

BRUMIT RESIDENCE

CONSTRUCTION DOCUMENTS

BRUMIT RESIDENCE

Northshore Town Center - Lot 164 R

12-C-22-SU
10/25/2022



WALL LEGEND	SQUARE FOOTAGE CALCULATIONS	SHEET INDEX
<div><div></div>8" C.M.U. WALL</div> <div><div></div>TYPICAL WALL</div> <div><div></div>LOAD BEARING WALL</div> <div><div></div>BRICK VENEER</div>	<div>CONDITIONED: MAIN LEVEL - 1,825</div> <div>UPPER LEVEL - 2,073</div> <div>ROOF LEVEL - 525</div> <div>GUEST SUITE - 398</div> <div>TOTAL: 4,821</div> <div>UNCONDITIONED: GARAGE - 845</div> <div>PORCHES - 437</div>	<div>A.0 COVER SHEET</div> <div>A.1 FOUNDATION</div> <div>A.2 FIRST FLOOR</div> <div>A.3 UPPER FLOORS</div> <div>A.4 ROOF & DETAILS</div> <div>A.5 ELEVATIONS</div> <div>A.6 ELEVATIONS</div> <div>A.7 SECTIONS</div>

NOTES	
<div><div>Applicable Codes: 2018 International Residential Code</div><div>General Notes:</div><div>1. The information contained within these construction documents shows design intent and basic framing details and does not show construction means or methods which are the sole responsibility of the contractor. It is the contractor's responsibility to utilize standard construction detailing and practices that will provide a well-crafted, structurally sound and weatherproof finished product. The contractor shall verify all dimensions and site conditions before starting work.</div><div>2. It is the contractor's responsibility to ensure that all work is in strict accordance with the latest edition of all applicable national, state and local building codes and construction standards.</div><div>3. It is the contractor's responsibility to ensure that all building materials and equipment are installed according to the manufacturer's directions. Contractor shall follow all instructions to maintain warranties supplied by manufacturer.</div><div>4. It is the contractor's responsibility to verify all plan dimensions and details with respect to site conditions and final selection of building materials (which may change details and/or plan dimensions). Consult architect when in doubt.</div></div> <div><div>Foundation Notes:</div><div>1. Provide Simpson mudsill anchors per code (maximum 72" o.c., unless noted otherwise) <i>Where crawl space is indicated:</i></div><div>2. Provide crawl space access door & hardware per code</div><div>3. Crawl space to be min 42" high unless otherwise noted. Crawl space shall be graded and have min. 6 mil vapor barrier. Seal and tape all joints and seal to foundation walls with manufacturer recommended sealant.</div><div>4. Crawl space shall be vented with HVAC unit or foundation vents as required by the IRC. Check plan for specification. <i>Where slab on grade is indicated:</i></div><div>5. Slab to be minimum 4" thick, 3000 psi, fiber-mesh reinforced concrete slab on minimum 4" crushed stone (#57). Provide joints as required.</div><div>6. Radon Control System: When slab is under living space: provide sub-slab radon control system. Extend pipe to minimum 12" above the roof and comply with IRC Appendix F, Section 103.6.1. Install multiple vent pipes per 103.6.2 where required.</div><div>7. Foundation wall exterior shall be waterproofed w/ Grace "Bituthene 3000" or equal</div><div>8. Slotted perimeter drain shall be installed on top of footing at exterior side of foundation</div><div>9. All lumber in contact with masonry to be pressure treated</div><div>10. Provide frost-proof hose bibs as directed by contractor</div></div> <div><div>Typical Foundation Wall:</div><div>1. Typical foundation wall to consist of an 8" concrete wall. Provide brick ledge below grade level. Wall at brick ledge and below will be 12" thick.</div><div>2. Typical footing under foundation wall to be a continuous concrete footing with compressive strength of minimum 3,000psi tested at 28 days. Check plan and details for footing size and reinforcing.</div></div> <div><div>Typical Fireplace Footing:</div><div>1. Footings under masonry fireplace and chimney to extend a minimum of 1'-0" past face of foundation wall and are to be a minimum of 1'-0" deep. Reinforce the footing with #5, 8" o.c. each way. Site conditions may require a more extensive footing. Contractor is responsible for determining capacity of soil and other site conditions.</div></div> <div><div>Floor Plan Notes:</div><div>1. Do not scale drawings. Calculate any necessary dimensions and call the architect for clarification if required. Contractor to verify all dimensions and conditions at job site.</div><div>2. Dimensions: at perimeter of house dimensions are to frame-line (defined as exterior face of OSB sheathing, concrete wall, or CMU wall), dimensions to windows and doors are to centerline of rough opening, all other dimensions are to face of stud, concrete wall, or CMU wall, unless otherwise noted.</div><div>3. Window sizes indicated on plans are generic sash sizes. Consult manufacturer for rough opening dimensions.</div><div>4. Refer to plans and exterior elevations for window types. Coordinate operability of windows and direction of casement swing with owner.</div><div>5. Prefabricated fireplaces and flues shall be UL approved and installed per manufacturer's specifications. It is the contractor's responsibility to assure that all applicable fire and building codes are met or exceeded.</div><div>6. Moisture resistance gypsum board shall be used in bathrooms and other rooms where water fixtures or water is present.</div><div>7. Contractor to center plumbing fixtures in space provided unless noted otherwise.</div><div>8. Contractor to provide termite shield consisting of continuous metal flashing epoxy-sealed to concrete foundation; joints in flashing to be epoxy sealed or soldered.</div><div>9. Provide minimum 1/2" gypsum board at all walls separating garages from dwelling</div><div>10. Provide minimum 5/8" type-x gypsum board at all garage ceilings with living space above.</div><div>11. Provide outdoor combustion air to wood burning fireplaces per 2018 IRC N1102.4.2</div></div> <div><div>Door and Window Notes:</div><div>1. Contractor to verify all door and window dimensions prior to placing order.</div><div>2. All required egress windows shall meet national and local codes to ensure the safety of occupants.</div><div>3. Windows with sills less than 24" from floor and more than 72" from grade or other exterior surface shall be provided with fall prevention devices acceptable to R312.2.2</div><div>4. All doors and windows shall be sealed top sides and bottom per current best construction practices and shall operate smoothly.</div><div>5. Install weather-stripping and weather sweeps on all doors leading to unconditioned areas. All operable windows shall be factory weather stripped.</div><div>6. Provide self-closing door between residence and garage (R302.5.1)</div></div> <div><div>Electrical, Lighting, Audio/Visual, Communications</div><div>1. All electrical land lighting locations shall be marked by the builder (on floor or wall) and approved by the owner prior to installation of wiring or fixtures.</div><div>2. Contractor shall make the necessary allowances for wiring of audio-visual, communication and security systems.</div></div>	<div><div>Wood Framing Notes:</div><div>1. The design, adequacy and safety of erection bracing, shoring, etc., is the sole responsibility of the Contractor. Walls which support joists, rafters, etc., and are laterally supported by same shall be braced until all construction is completed.</div><div>2. All framing lumber to be #2 Southern Pine KD, unless noted otherwise. Minimum bending strength to be as per SPIB grading rules. All wall studs to be #2 spruce - minimum bending strength to be 1,000 psi.</div><div>3. Contractor shall use "Simpson Strong-Tie" (or equivalent) wood framing anchors, connectors, hangers, etc. for all wood to wood connections. All anchors, etc. to be installed in accordance with manufacturer's specifications.</div><div>4. Floor sheathing to be 3/4" T&G plywood or Advantech Sheathing or equal.</div><div>5. Roof sheathing to be 5/8" exterior grade plywood. Install using clips and space joints as recommended by APA standards.</div><div>6. Unless noted otherwise on plans, headers to be as follows:<div>Up to 6'-0": (2) 2x8</div><div>6'-0" to 7'-0": (2) 2x10</div><div>Over 7'-0": (2) 2x12</div></div></div> <div>7. Cutting, notching, bored holes in stud walls, rafters, etc. shall be done in accordance with International Building Code.</div> <div>8. Ridge boards, where indicated on framing plans shall not be less than 1" in thickness, and not less in depth than cut end of rafters. Rafters shall be placed directly opposite each other and nailed to ridge board.</div> <div>9. All wood built-up girders, beams, studs to sole plate, etc., to be connected as per International Building Code Fastening Schedule.</div> <div>10. At openings in exterior walls, a wall stud shall be at each side of the opening, with the ends of the header supported as follows, unless noted otherwise:<div>a. For openings less than 3'-0" in width, each end of header shall rest on a single header stud or may be supported by framing anchors attached to wall stud.</div><div>b. For openings over 3'-0" to less than 6'-0", each end shall bear on single header stud.</div><div>c. For openings more than 6'-0", in width, each end shall bear on double header stud.</div><div>d. Any header supporting concentrated loads from beams above, each end shall bear on double header stud.</div></div>

11. Where wood beams bear on stud walls, provide minimum, double or triple stud (depending on beam width) under beam bearing.

12. Use double floor joists under walls parallel to joists, or block between joists accordingly.

13. Align floor joists with wall studs where possible.

14. All wood in contact with concrete or concrete block units shall be pressure treated

15. Provide continuous 24ga. galvanized metal sheets separating all wood surfaces from earth or gravel fill.

16. All brick to be supported by triple rafters and brick lintel.

17. Where provided, framing design is based on the following general conditions:

a. Roof live load 20lb./s.f.

b. Roof dead load 24lb./s.f.

c. Floor live loads 40lb./s.f. (bedrooms 30lb./s.f.)

d. Floor live loads 60lb./s.f. at deck

e. Floor dead loads at hardwood and carpet 15lb./s.f.

f. Floor dead loads at tile 35lb./s.f.

Insulation Notes:

1. Insulation at the perimeter of all conditioned space shall be as follows:

Attic – R-49 loose fill fiberglass insulation

Vaulted Ceiling – R-30 fiberglass batt insulation in framing cavity. Provide baffles for ventilation as required by roof configuration. Extend batt to outer edge of wall plate, do not compress. Maximum 500 sqft. or 20% of total insulated ceiling area.

Exterior Wood Framed Walls – R-20 fiberglass batt insulation in wall cavity

Floor Over Unconditioned Space – R-19 batt insulation between framing members

Basement Wall (Concrete or CMU) – R-13 fiberglass batt insulation in wall cavity of minimum 2x4 firing installed at interior of masonry foundation wall -OR- R-10 continuous rigid foam at interior or exterior.

Crawl Space Wall (in case of encapsulated crawl) – R-10 rigid foam insulation at interior of crawl space wall

Slab on Grade – R-10 rigid insulation to begin at top of slab, inside foundation wall (45 degree cut at top edge) and extend under slab for total combined horizontal and vertical distance of 2'.

Roof Notes:

1. Refer to elevations for downspout and gutter locations when supplied.

2. Install all roofing materials per manufacturer recommendations and instructions to maintain the specified warranty or guarantee.

3. Provide flashing per construction details or per SMACNA if none are shown.

4. All attics shall be ventilated per local building codes.

5. Typical soffit vent shall be 2" continuous aluminum soffit vent by Air Vent Inc. or equal.

6. See details for typical eave and rake overhang.

8. Typical roof section:

a. Shingles as selected by owner

b. 15 lb. felt

c. *option 1:* 2x rafters @ 16" o.c. with 7/16" OSB sheathing w/ ply clips

option 2: 2x rafters @ 24" o.c. with 5/8" OSB sheathing w/ ply clips

d. Batt insulation per code

e. 1/2" gypsum board with smooth finish

Elevation Notes:

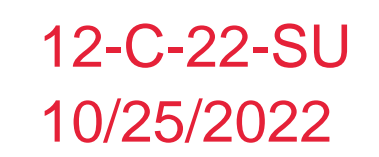
1. Do not scale drawings. Calculate any necessary dimensions and call the architect for clarification if required. Contractor to verify all dimensions and conditions at jobsite.

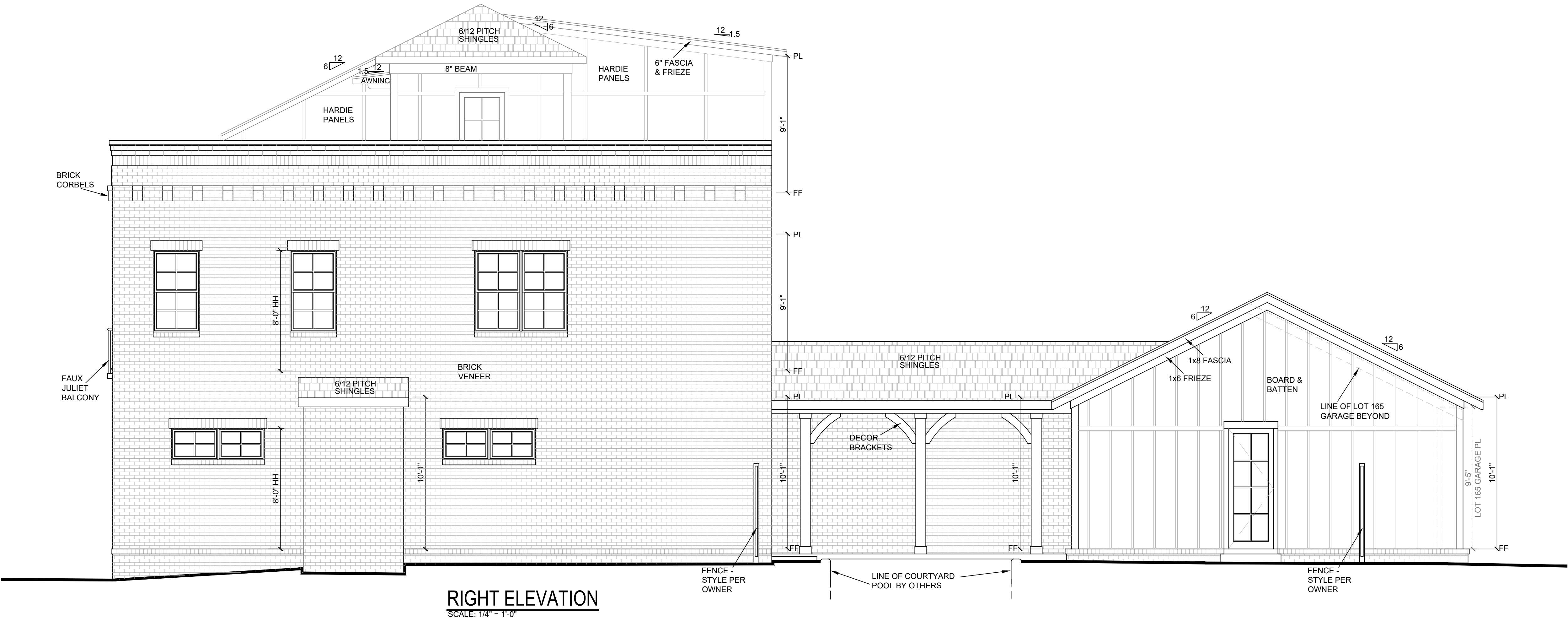
2. Finish grade lines shown are approximate. Contractor to verify that grade slopes away from foundation.

3. Gutters and downspouts may not be shown for clarity of drawings. Owner or contractor may elect to use rain diverters over doors or walkways in lieu of gutters. Size gutters and downspouts per SMACNA standards and place downspouts in inconspicuous or aesthetically pleasing locations.

4. Shutters shall be sized to match actual window openings. Mount with hinges and hold open with shutter dogs located at bottom rail (as shown).

A.2





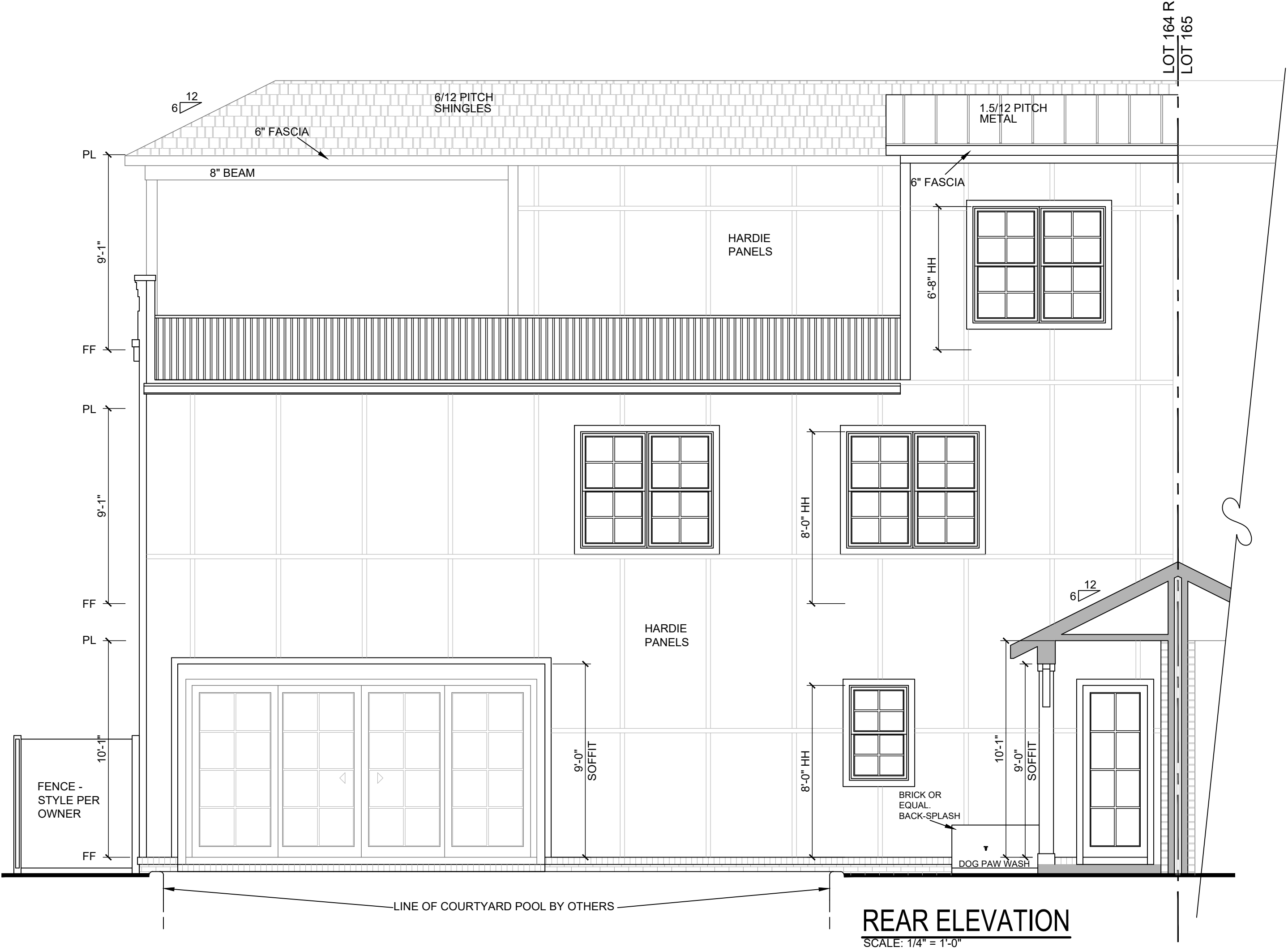
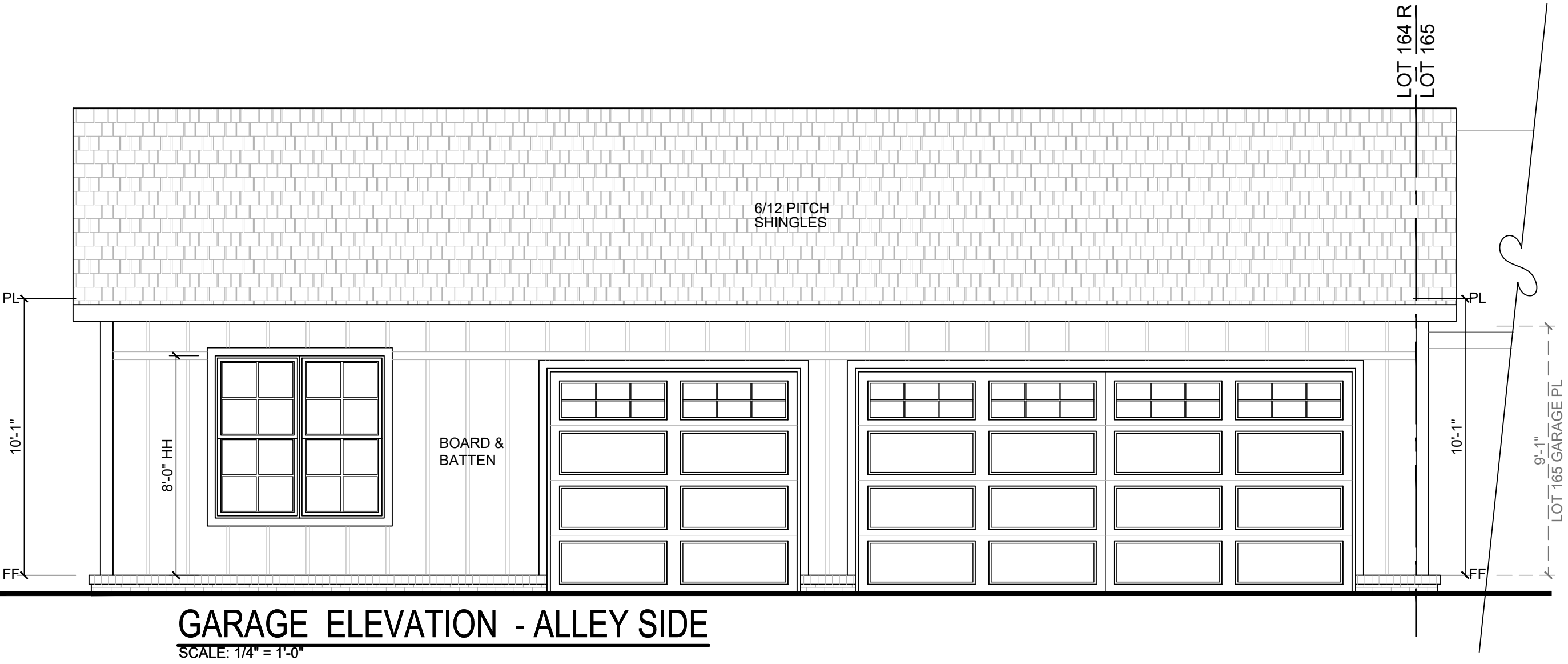
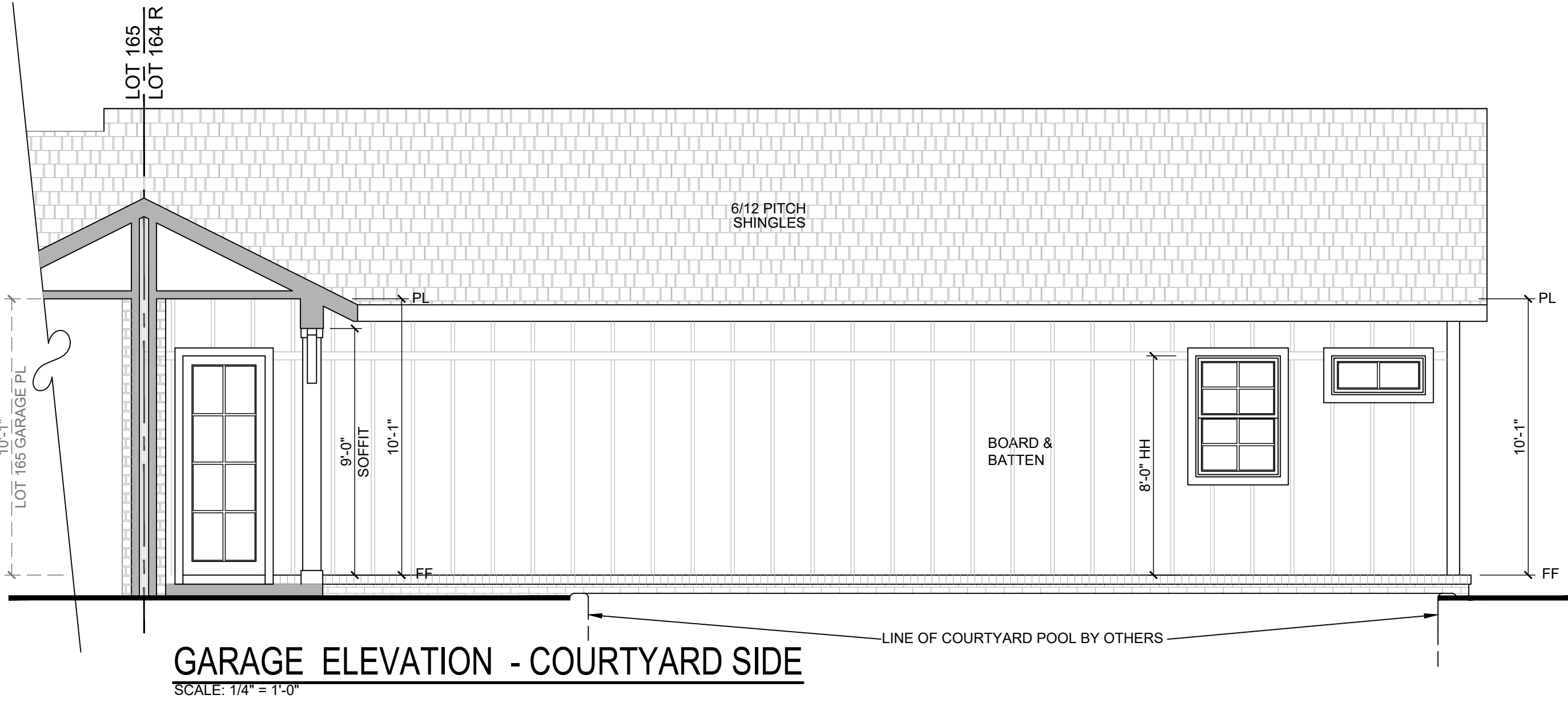
12-C-22-SU
10/25/2022

BRUMIT RESIDENCE
Northshore Town Center - Lot 164 R

ISSUE DATE: 09/22/2022
REVISIONS:

Elevations

A.5



12-C-22-SU
10/25/2022

BRUMIT RESIDENCE
Northshore Town Center - Lot 164 R

ISSUE DATE: 09/22/2022
REVISIONS:

Elevations

Certificate of Ownership and General Dedication.

(I, We), the undersigned owner(s) of the property shown herein, hereby adopt this as (my, our) plan of subdivision and dedicate the streets as shown to the public use forever and hereby certify that (I am, we are) the owner(s) in fee simple of the property, and as property owner(s) have an unrestricted right to dedicate right-of-way and/or grant easement as shown on this plat

Owner(s) Printed Name: BRUMIT, JAMES MARK & PAIGE ELIZABETH

Signature(s):

Date:

Owner Certification for Public Sewer and Water Service – Minor Subdivisions

(I, We) the undersigned owner(s) of the property shown herein understand that it is our responsibility to verify with the Utility Provider the availability of public sewer and water systems in the vicinity of the lot(s) and to pay for the installation of the required connections.

Owner(s) Printed Name: BRUMIT, JAMES MARK & PAIGE ELIZABETH

Signature(s):

Date:

Certification of Final Plat — All Indicated Markers, Monuments and Benchmarks Set. I hereby certify that I am a registered land surveyor licensed to practice surveying under the laws of the State of Tennessee. I further certify that this plat and accompanying drawings, documents, and statements conform, to the best of my knowledge, to all applicable provisions of the Knoxville/Knox County Subdivision Regulations except as has been itemized, described and Justified in a report filed with the Planning Commission, or for variances and waivers which have been approved as identified on the final plat. The indicated permanent reference markers and monuments, benchmarks and property monuments were in place on the day of, 2022.
Registered Land Surveyor

Tennessee License No.

Date:

Certification of Category and Accuracy of Survey. Survey accuracy shall meet the requirements of the current edition of the Rules of Tennessee State Board of Examiners for Land Surveyors – Standards of Practice.

I hereby certify that this is a Category ____ survey and the ratio of precision of the unadjusted survey is not less than 1: ____ as shown hereon and that said survey was prepared in compliance with the current edition of the Rules of Tennessee State Board of Examiners for Land Surveyors – Standards of Practice.

Registered Land Surveyor

Tennessee License No.

Date:

Addressing Department Certification

I, the undersigned, hereby certify that the subdivision name and all street names conform to the Knoxville/Knox County Street Naming and Addressing Ordinance, the Administrative Rules of the Planning Commission, and these regulations.

Signed:

Date:

Zoning district(s) in which the land being subdivided is located shall be indicated as shown on the zoning map by the Planning Commission as follows:

Zoning Shown on Official Map

Date:

By

This is to certify that all property taxes and assessments due on this property have been paid.

City of Knoxville Tax Clerk: Signed:

Date:

Knox County Trustee: Signed:

Date:

Certification of Approval of Public Water System – Minor Subdivisions

This is to certify that the subdivision shown hereon is approved subject to the installation of a public water system, and that such installation shall be in accordance with State and local regulations.

It is the responsibility of the property owner to verify with the Utility Provider the availability of water system in the vicinity of the lot(s) and to pay for the installation of the required connections.

Utility Provider

Authorized Signature for Utility Date

City of Knoxville Department of Engineering
The Knoxville Department of Engineering hereby approves this plat on this the ____ day of _____, 20 ____

Engineering Director

Planning Staff Certification of Approval for Recording — Final Plat

This is to certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations of Knoxville and Knox County and with existing official plans, with the exception of any variances and waivers noted on this plat, and that the record plat is hereby approved for recording in the office of the Knox County Register of Deeds. Pursuant to Section 13-3-405 of Tennessee Code, Annotated, the approval of this plat by the Planning Commission shall not be deemed to constitute or effect an acceptance by the City of Knoxville or Knox County of the dedication of any street or other ground upon the plat.

Signed:

Date:

State of _____, County of _____

On this ____ day of _____, 20 ____

Before me personally appeared _____

_____ to me known to be the person

described in, and who executed the foregoing instrument, and

acknowledged that he executed the same as his free act and deed.

Witness my hand and notarial seal, this the day and year above.

Notary's Signature & Seal

My commission expires _____

Certification of Approval of Public Sanitary Sewer System – Minor Subdivisions

This is to certify that the subdivision shown hereon is approved subject to the installation of public sanitary sewers and treatment facilities, and that such installation shall be in accordance with State and local regulations.

It is the responsibility of the property owner to verify with the Utility Provider the availability of sanitary sewers in the vicinity of the lot(s) and to pay for the installation of the required connections.

Utility Provider

Authorized Signature for Utility Date

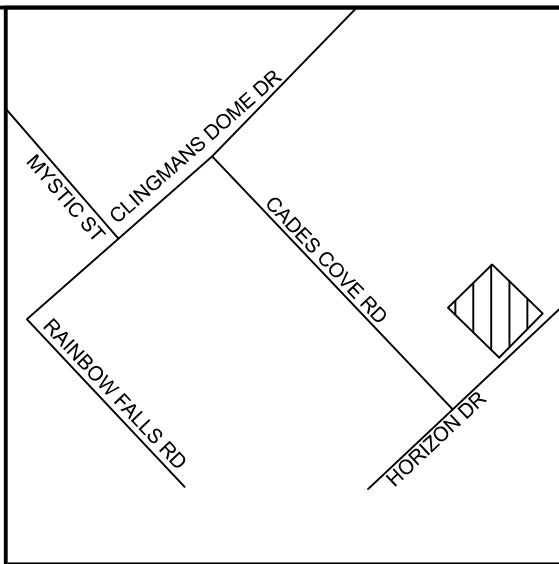
NMI RESIDENTIAL INVESTMENTS LLC
QC 201401030040550
PARCEL 154F C 010
JOINT PERMANENT EASEMENT
BEAU MONDE - PHASE 1 - UNIT 1
PLAT 200608230016885

THIS SURVEY WAS PREPARED USING A COMBINATION OF TOTAL STATION AND R.T.K. G.P.S. DATA COLLECTION.
G.P.S. RECEIVER INFO.: SOKKIA MESA S/N 144387, TOPCON ANTENNA:
PG-S1 TOTAL STATION: TOPCON GPT-8205A
VERTICAL DATUM IS NAVD88, GEOID12

● 1/2" IRON PIN FOUND

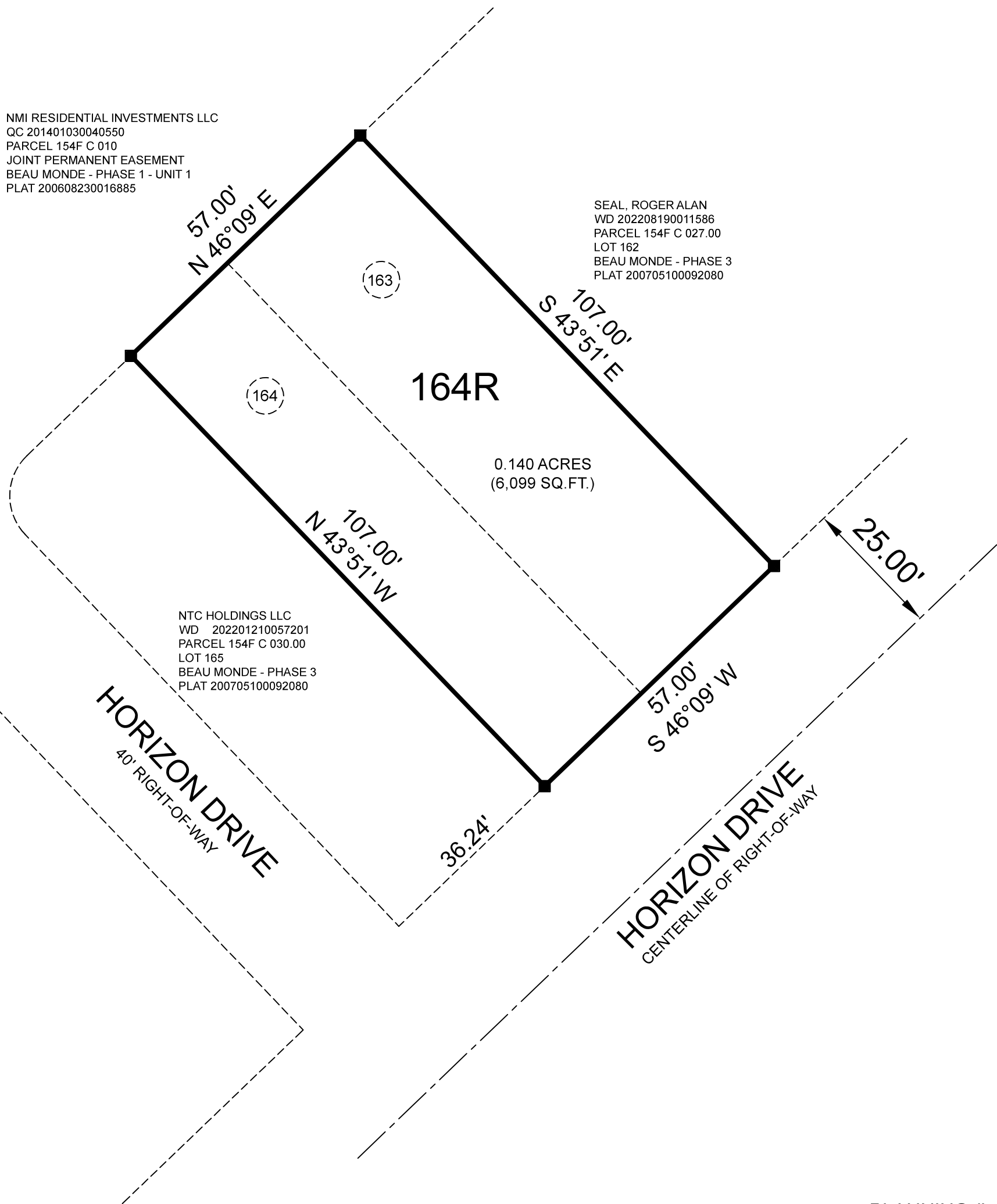
■ 1/2" IRON PIN SET

GRID NORTH



LOCATION MAP

1. IRON PIN AT EACH CORNER
2. 3.5' UTILITY AND DRAINAGE EASEMENT EACH SIDE OF ALL LOT LINES, 5' INSIDE EXTERIOR BOUNDARY LINES AND ROAD RIGHTS-OF-WAY PER ORIGINAL PLAT.
3. 15' SANITARY SEWER EASEMENT, 7.5' EACH SIDE OF SANITARY SEWER AS INSTALLED.
4. 1 LOT EQUALING 0.140 ACRES (6099 FT²)
5. ZONED RN-3
6. BUILDING SETBACKS FOR VARIOUS DWELLING TYPES LISTED IN PLAT 200705100092080
7. FOR CONDITIONS OF APPROVAL OF THE MOST RECENT USE-ON-REVIEW, REFER TO THE PLANNING COMMISSION'S FILE 1-C-18-UR.



SEAL, ROGER ALAN
WD 202208190011586
PARCEL 154F C 027.00
LOT 162
BEAU MONDE - PHASE 3
PLAT 200705100092080

NTC HOLDINGS LLC
WD 202201210057201
PARCEL 154F C 030.00
LOT 165
BEAU MONDE - PHASE 3
PLAT 200705100092080

HORIZON DRIVE
CENTERLINE OF RIGHT-OF-WAY

12-C-22-SU
10/25/2022

OWNER(S):
BRUMIT, JAMES MARK & PAIGE ELIZABETH
10221 THIMBLE FIELDS DR
KNOXVILLE, TN 37922

GRAPHIC SCALE



PLANNING #

FINAL PLAT OF THE RESUBDIVISION OF LOTS
163 & 164, BEAU MONDE PHASE 3

DISTRICT: 6 WARD: 51 CITY BLOCK: 51008 CITY OF KNOXVILLE

INSTR.: WD 202209300020383 / PLAT 200705100092080 KNOX COUNTY

C.L.T. MAP: 154F C 28 & 29

SCALE : 1"=20'

DATE: 10/5/2022

HINDS SURVEYING CO.

3555 WINDY J FARMS DR. LOUISVILLE, TN 37777
PH. 588-9799 FAX. 233-3393
WWW.HINDSSURVEYING.COM

JOB # 2209004



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