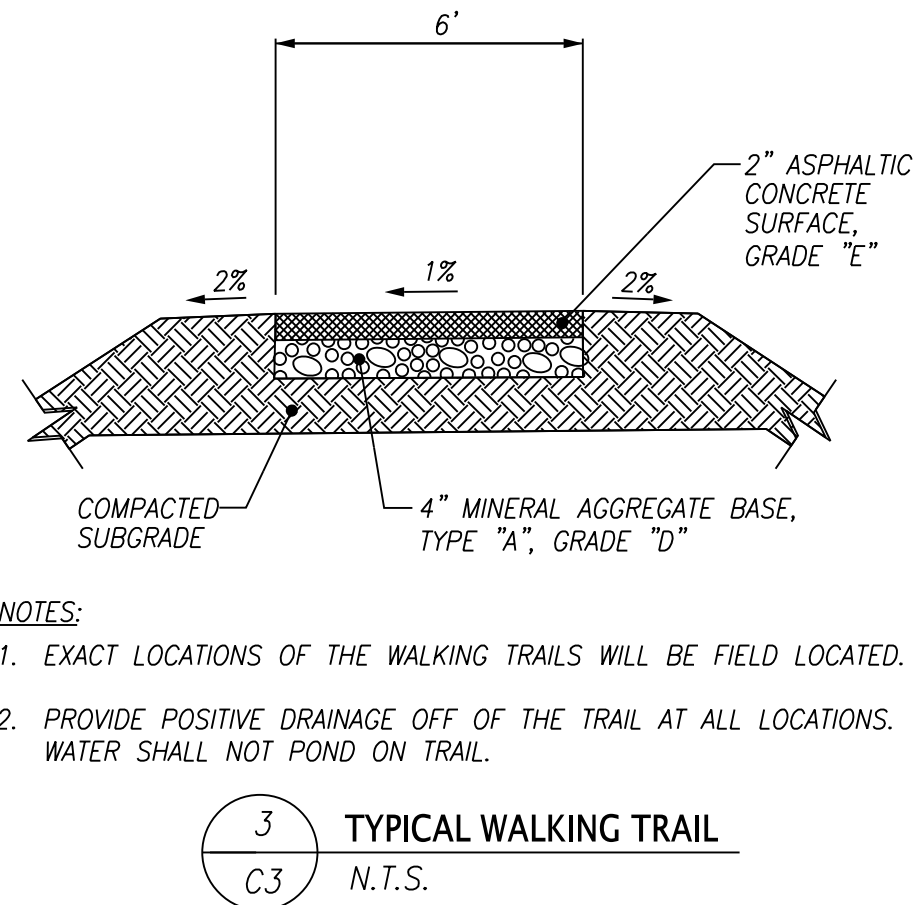
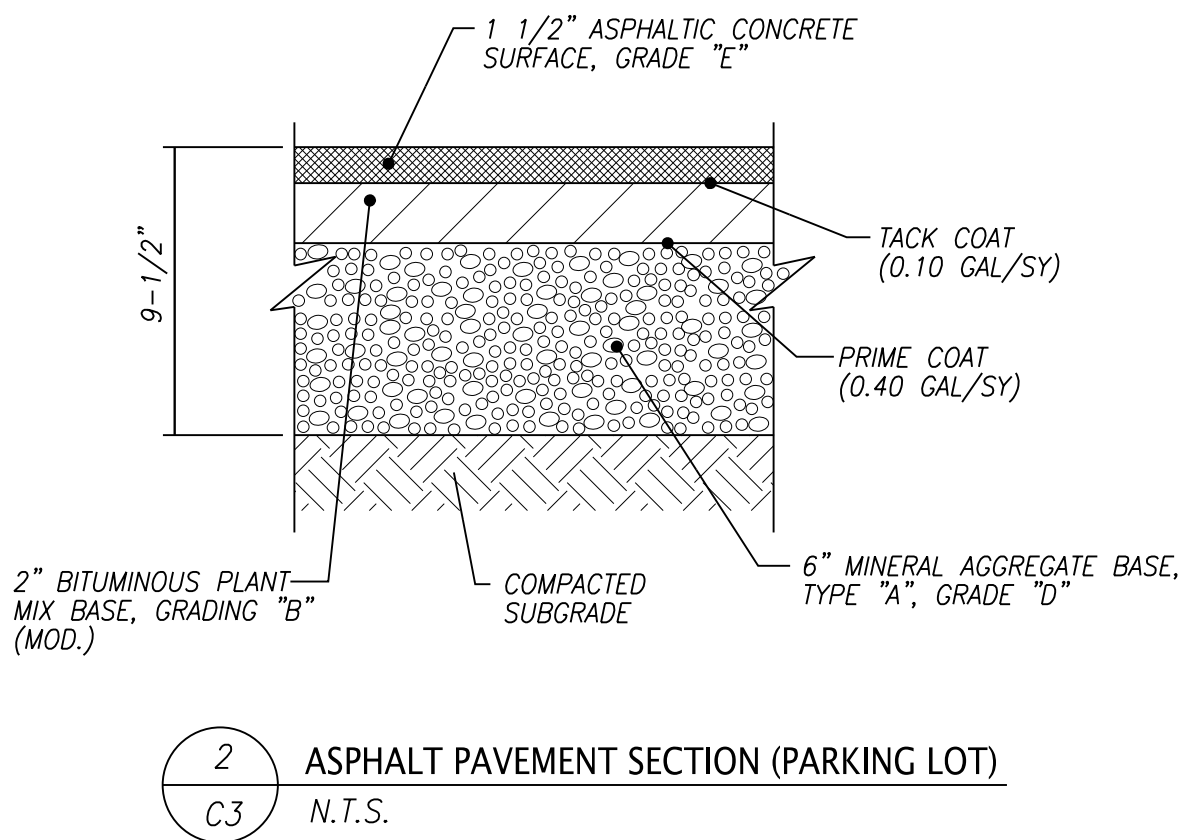
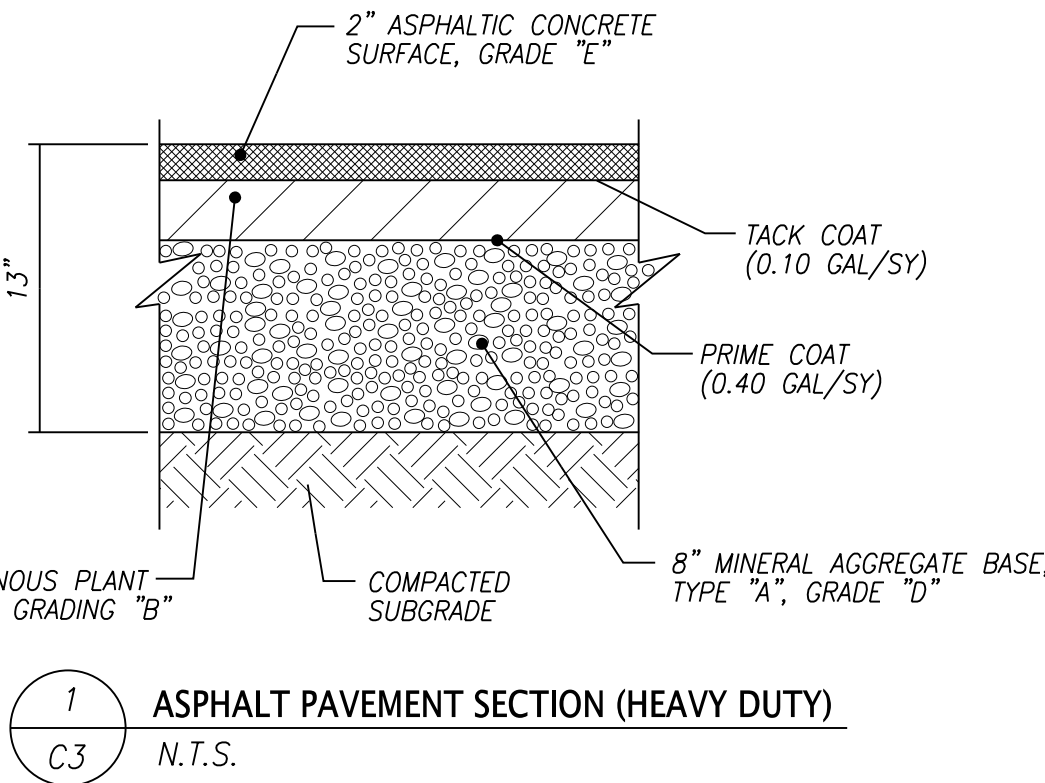


- NOTES:**
- THE TOPOGRAPHIC AND BOUNDARY DATA WAS PROVIDED BY BENCHMARK ASSOCIATES, DATED OCTOBER 2, 2017.
 - UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN FROM THE FENCE LINE, PROPERTY LINE, FACE OF CURB, EDGE OF PAVEMENT OR OUTSIDE FACE OF BUILDING.
 - THE MINERAL AGGREGATE BASE AND ASPHALTIC SURFACE COURSES SHALL MEET THE MATERIALS, EQUIPMENT, CONSTRUCTION, AND TESTING REQUIREMENTS OF THE KNOX COUNTY DEPARTMENT OF ENGINEERING STANDARD SPECIFICATIONS.
 - TRAFFIC CONTROL DEVICES AND PAVEMENT MARKINGS SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
 - PROPERTY CONCERNED REFLECTS PARCELS 162MB00104, 162MB00105, AND 162MB00107, IN KNOX COUNTY CLT MAP 162-M. ZONING FOR THE PROPERTY IS CN, NEIGHBORHOOD COMMERCIAL ZONE, DISTRICT W6. TOTAL AREA = 7.31± AC.
OWNER: MARKETS AT CHOTO, LLC
213 FOX ROAD
KNOXVILLE, TN 37922
CONTACT: MR. JOHN HUBER
PHONE: 865.966.1600
 - BUILDING SETBACKS ARE 35-FT. FRONT, 20-FT. ON SIDE, AND 25-FT. REAR.



- NOTES:**
- EXACT LOCATIONS OF THE WALKING TRAILS WILL BE FIELD LOCATED.
 - PROVIDE POSITIVE DRAINAGE OFF OF THE TRAIL AT ALL LOCATIONS. WATER SHALL NOT POND ON TRAIL.

12-C-17-UR

LEGEND:

[Symbol]	ASPHALT PAVEMENT (STANDARD)
[Symbol]	ASPHALT PAVEMENT (HEAVY)
[Symbol]	TRAIL PAVEMENT
[Symbol]	STREAM BUFFER AREA (AVERAGED)
[Symbol]	PROPERTY LINE
[Symbol]	PROPERTY SETBACK
[Symbol]	BUFFER AREA
[Symbol]	PROPOSED SECURITY FENCE
[Symbol]	PROPOSED LANDSCAPING
[Symbol]	EXISTING/PROPOSED BUFFER
[Symbol]	EXISTING UTILITY POLE
[Symbol]	EXISTING FENCE
[Symbol]	EXISTING OVERHEAD UTILITY

PRELIMINARY
NOT FOR
CONSTRUCTION

THE MARKETS AT CHOTO
NORTHSHORE DR @ CHOTO RD
KNOX COUNTY, TENNESSEE

HUBER PROPERTIES LLC
213 FOX ROAD, SUITE 100
KNOXVILLE, TN 37922
CONTACT: MR. JOHN HUBER
TELEPHONE NO.: 865.966.1600
EMAIL: john@southernsignature.net

USE ON REVIEW
SITE PLAN

PROJ. NO.	DESIGNED BY	DRAWN BY	DATE
290.006.5	WCF	ADC	10/25/17
10/25/17	Revision/Issue	No.	Date
10/25/17	1		
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