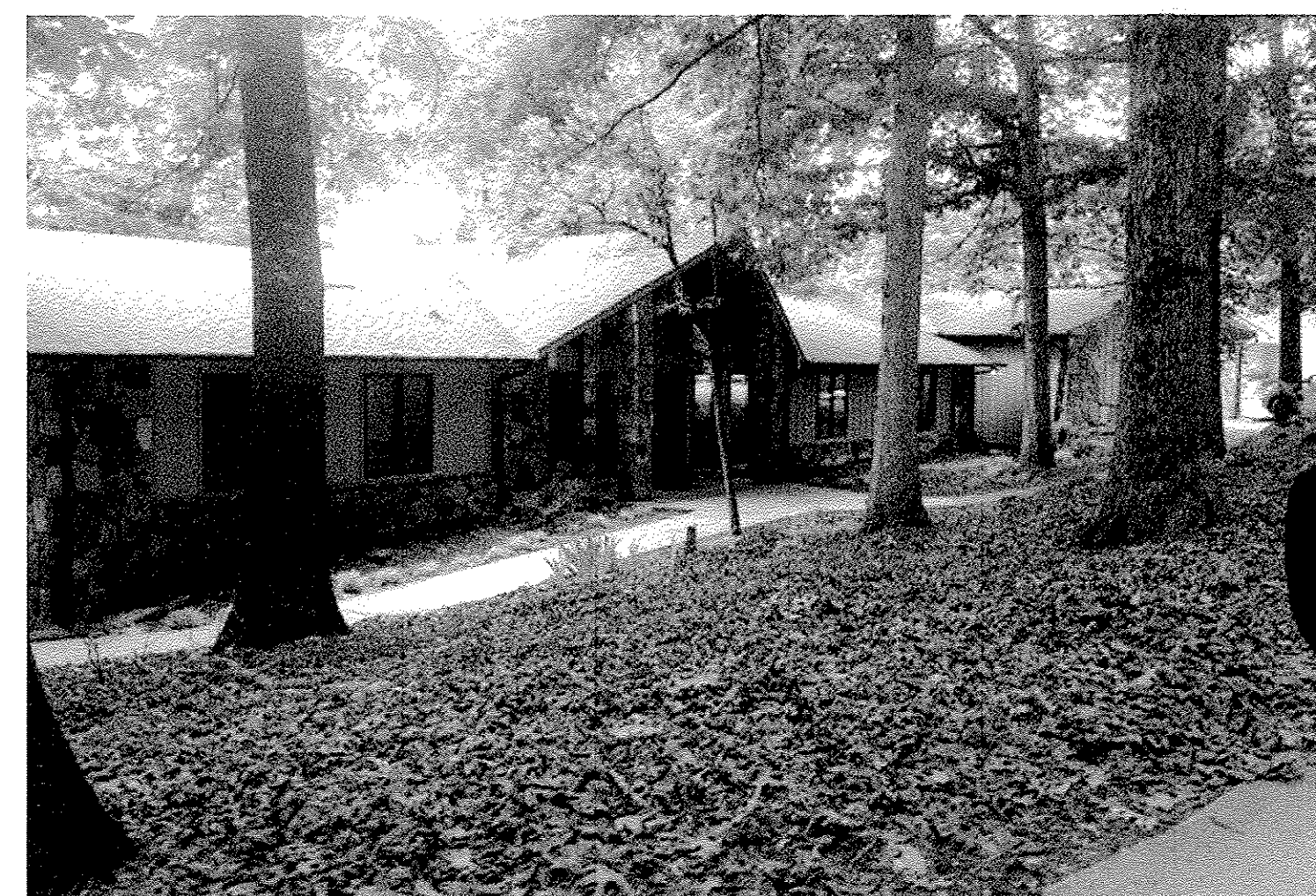
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	10/26/2015	Use on Review
PROJECT # 15076		
DRAWN SRY/GAC		
CHECKED		
SHEET TITLE		
PROPOSED LANDSCAPE PLAN		
SHEET		
SIX		
PROJECT NAME		
Walden Pond Senior Village		



2 Basement Level Floor Plan
SCALE: 1" = 20'-0"
(CONVERT CHILD DAY CARE TO
ADULT DAY CARE @ LOWER LEVEL)



1 Main Level Floor Plan
SCALE: 1" = 20'-0"

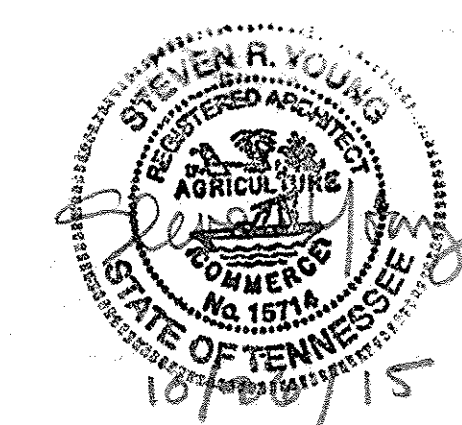


3 Building Elevation
SCALE: nts



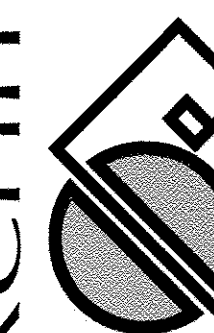
4 Building Elevation
SCALE: nts

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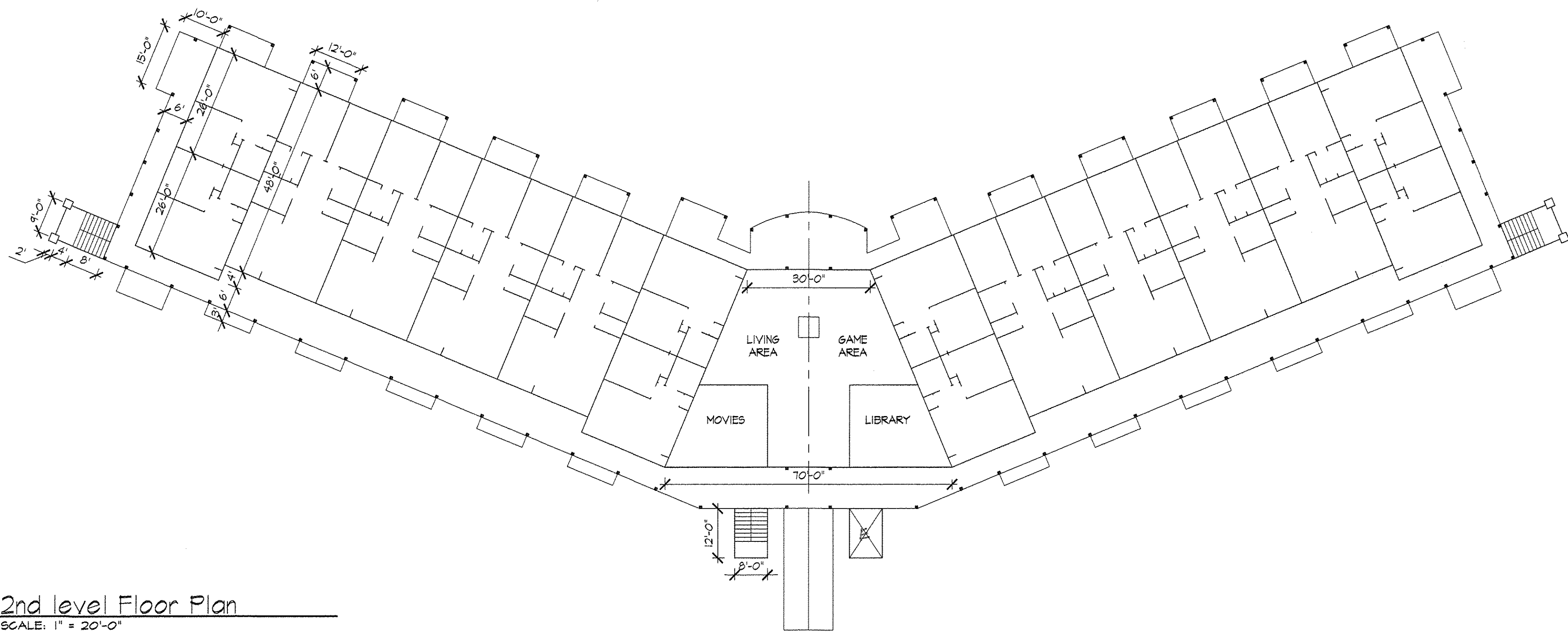
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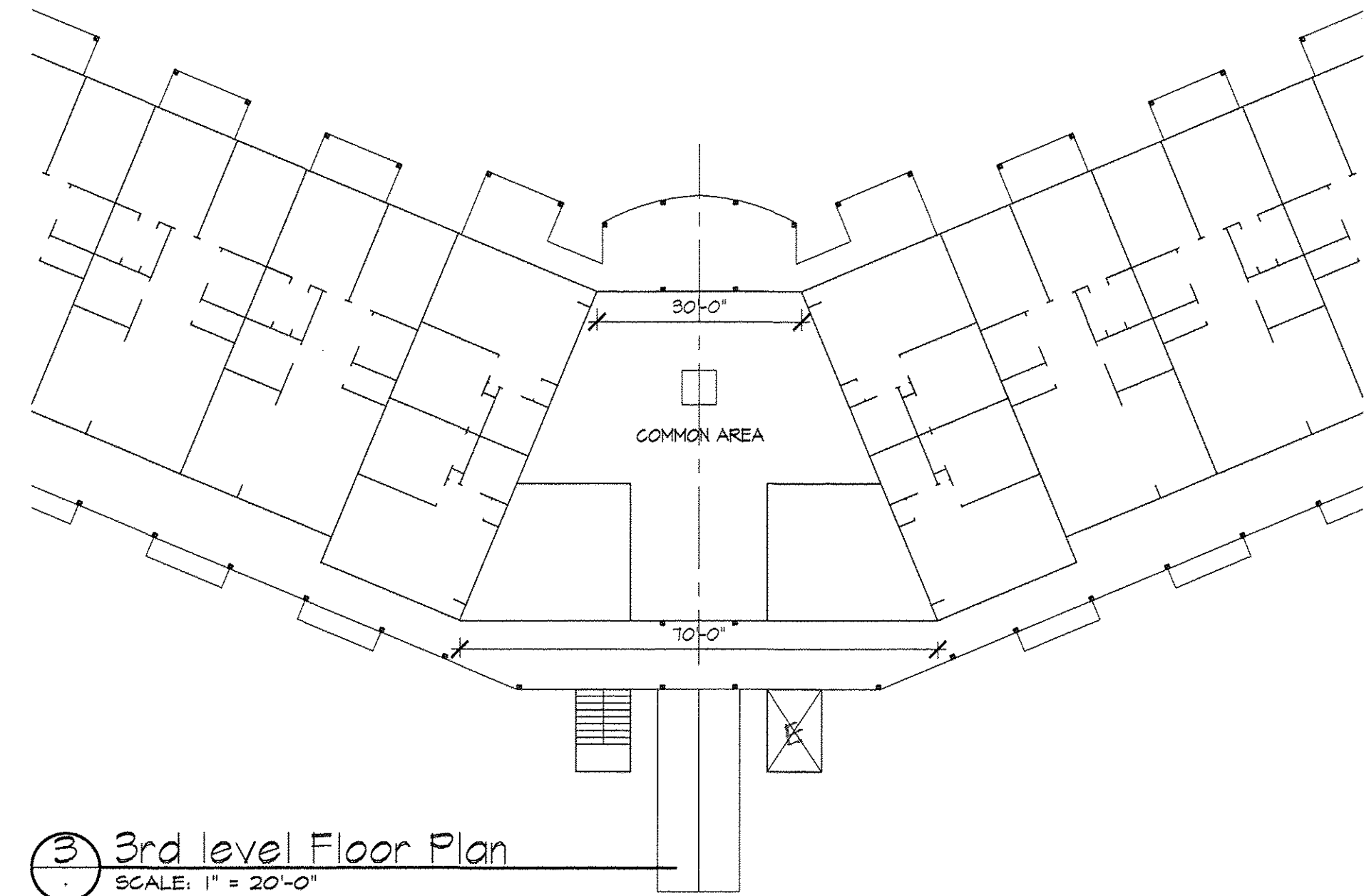
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	10/26/2015	Issue for Review
		Use as Revised

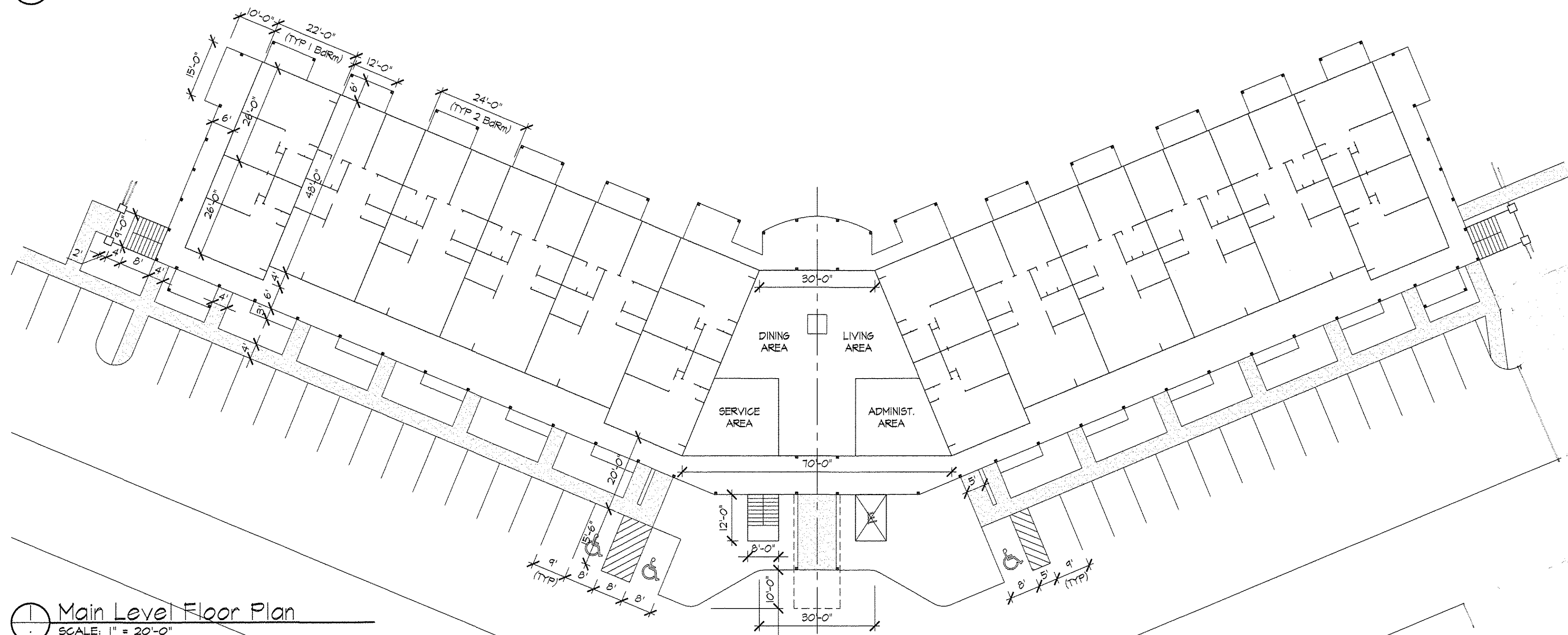
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DRAWN	GC ORY
CHECKED	GC ORY
SHEET TITLE	EXISTING BUILDING DAY CARE, SCHOOL ADULT DAY CARE CHN.
SHEET	PHASE I TWO - B
PROJECT NAME	Walden Pond Senior Village



② 2nd level Floor Plan
SCALE: 1" = 20'-0"



③ 3rd level Floor Plan
SCALE: 1" = 20'-0"
SIMILAR TO 2nd FLOOR PLAN

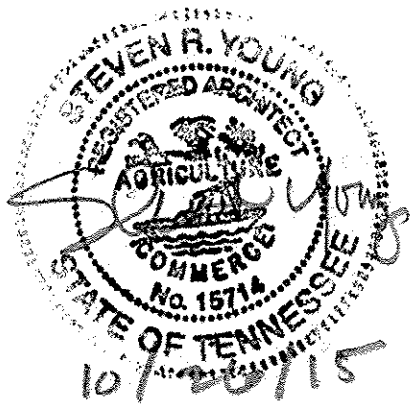


① Main Level Floor Plan
SCALE: 1" = 20'-0"



④ Front Elevation
SCALE: 1" = 20'-0"

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Revised: 11/25/2015



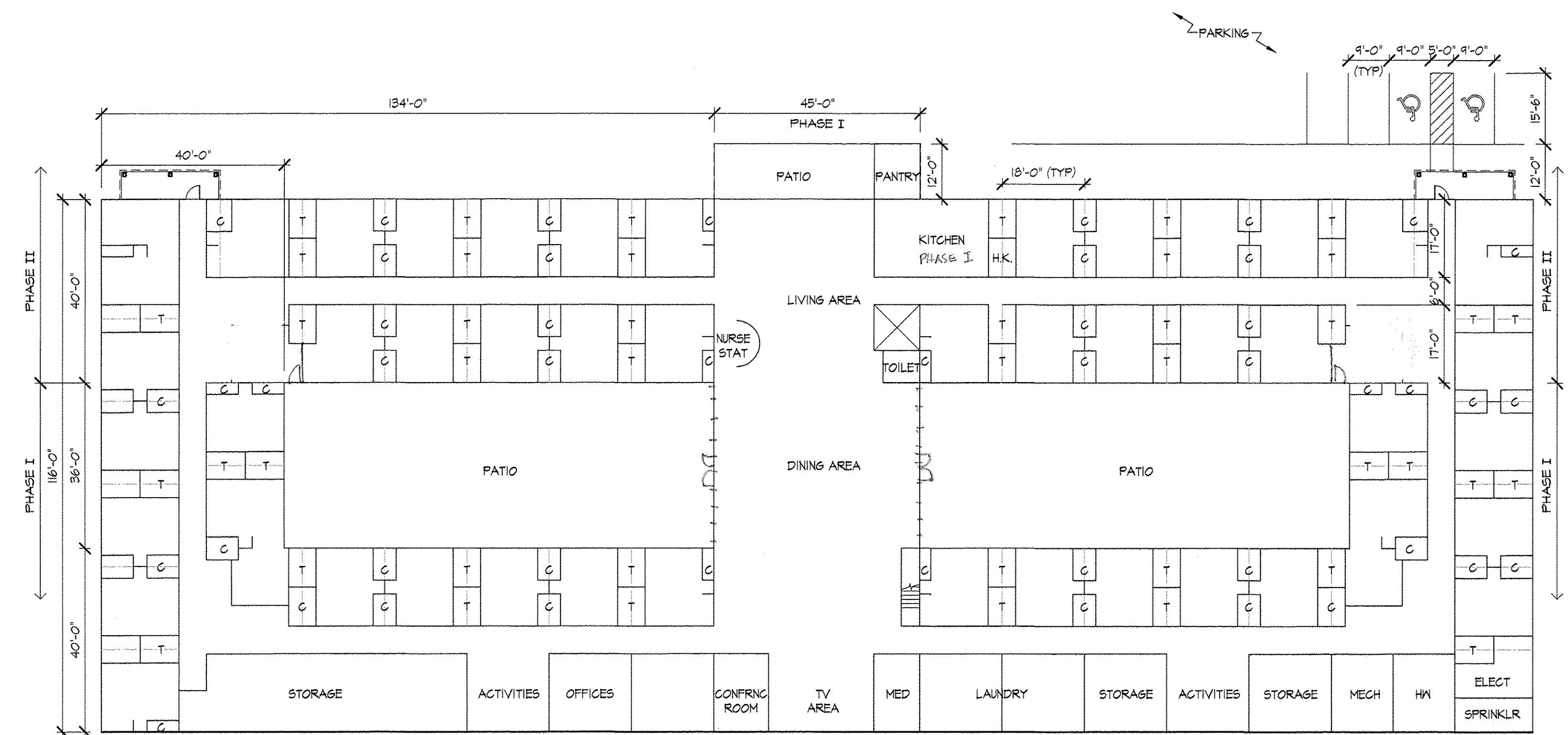
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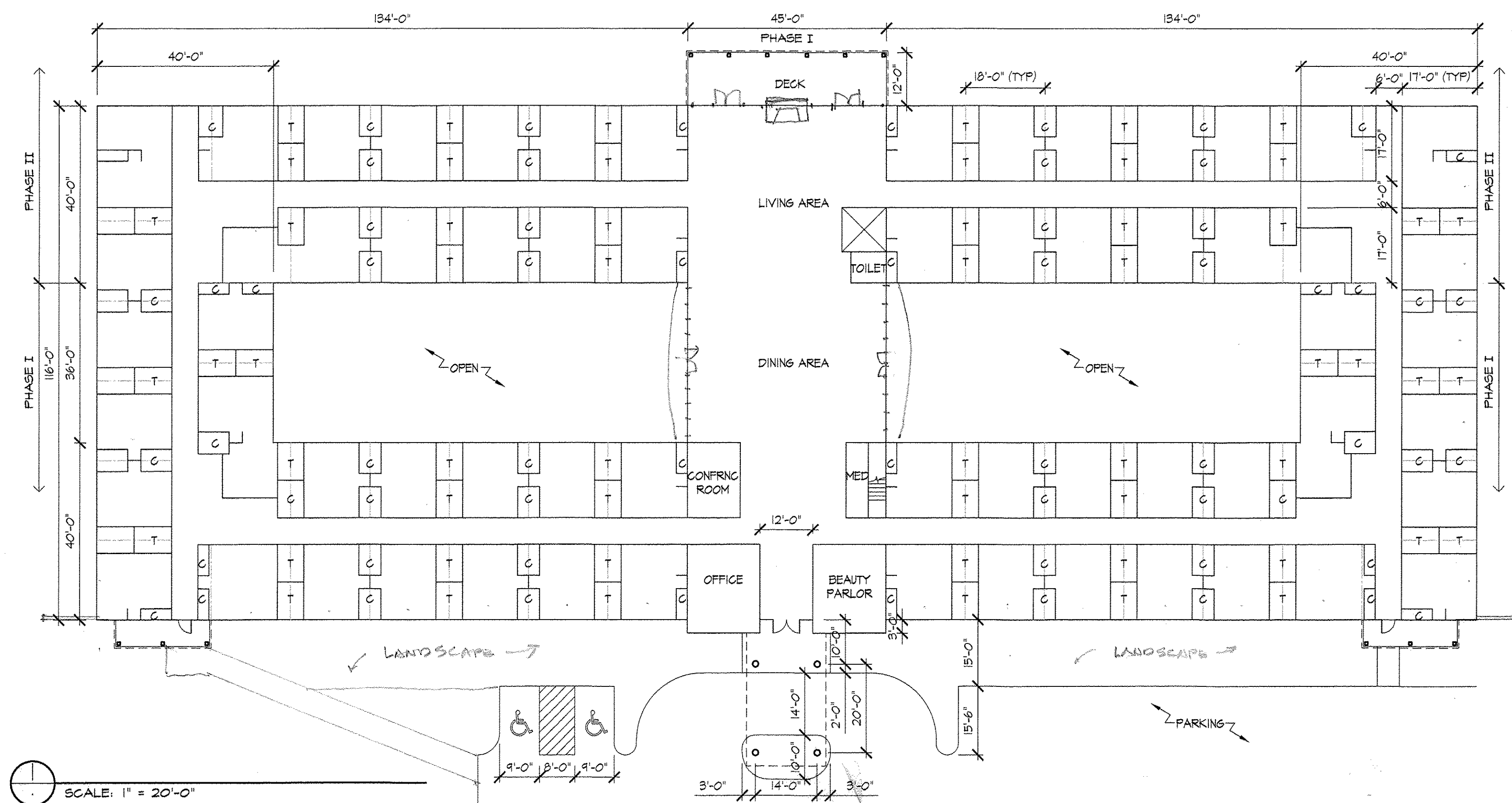
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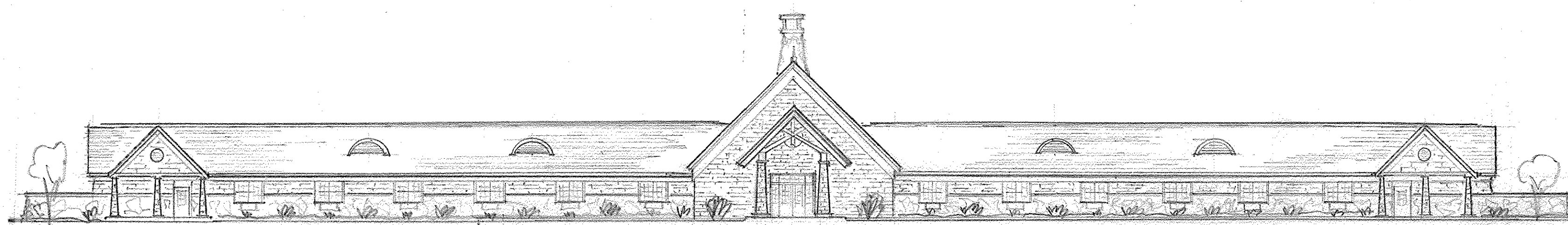
PROJECT #	15076
DRAWN	GL MEY
CHECKED	MEY
SHEET TITLE	INDEPENDENT LIVING - PHASE II
SHEET	THREE - D
PROJECT NAME	Walden Pond Senior Village



2 SCALE: 1" = 20'-0"



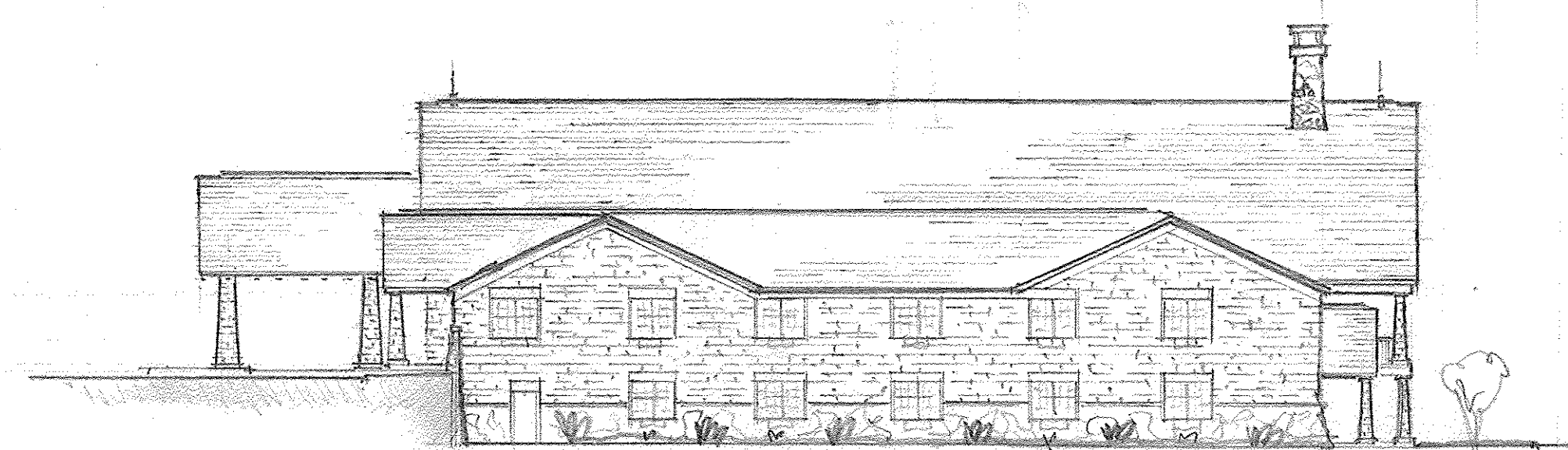
1 SCALE: 1" = 20'-0"



FRONT ELEVATION

1" = 20'

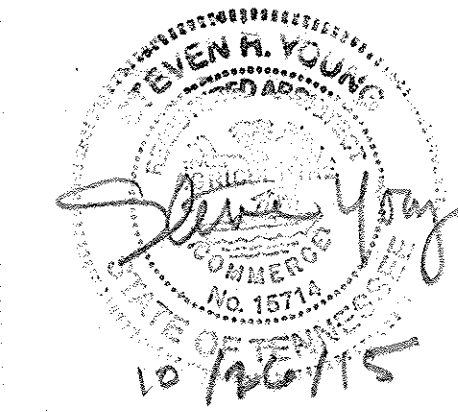
3 SCALE:



SIDE ELEVATION

1" = 20'

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PROJECT #	15076
DRAWN	GC, SR
CHECKED	
SHEET TITLE	ASSISTED LIVING - PHASE III
SHEET	FOUR
PROJECT NAME	Walden Pond Senior Village